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## STAFF COMMENTS FOR PLANNING COMMISSION

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**MEETING DATE:** April 1, 2009

**SITE PLAN:** **AFP-08-013**

**TITLE:** Hillside Pavilion at Bohrer Park at Summit Hall Farm

**REQUEST:** **CONSENT APPROVAL  
EXTENSION OF AMENDMENT TO FINAL  
PLAN** -Expansion and up grade to a permanent pavilion and Handicap accessible parking

**ADDRESS:** 506 South Frederick Avenue

**ZONE:** R-A (Low Density Residential) Zone

**Applicant/Owner:** City of Gaithersburg –  
**Representatives:** Terrilyn Lahs & Trudy Schwarz

**STAFF LIAISON:** Trudy Schwarz, Community Planning Director

**Enclosures:**

Staff Comments  
Exhibits

- Exhibit 1: Location Aerial Map
- Exhibit 2: Letter from Peter Geiling, Facilities Director, received March 16, 2009
- Exhibit 3: Minutes of the April 16, 2008, Planning Commission meeting

## **STAFF COMMENTS**

### **I. BACKGROUND:**

The applicant is requesting an Extension of the Amendment to Final Site Plan Approval. The site is located behind the Miniature Golf Course at Bohrer Park at Summit Hall Farm in the R-A (Low Density Residential) Zone. See Exhibit #1. The park is located at South Frederick Avenue and Education Boulevard.

The original Amendment to Final Site Plan (AFP) proposed to enlarge the concrete pad from 15 feet by 30 feet to 34.8 feet by 34.8 feet and install a permanent pavilion structure. Additionally, the electrical feed to the property will be improved. A gravel surface driveway will be added and paved handicap-accessible parking will be installed. On April 16, 2008, the Planning Commission granted AFP approval to this development with five conditions, as shown in the attached Planning Commission Minutes (please reference Exhibit #3.)

In accordance with § 24-173(a), the applicant has submitted a letter requesting extensions of the Amendment to Final Site Plan approval for AFP-08-013. This letter, received on March 16, 2009, is attached as Exhibit #2.

The property is in the R-A (Low Density Residential) Zone. The use of "Public Use" is allowed by § 24-24(2) of the Zoning Ordinance, Chapter 24 of the City Code. This proposal also conforms to the *1999 Parks, Recreation and Open Space Plan for the 21<sup>st</sup> Century*, which recommends providing more picnic shelters at Summit Hall Farm.

### **II. SCOPE OF REVIEW:**

The approved site plan has not been constructed to date. Section 24-173 (a) states the following:

*One or more of the uses proposed for land which is the subject of the site development plan shall be established on such land within three hundred sixty-five (365) days after the date of approval of the plan or the plan shall become void; provided, that the planning commission may extend such time upon request filed within such three hundred sixty-five (365) days and may grant further extensions upon request filed within the period of any extension; provided, that the total length of such extensions shall not exceed two (2) years.*

Accordingly, the applicant is requesting an extension for the approved final site plans. The applicant may request one more extension next year, if necessary. If granted, this extension of approval expires April 16, 2010.

**III. CONCLUSION:**

Staff recommends **TO GRANT APPROVAL OF EXTENSION OF AMENDMENT TO FINAL SITE PLAN AFP-08-013, HILLSIDE PAVILION AT BOHRER PARK, AS IT CONFORMS WITH §24-173, WITH THE ORIGINAL FIVE CONDITIONS AS APPROVED ON APRIL 16, 2008.**

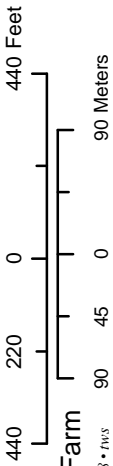
AFP-08-013

Hillside Pavilion

Bohrer Park at Summit Hall Farm

AFP-08-013 Hillside Pavilion SHF.mxd • 04-Apr-2008 • nvs

1 inch = 457 feet

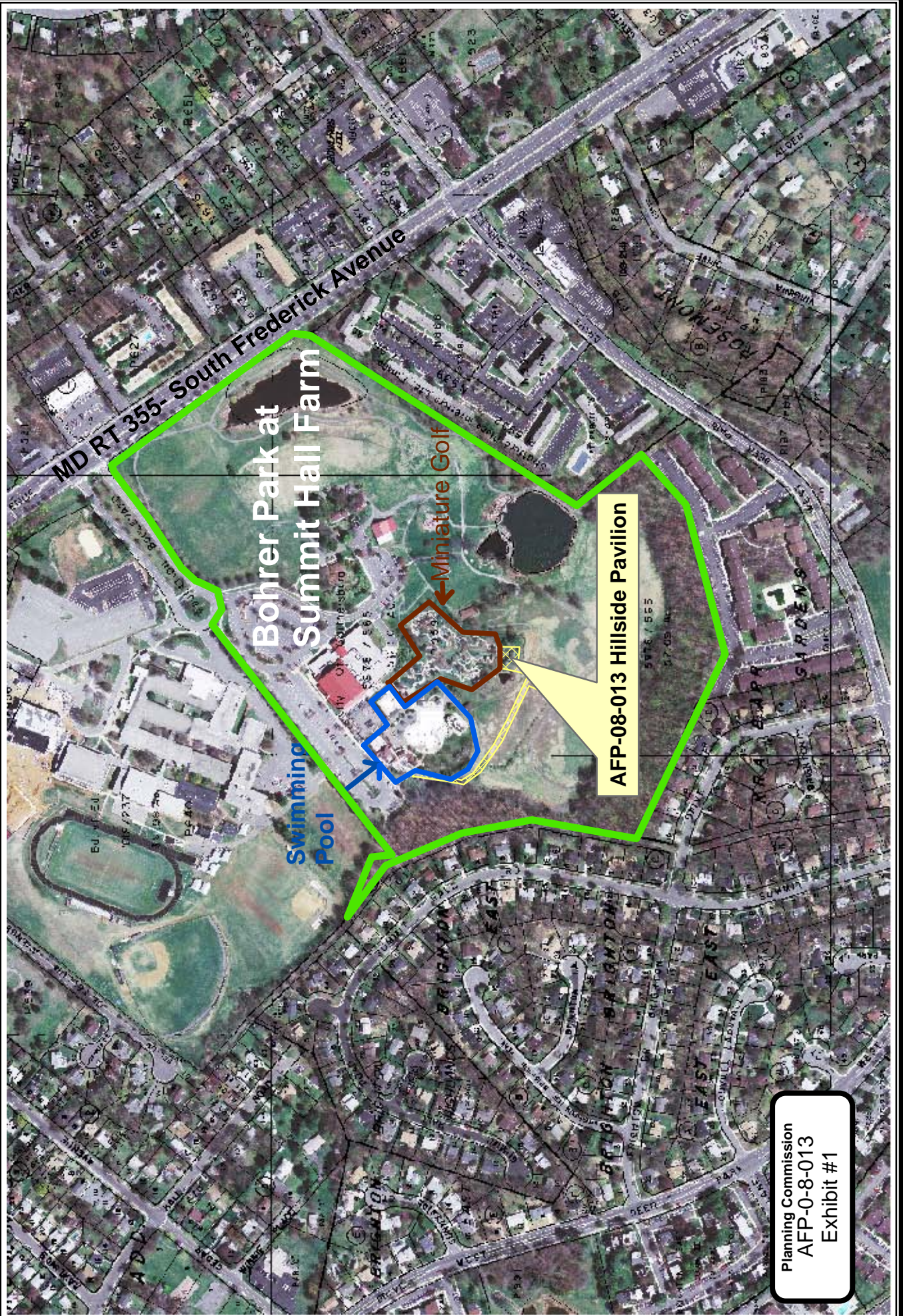


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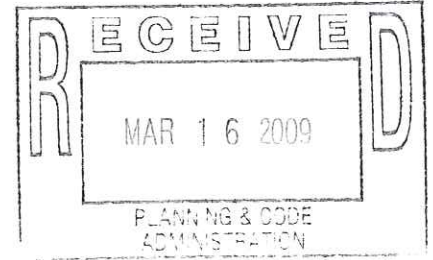
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Planning Commission  
AFP-0-8-013  
Exhibit #1



March 12, 2009

Mr. John Bauer, Chairman  
City of Gaithersburg Planning Commission  
31 South Summit Avenue  
Gaithersburg, MD 20877

Re: Hillside Pavilion AFP-08-013 -- Bohrer Park Hillside Pavilion at Summit Hall Farm –  
Amendment to Final Plan AFP-08-013 dated April 16, 2008

Dear Chairman Bauer:

This is to request a one-year Site Development Approval (SDA) extension for the above referenced AFP to construct a new pavilion and create ADA accessible spaces at Bohrer Park. This requested extension is made pursuant Section 24-173 of the City Code.

Pending approval of the FY 2010 budget, the City is expected to bid the project this summer. At the earliest, construction would not begin until Fall, 2009.

Your consideration of this request is greatly appreciated.

Sincerely,

Peter J. Geiling  
Director, Facilities and Capital Projects

cc: Trudy Schwartz, Community Planning Director  
Michele Potter, Parks, Recreation, and Culture Director

Planning Commission  
AFP-08-013  
Exhibit #2

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Angel L. Jones

V. SITE PLAN

AFP-08-013 -- Bohrer Park Hillside Pavilion at Summit Hall Farm R-A Zone  
506 South Frederick Avenue  
Enlarging Pavilion Area and Handicap Parking  
AMENDMENT TO FINAL PLAN REVIEW

Community Planning Director Schwarz located the site of the proposed pavilion as well as the access to the site on an aerial photograph. She presented the site plan, noting it upgrades the existing pad and canvas canopies by enlarging the pad to approximately 1,211 square feet, by installing a permanent pavilion structure, and by improving the electrical feed to the property. She discussed the details of the plan, including the widening of the existing driveway access, which necessitates the removal of a retaining wall along a portion of it, and the addition of a gravel driveway to access the handicap parking, which will be paved. She presented a sample of the material ("Gravelpave2") to be used under the gravel to minimize the impact on the grass. She also discussed the roof material and color.

Facilities Administration Director Lahs discussed the City's pavilion rental services and their public demand as well as the existing directional signage, and noted the subject proposal is a significant improvement and the additional permanent pavilions are quite needed.

There was no public testimony.

Mrs. Schwarz stated the plan complies with the approval criteria of the Zoning Ordinance, with conditions as listed in the Staff Comments previously furnished as part of the informational packet of this application. Chair Bauer commented favorably on this proposal, and, in particular, on the proposed driveway. Commissioner Hopkins echoed Chair Bauer's comments.

Vice-Chair Levy moved, seconded by Commissioner Winborne, to grant AFP-08-013 - Bohrer Park Hillside Pavilion at Summit Hall Farm, AMENDMENT TO FINAL PLAN APPROVAL, finding it in compliance with Zoning Ordinance §§ 24-170 and 24-172A, with the following conditions:

1. Applicant is to revise and receive approval of HDPE Pipe Bedding Detail and the wall detail prior to the issuance of any permits;
2. Applicant is to revise the architectural plan to add conduit to the concrete pad with a detail to provide electrical service to the pavilion prior to the issuance of any permits;
3. Applicant is to submit structural certification of the pavilion at the time of permit application;
4. Applicant is to work with the Parks Maintenance Division of the Department of Public Works, Park Maintenance and Engineering (DPWPM&E) to limb trees noted on the plans prior to the installation of the sediment control and tree protection measures; and
5. Applicant is to work with Parks Maintenance Division of DPWPM&E and Environmental Services to establish a planting plan for the rain garden prior to final approval of the permit.

Vote: 5-0