

CITY OF GAITHERSBURG MAYOR & COUNCIL

31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

**SCHEMATIC DEVELOPMENT  
PLAN APPROVAL**

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND

CITY COUNCIL HELD ON APRIL 4, 2011

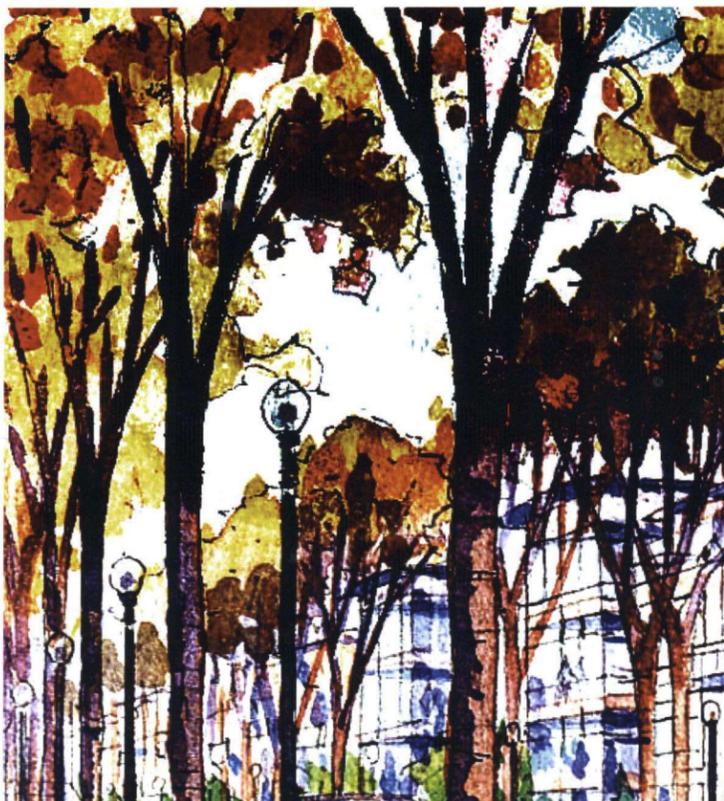
APPLICATION NO. SDP-11-001 WAS GRANTED

**SCHEMATIC DEVELOPMENT PLAN APPROVAL**

BY RESOLUTION R-28-11 WITH FIVE (5) CONDITIONS.

DATE 4/20/2011 BY R. ROBINSON III

**NOTE:** ANY REVISIONS TO SIGNED PLANS MUST BE  
REAPPROVED BY THE MAYOR & CITY COUNCIL



# CROWN FARM

NEIGHBORHOODS 1 & 2: DESIGN GUIDELINES

APRIL 2011

# TABLE OF CONTENTS

THE PLAN.....	6	UNIT TYPICALS - LANDSCAPE MATERIAL.....	46
CROWN FARM AT A GLANCE.....	7	HARDSCAPE ELEMENTS.....	48
DESIGN PRINCIPLES.....	8	SIDEWALK ZONES.....	50
URBAN FORM.....	10	CORNER TREATMENTS.....	50
STREET AND BLOCK PATTERN.....	11	INTERSECTION TREATMENTS.....	51
NEIGHBORHOOD ONE BUILDING MASSING.....	12	ALLEY ENCLOSURES.....	52
KEY LOTS.....	13	ALLEY ENTRANCES.....	52
CIRCULATION.....	14	PAVING DETAILS.....	53
GENERAL BUILDING HEIGHTS AND MASSING.....	15	PICKET FENCING - SINGLE FAMILY.....	54
NEIGHBORHOOD ONE		METAL PICKET FENCING - MULTIFAMILY & COMMERCIAL.....	55
LANDSCAPE PLAN.....	18	SCREENING.....	56
GENERAL BUILDING HEIGHTS AND MASSING.....	18	GENERAL BUILDING DESIGN GUIDELINES.....	58
SIDEWALK MATERIALS PLAN.....	19	SINGLE FAMILY RESIDENTIAL DESIGN STANDARDS - NEIGHBORHOODS ONE AND TWO.....	60
NEIGHBORHOOD TWO		SINGLE FAMILY RESIDENTIAL MATERIAL STANDARDS - NEIGHBORHOODS ONE AND TWO.....	62
LANDSCAPE PLAN.....	20	NEIGHBORHOOD ONE	
GENERAL BUILDING HEIGHTS AND MASSING.....	20	GENERAL BUILDING DESIGN GUIDELINES.....	64
SIDEWALK MATERIALS PLAN.....	21	COMMERCIAL.....	64
TYPICAL STREET SECTIONS.....	22	GROUND FLOOR COMMERCIAL.....	65
OPEN SPACE OVERVIEW.....	28	FREESTANDING RETAIL.....	65
OPEN SPACE DIAGRAM.....	29	PARKING LOTS AND DECKS.....	66
MAJOR GREEN STREETS.....	30	MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES.....	67
MINOR GREEN STREETS.....	31	LIGHTING.....	74
PEDESTRIAN PATHS AND CONNECTIONS.....	32	LIGHTING CHARACTER.....	75
NEIGHBORHOOD PARKS.....	33	LIGHTING.....	76
POCKET PARKS.....	34	BUILDING LIGHTING.....	77
GREEN SPACE.....	35	STOREFRONT DESIGN GUIDELINES.....	80
GENERAL LANDSCAPE GUIDELINES.....	38	STOREFRONT SIGNAGE GUIDELINES.....	85
LANDSCAPING OVERVIEW.....	39	WAYFINDING.....	94
STREET TREES.....	40	WAYFINDING PLAN.....	95
STREET TREE PLAN.....	41	WAYFINDING - SIGN TYPES.....	96
PLANT PALETTE EXAMPLES.....	42		
BIORETENTION.....	44		

## Purpose of the Guidelines

The Crown Farm Guidelines create a framework for an inclusive, sustainable community that aspires to high environmental standards, provides a high quality of life for its residents, and has its own unique identity, while remaining integrated with its larger context. The purpose of the Guidelines is to:

1. Enhance and protect Crown Farm quality of life and community image through clearly articulated goals and policies, guidelines and minimum standards;
2. Promote long-term sustainable and economic vitality through design standards which encourage and reward high quality development, while discouraging less attractive and less enduring alternatives;
3. Minimize adverse impacts of pedestrian and vehicular circulation to existing neighborhoods and to the surrounding physical environment; and
4. Enhance and protect the security and health, safety and welfare of the residents, consumers and workers of Crown Farm.

## Organization of the Guidelines

The development is structured as a series of “neighborhoods” that allow for a variety of housing types and land uses to coexist. In order to ensure that there is coherence in visual experience and through the implementation phase, the Guidelines are organized in four distinct sections - Urban Design, Landscape, Architecture and Neighborhoods.

The Urban Design section lays out the design principles which govern the development, the over all site organization, massing guidelines, and architectural and landscape standards.

The landscape section outlines minimum hardscape and planting requirements throughout the community to ensure a high-quality public environment.

The architecture section articulates the building design principles and specifies the material standard, facade treatment and variety requirements.

The Neighborhoods section provides guidelines that are specific to each neighborhood, while ensuring they reinforce the over all agenda and principles specified in the Urban Design section.

The current document requires amendments for Neighborhoods 4, and 5.

## Applicability and Use

The provisions of the Guidelines shall apply to all development within Crown Farm. The Guidelines provides general design direction, as well as development standards. Its primary purpose is to guide the project’s design team. The Guidelines will be utilized by City staff, the Planning Commission, and the City Council to review development applications submitted under the City’s Mixed Use Development (MXD) development plan review process.

The goals and policies set forth in this document are expected to be met through compliance with all design standards and consideration of design guidelines. Modifications to or waivers of design standards could be recommended as part of the City’s MXD development plan review process.

The Guidelines are to be used by property owners/applicants and their design consultants in the planning of development projects.

The plans included in the Guidelines do not reflect the final site plan condition. These plans are subject to change at final site plan.

### **Variances from Design Regulations, Modifications**

Modification or variance requests by the Applicant(s) to these Design Guidelines must be first approved by the Master Developer then presented to the Planning Commission to be reviewed. The Planning Commission may approve or deny modification requests.

After initial outsales by the builders, subsequent modifications to these Design Guidelines shall be in accordance with the Homeowners’ Association documents.

All modification or variance requests must comply with the City of Gaithersburg Code.

These guidelines may be modified by the Planning Commission at time of Final Site Plan.

## Relation of the Guidelines to Other City Regulations

The Guidelines are a supplement to the City of Gaithersburg Zoning Ordinance and Gaithersburg City Code. Where a guideline or standard in this document is in conflict with any provision of the Gaithersburg City Code, the City Code shall take precedence and shall apply. Building and safety codes and the City of Gaithersburg Department of Public Works Parks Maintenance Engineering Department requirements and standards take precedence over the guidelines and standards in this document in cases where there is conflict, unless a waiver to these City standards is given by the City Council and/or Planning Commission. All development within Crown Farm shall meet the requirements of the Americans with Disabilities Act (ADA), where applicable.

# DEFINITIONS

**Balcony** - An upper floor platform that projects from the wall of a building and is surrounded by a railing, balustrade, or parapet.

**Civic/Community Facilities** - Throughout the development is a series of pocket parks that vary in size and use. The largest recreational or active area is located in the residential portion of the development and will contain the community clubhouse, pool, tot lot, and multi-purpose courts. The clubhouse and pools will be sized to meet the proposed residential density of the development and to Montgomery County standards.

**Commercial/Retail** - Commercial, retail, cinemas, restaurants and shopping are primarily clustered within the West End and Transit District. These areas allow for the following commercial uses: neighborhood goods and services, quick-bite restaurants, fast casual/fine dining restaurants, entertainment, grocery, fashion, home goods, hardware, personal service, general retail, general/professional office uses, and other uses permitted within the MXD Zone, to be located on the first floors of the higher density developments.

**Deck** - A floored structure, typically with a railing, that adjoins a house, located at the rear of the building. Also referred as Back Porch.

**District** - An area within the development that has special requirements, standards, and/or provisions that will influence such area to be more distinct in nature.

**Hardscape** - Inanimate elements located in both public and private domain, constructed from hard materials such as pathways, trellis, walls, etc.

**Lot Configuration** - All uses shall conform to the purposes of the Mixed Use Development Zone and shall be compatible with all uses, existing or proposed, in the vicinity of the area covered by the proposed planned development. The setbacks established on the Schematic Development Plan and defined as 'Build to Line' and 'Porch Build to Line' as follows:

**Build to Line** - A line beyond which any foundation wall of the main building shall not project.

**Porch Build to Line** - A line beyond which any porch (front or back), covered porch, vestibule, awning, shade structure, deck, trellis or structure other than a main building shall not project.

The intent is that the main mass of the building is regulated by the 'Build to Line' and porches can extend beyond the building line as illustrated to the 'Porch Build to Line'.

In addition to the main building and porches (front and back) the following items can extend beyond the build to line as noted into the front, rear and, or side yard as shown on the SDP and further detailed on the Final Site Plan.

- Steps, terraces, stoops and open stairways. Steps, terraces, stoops and open stairways may extend into any front or rear yard area. Steps, terraces, stoops and outside open stairways which extend into any yard area may not be roofed.
- Bay windows, oriels, entrances, vestibules and balconies. Any bay window, oriel, entrance, vestibule or balcony may extend into any front, side or rear yard area.
- Chimneys. Chimneys may extend into any side or rear yard area.
- Air conditioners, HVAC Units and heat pumps. Air conditioners and heat pumps, whether freestanding, wall or window mounted, may extend into any side or rear yard area.
- Cornices and Eaves. Cornices and eaves may extend into any front, side or rear yard area.
- Sills, leaders, belt courses and similar ornamental features may extend into any front, side or rear yard area.
- Structures. Fences, flagpoles, lampposts or similar structures, including, but not limited to lawn ornaments and arbors, may be located within any front, side or rear

yard area and also within build-to lines so long as the location of the structure does not interfere with the use of any abutting or confronting property or obstruct visibility along any public right-of-way. Play equipment and basketball hoops, may extend into any rear or side yard area lines so long as the location of the structure does not interfere with the use of any abutting or confronting property.

**MXD** - A multi-use development that combines several uses such as residential, commercial, recreational, open space, institutional uses and amenities in order to establish procedures and standards for the implementation of master plan land use recommendations for comprehensively planned, multi-use projects.

**Neighborhood** - A geographically localized community within an area that has its own distinctive characteristics, referred as POD on Sketch Plan.

**Office** - There are no stand alone office developments proposed.

**Open Space** - Land that is undeveloped or developed that can support plant materials; or has decorative landscape treatment; could be used by the public for recreation or circulation. Walkways, plant beds, lawns, and terraces within an open space area could be included as part of such open space area. Paved parking lot areas used for auto circulation or parking do not qualify as Open Space.

**Porch** - An open or shaded platform at front and/or sides attached to the outside of a building, used to protect an entrance. It may have separate roof from the main building.

**Residential** - The type and height of residential units depend on the geographic location. The character of the housing is distinctly urban, providing a broad range and variety of housing types and styles, consistent with those found throughout the region, merged into a well-integrated, transit-oriented and sustainable development. Housing types envisioned include lower density single-family detached homes, townhouses, urban cottages, two-over-two condominiums, lofts, condominium units over retail, and

high-rise condominium housing in the Transit District. The housing is advantageously located within walking distance to transit, retail, entertainment, and cultural uses, and well-connected with sidewalks and pathways.

**Rooftop Deck** - A private outdoor space above the roof of any enclosed living space of a unit.

**Stoop** - A set of steps at the front entrance of a house.

**Story** - That portion of a building included between the surface of any floor and the surface of the next floor above it or, if there is no floor above it, the space between such floor and the ceiling next above it. A mezzanine floor shall be counted as a story, if it covers more than one-third of the area of the floor next below it or if the vertical distance between the floor next below it and the floor next above it is twenty (20) feet or more. A story does not include rooftop mechanical structures, architectural elements above the roof line, towers, mechanical equipment, building maintenance, service or management areas or office, screening, architectural highlights, and other service facilities.

**Streetscape** - The public and private space between the buildings on either side of a street that defines its character, including sidewalk, street paving, landscaping, building facades, street furnishing, signs, awnings, street lightings, etc.

**Transit Oriented Development (TOD)** - A mixed-use community within walking distance of a transit stop that mixes residential, retail, office, open space, and public uses in a way that makes it convenient to travel on foot or by public transportation instead of by car.

**Walkability/Human Scale** - The relationship between the dimensions of a building, street, outdoor space, or streetscape element to the average dimensions of the human body within the built environment.

# Urban Design

The Urban Design guidelines delineate the basic variety in urban form expected for Crown Farm. The combination of land uses, building typology, streetscape and quality of public spaces outlined in the section will help make this new community a memorable place, and an identifiable and unique addition to the City of Gaithersburg.



# CROWN FARM AT A GLANCE

Crown Farm, a world-class transit-oriented community of distinct neighborhoods interconnected by parks, woodlands and walkable streets in close proximity to a future high school, high-quality retail and transit includes approximately 99.8 acres in Phase One and is strategically located along Interstate 270 and along the future Corridor City Transitway (CCT) alignment.

Crown Farm will be built incrementally over time; therefore, the design of each individual building and site is important. Each building and site has a role to play, as part of the general neighborhood plan or as a distinctive focal point. Each new building and site will respond appropriately to its environment. Phase One for this development includes the development of Neighborhood One and Neighborhood Two.

Parks and other forms of open space constitute more than 40% of the land area and are strategically located so that the residents do not have to walk more than one block to access them. The linear park system along the southern boundary is a major attraction that will not only unify different neighborhoods, but will also provide great recreational opportunities for the residents and the surrounding neighbors.

In order to guide developers, architects, landscape architects, and public officials, a number of urban design and architectural principles and guidelines are described in this document. They are intended to establish an organizing framework for Crown Farm and an overall level of coherence. Urban design at this scale is challenging because the objective of establishing some coherence must be tempered with a flexibility that will accommodate change over time and reflect diversity. These principles are therefore general, and meant to establish a framework within which individual designers will consider their project as a component piece which is part of a larger district plan.

It is important to note that the following guidelines apply to Crown Farm in general, and govern new construction as well as additions or improvements. For certain areas within the site, because of their use or intensity, these guidelines could be modified, refined or amended as necessary by the Developer with the approval of the City of Gaithersburg in order to address specific design issues. The City Planning Commission is responsible for the interpretation and implementation of the design guidelines during the final site plan process.

## Neighborhood 1 & 2: Overall Development Program

Site Area	: 89.5 Acres
Residential	
Single Family Detached/Attached	320-471 Units
Multifamily	650-1200 Units
Commercial/Retail	235,000-300,000 SF

# DESIGN PRINCIPLES

The challenge of Crown Farm development is to create a sustainable, diverse, and valued community that is well-integrated with its surroundings, and offers many benefits, not only to the adjacent neighborhoods, but also to the City at large. The following design principles, which were developed in conjunction with the public and the City, provide the framework for the development and are the basis for its design guidelines.

1

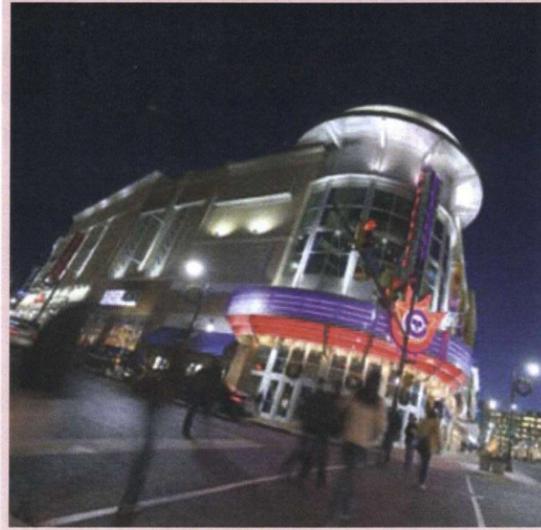
**Link** adjacent existing developments to become part of a greater "place"



- Locate land uses compatible with the adjacent developments
- Extend network of streets, pedestrian/bike pathways and connections, and open spaces to physically integrate major developments and other surrounding communities
- Accommodate the CCT alignment linking the development to Shady Grove Metro Area, King Farm and other neighborhoods

2

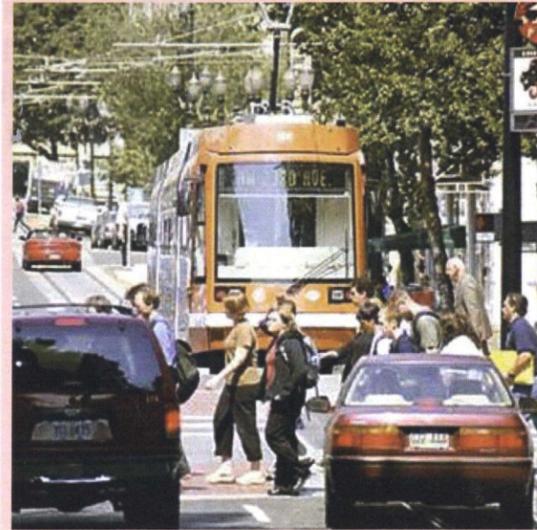
**Make** a strong, positive first impression at all entries, arrival points and gateways



- Strategically identify important intersections and entrances, and develop them as "gateways"
- Cluster pedestrian-oriented land uses, signature buildings, and public amenities at key arrival points
- Treat these gateways as vital crossings embellished with high-quality landscaping, public art and signage
- Celebrate arrival to City and Neighborhood

3

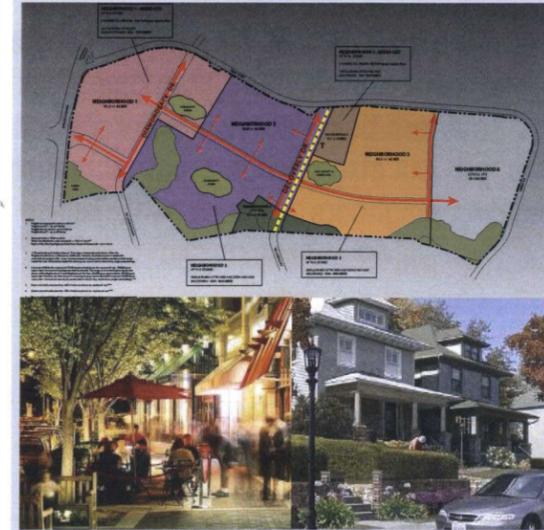
**Develop** a sustainable, urban community where pedestrians, transit and the automobile can safely coexist



- Interconnect streets and open spaces to promote walking, biking and utilizing mass transit
- Design intersections that are pedestrian friendly and have smaller turning radii
- Balance the right-of-way allocations for all modes of travel; all streets have parallel parking
- Provide off-street parking for automobiles and bikes that is safe, convenient and visually unobtrusive.

4

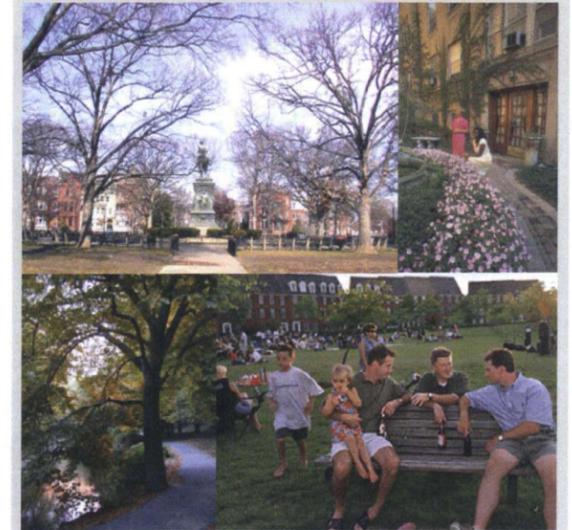
**Create** distinct yet unified neighborhoods



- Complement the site features, land uses and transportation facilities with appropriate densities, and create neighborhoods with different "feels"
- Create open spaces that are unique to each neighborhood
- Vary theme from one neighborhood to another.

5

**Program** a variety of open spaces that are interconnected, accessible and convenient to use



- Create and program open spaces that take advantage of the site features, land uses and transportation system
- Expand social opportunities for all age groups through the design of interconnected parks, recreational spaces and other open space amenities

STRATEGIES

Note: These images are examples for illustrative purposes only.

6

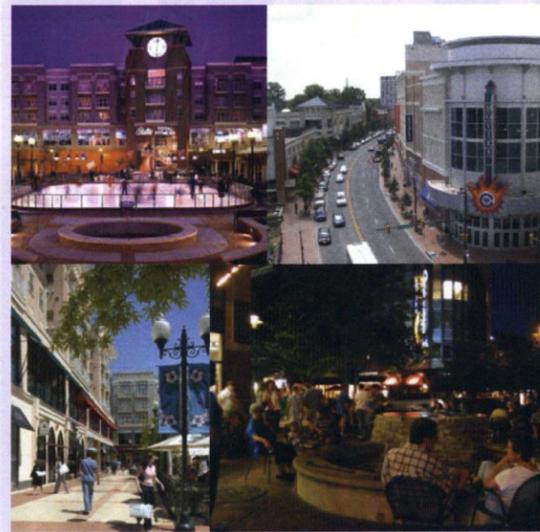
**Strengthen** the viability of transit within the community in future phases.



- Re-align the proposed CCT route to maximize transit access from larger geographic area
- Configure streets to provide direct access
- Design the station area to encourage pedestrian trips over vehicular drop-offs
- Increase the diversity of street-level retail to build a vibrant and active transit area

7

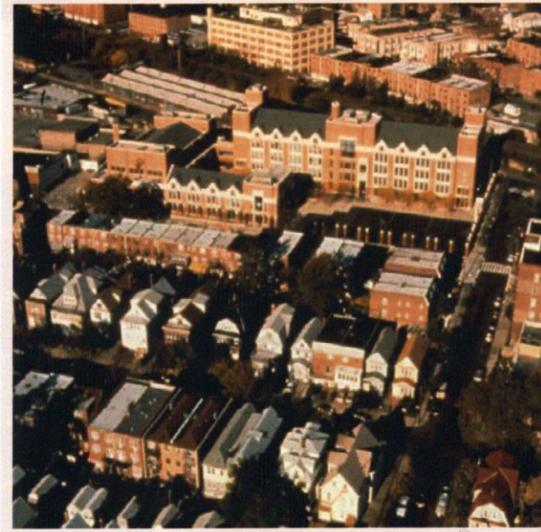
**Design** a Town Center in Neighborhood One that serves the community and complements the Washingtonian Center



- Create a mix of uses that promote both day and evening activity
- Blend the commercial core into the surrounding communities
- Design a sidewalk environment that contributes to the vitality and culture of the Town Center
- Connect the public areas of the commercial district with the larger park and street system

8

**Plan** for the future school site to become a valued regional and community resource

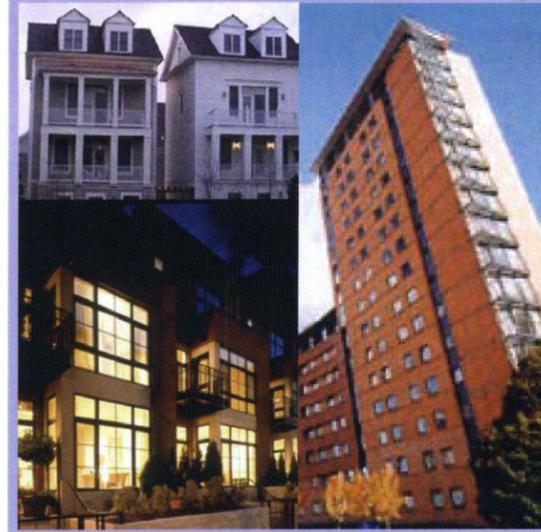


- Plan and program the high school to be well-integrated with the community
- Buffer the athletic fields to protect the adjacent neighborhoods from noise and light pollution

**Note: MCPS will be solely responsible for all the above items.**

9

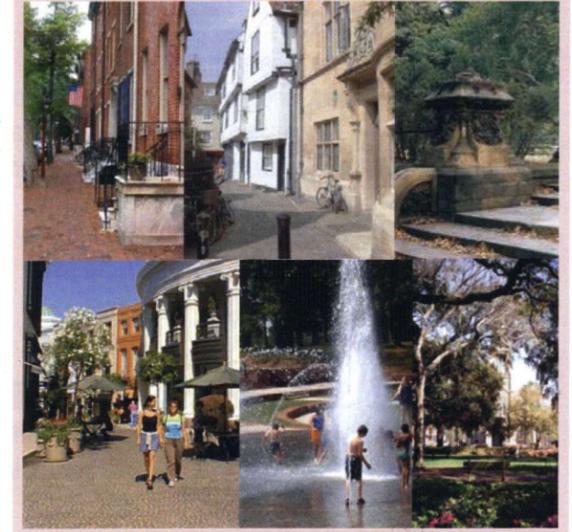
**Provide** a choice of housing types that are well-integrated with each other and the site



- Maximize the variety of housing types ranging from single family detached houses and townhouses to multi-family low-rise and high-rise buildings
- Arrange and group the housing types in a manner complementary to the site, land uses and transportation facilities
- Intermix the housing types within the blocks and streets to create a varied, yet integrated community

10

**Use** architecture and landscape design to create a strong sense of "place" and environmental stewardship



- Encourage the use of longer life-cycle materials in both buildings and open spaces to increase the value of the development over time. Use local landscape elements that are disease and drought-resistant
- Develop distinct yet coherent architecture and landscape designs that will help foster a special community identity
- Promote best practices in stormwater management and other environmental responses. All builder-installed appliances and HVAC equipment will strive to equal or exceed the standards for current Energy Star rated appliances
- Promote LEED concepts and principles

**Note: These images are examples for illustrative purposes only.**

# URBAN FORM

As in many great communities across the country, Crown Farm will offer its residents, neighbors and visitors a choice to live in and experience a highly diverse "urban form", ranging from a naturalistic park system, streets of detached single-family homes, and townhouse blocks, to higher-density districts supporting quality retail and transit services. Categorically, there are five types of sequences, as discussed below, that are the "building blocks" of Crown Farm concept plan. The subsequent sections outline how these sequences are organized to create distinct neighborhoods.

## A. NATURE RESERVE

Consists of protected or undeveloped land with unique topography, hydrology and vegetation. They are included in the open space category and could be used as recreation space.

## B. URBAN EDGE

Is the transitional zone where the developed area meets the natural or undeveloped land. In most cases, the development includes detached single-family homes and may include community amenities. The dwellings are sparsely located.

## C. LOW-DENSITY URBAN RESIDENTIAL

Composed mostly of single-family homes (attached and detached). The detached dwellings typically have a side yard.

## D. MEDIUM-DENSITY URBAN RESIDENTIAL

Includes a mixture of housing types ranging from single-family detached to four-story multi-family buildings with variable setbacks. The open spaces are concentrated in the form of neighborhood-level parks.

## E. HIGHER-DENSITY DISTRICT

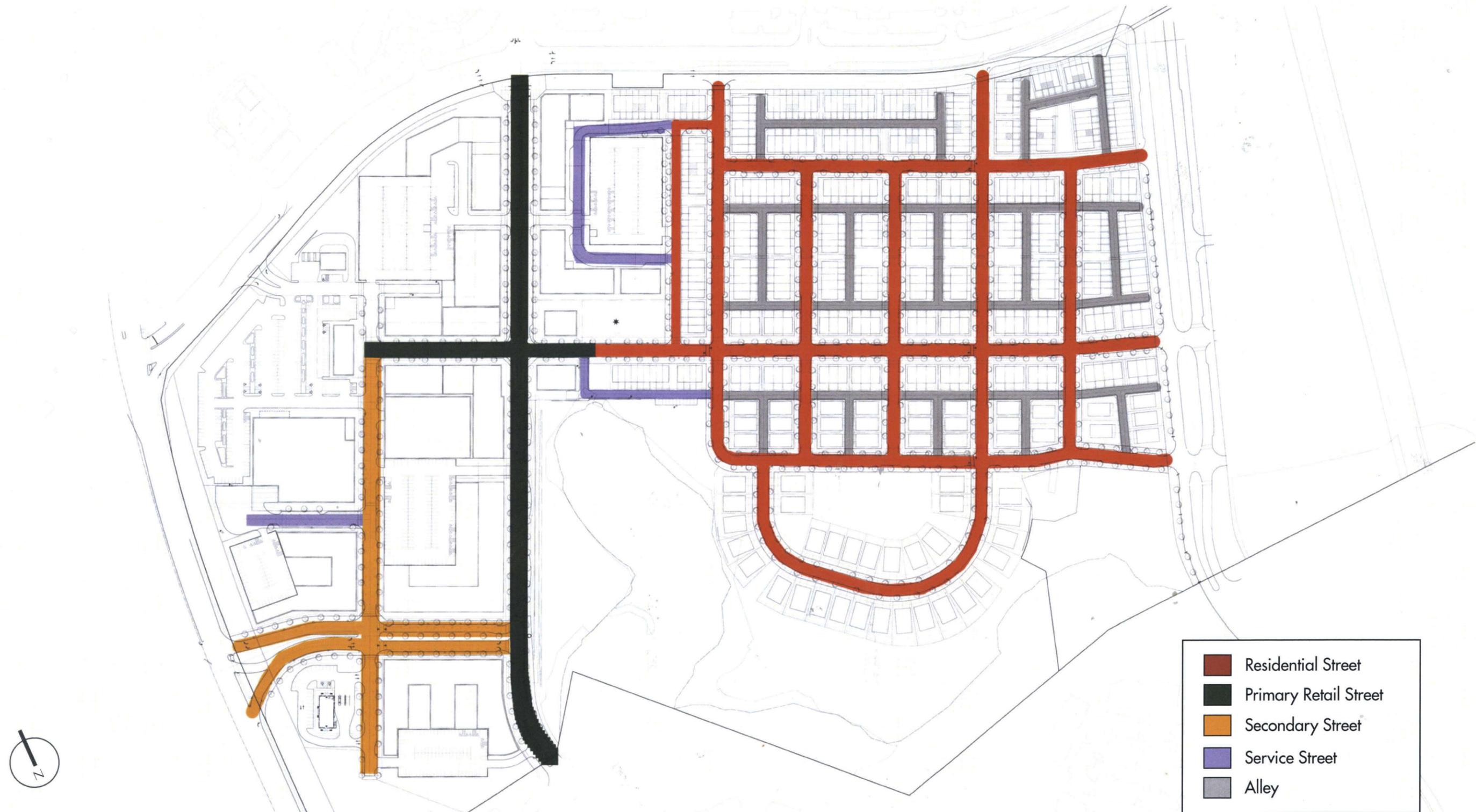
Are special areas within the site where there are the greatest land use variety, density and building types, ranging from one-story commercial stores and office-over-retail buildings, to 20-story luxury condominium towers. These areas are of city-level importance and depending on their location, could include destination and/or community retail, and/or transit services. The open spaces are urban squares and plazas.



Note: The diagram depicts the concept behind various density and building heights, and does not necessarily depict the actual site plan

# STREET AND BLOCK PATTERN

Depending on the adjacent land uses, transportation facilities, and functional aspects, various streets and roadways will be designed to promote a diverse public environment. There are six distinct street characters that will define the treatment of various rights-of-way in Crown Farm and guide the placement and type of buildings, planting, and sidewalks, as specified in the following pages. While the street dimensions and design treatments are important to maintain a consistent character, planners and designers could find that individual site characteristics could suggest modifications to these requirements. Any proposed modifications should be coordinated with the City of Gaithersburg.



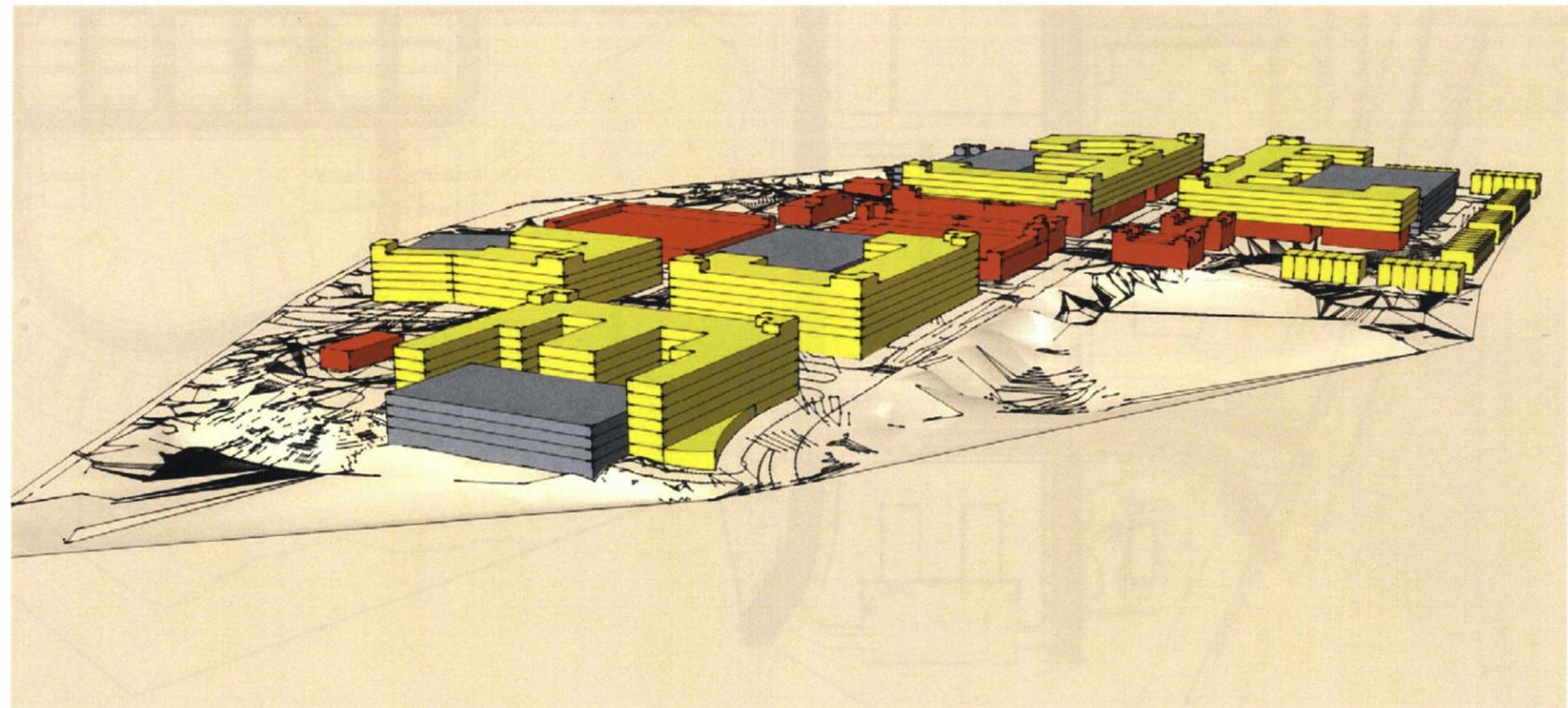
- Residential Street
- Primary Retail Street
- Secondary Street
- Service Street
- Alley

Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# NEIGHBORHOOD ONE BUILDING MASSING



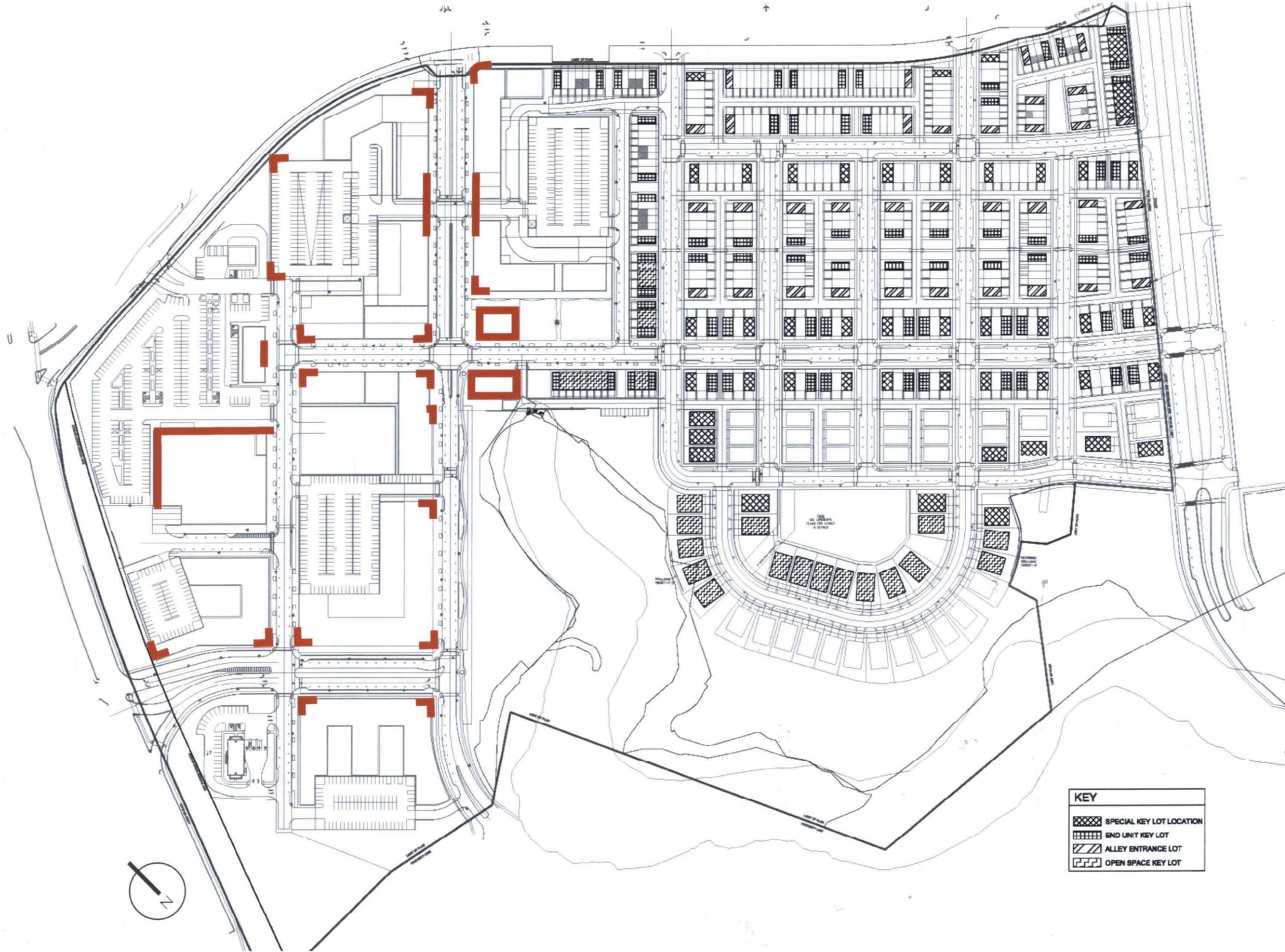
VIEW 1



VIEW 2

# KEY LOTS

Key Lots are buildings that shall receive special architectural treatments. They are located at corners, highly visible areas, or around the major open spaces. The architectural treatments of the building in these lots could include, but not limited to, high-quality material, unique materials, wrap-around porches, additional bay windows, and other embellishments.



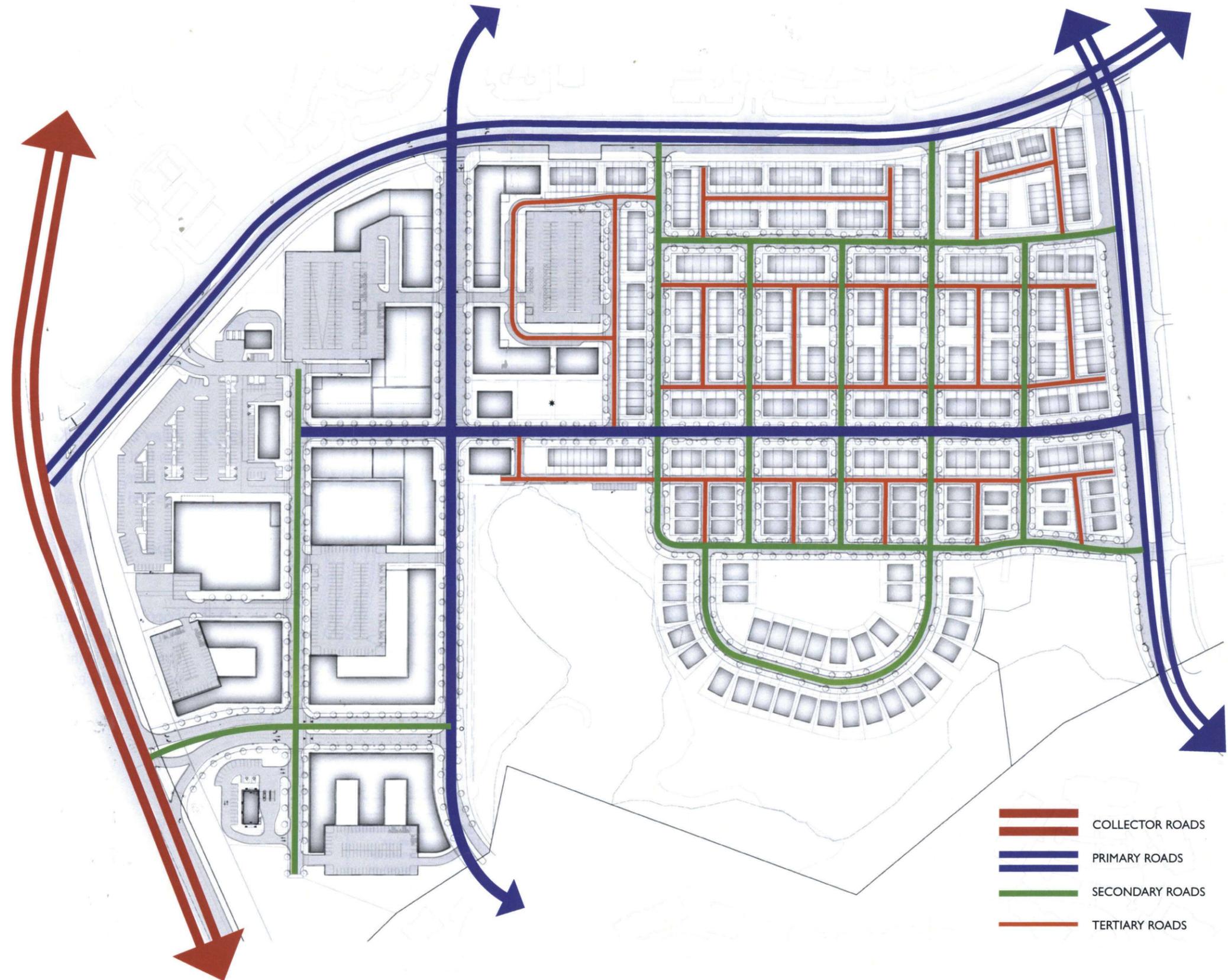
The following categories outline specific or addition treatment requirements:

-  **Special Key Lot**  
 All facades of these single family detached houses will be treated with the same combination of building materials on all four sides of unit.
-  **End Unit Key Lot**  
 The residential unit located at the end of a row will be treated with the consistent material treatments on the front and side facades.
-  **Alley Entrance Key Lot**  
 The first residential unit located at the alley entrances will have a consistent material treatment on the front, side and rear facades.
-  **Open Space Key Lot**
-  **Focal Point Treatment**  
 The buildings and retail spaces that are located strategically in the street axis shall be treated with predominantly brick/stone/masonry facades.

KEY	
	SPECIAL KEY LOT LOCATION
	END UNIT KEY LOT
	ALLEY ENTRANCE LOT
	OPEN SPACE KEY LOT

Note: The Key Lots Plan is subject to change at Final Site Plan

# CIRCULATION



Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# GENERAL BUILDING HEIGHTS AND MASSING



**NEIGHBORHOOD 1 - MIXED-USE**  
 UP TO 8 STORIES  
 COMMERCIAL: 235,000 - 300,000 gross square feet  
 SINGLE FAMILY ATTACHED  
 AND MULTIFAMILY: 650 - 1200 UNITS

**NEIGHBORHOOD 5 - MIXED-USE**  
 UP TO 20 STORIES  
 COMMERCIAL: 10,000 - 85,000 gross square feet  
 SINGLE FAMILY ATTACHED AND  
 MULTIFAMILY: 300 - 900 UNITS

**NEIGHBORHOOD 2**  
 UP TO 4 STORIES  
 SINGLE FAMILY ATTACHED AND DETACHED AND  
 MULTIFAMILY: 320 - 420 UNITS

**NEIGHBORHOOD 3**  
 UP TO 4 STORIES  
 SINGLE FAMILY ATTACHED AND DETACHED AND  
 MULTIFAMILY: 300 - 440 UNITS

- NOTES:**
- Heights are expressed in stories as follows\*:  
 Neighborhood 1 – up to 8 Stories  
 Neighborhoods 2 and 3 – up to 4 Stories  
 Neighborhood 5 – up to 20 Stories
  - Gross Land Area = 182.8 +/- Acres  
 Mixed Use, Residential, and Commercial = 176.4 +/- Acres\*\*  
 Right-of-Way (Sam Eig Highway, Fields Road, Research Boulevard) = 6.4 +/- Acres
  - 2250 residential units shall be allowed. The range of residential units shown within the Neighborhoods is from 1,570 units to 2,960 units. However, the total amount of residential units shall not exceed 2,250. 2 over 2 units and senior housing units shall be counted as multi-family residential units. Multi-family residential units may be constructed in stand-alone, single-use buildings.
  - Commercial FAR shall not exceed 0.75 FAR based on land shown for commercial use. 320,000 gross square feet of commercial development shall be allowed. The range of commercial gross square feet shown within Neighborhood 1 and Neighborhood 5 is from 245,000 gross square feet to 385,000 gross square feet. However, the total amount of commercial gross square feet shall not exceed 320,000 gross square feet. Commercial uses may be constructed in one (1) story, stand-alone, single-use buildings. \*\*\*
  - Green area shall not be less than 40% of total area shown for residential use.\*\*\*\*
  - Green area shall not be less than 25% of total area shown for commercial use.\*\*\*\*
  - The consolidated HOA Facility located in Neighborhood 3 shall be designed to accommodate residential units that are not served by self-contained amenities (for example, amenities within multi-family buildings).
- \* As used above, the term "stories" does not include basements or mezzanine floors.  
 Subject to the maximum heights specified, actual building heights will be determined by applicant.  
 \*\* The applicant may adjust the Neighborhood boundaries, acreages, and other designated areas identified within Neighborhoods.  
 The applicant may shift densities and residential unit types shown in each Neighborhood between Neighborhoods, provided the total allowed density of 2,250 residential units and 320,000 gross square feet of commercial uses is not exceeded.  
 In Neighborhoods 1 and 5, a hotel use and/or additional office uses may be permitted subject to the terms of the Annexation Agreement, as amended.  
 \*\*\* Applicant may opt to include retail, service and/or employment uses in commercial FAR.  
 In Neighborhoods shown as mixed use, commercial uses and all residential unit types are permitted.  
 \*\*\*\* Green area for whole site to be prorated between residential and commercial including the school site, city park, and all open space areas shown. Mixed use structures shall be considered commercial for green area calculations.

Note: the number of stories do not include roofs, mechanical penthouses, or mechanical equipment screens.

# Neighborhood Overview

# 2

# NEIGHBORHOOD ONE ILLUSTRATIVE LANDSCAPE PLAN

Note: This diagram is for illustrative purposes only. Paving patterns and landscaping details are subject to change.



Note: These plans are illustrative and do not depict the final plan conditions. The details of these plans are subject to change.

# NEIGHBORHOOD ONE GENERAL BUILDING HEIGHTS AND MASSING

Note: This diagram is for illustrative purposes only.



# NEIGHBORHOOD ONE SIDEWALK MATERIALS PLAN

Note: This diagram is for illustrative purposes only.



# Neighborhood One

Single Family Attached	51 UNITS
Multi Family Dwelling	650-1200 Units
Commercial/Retail Development	235,000-300,000 GSF

## GENERAL CHARACTER

Neighborhood One is located in the Northwest portion of the Crown Farm site, bordered by Sam Eig Highway and Fields Road. The most visible of all neighborhoods in this community, Neighborhood One is an urban mixed-use district, home to approximately 235-300k SF of retail/commercial space, more than 600 multifamily residential units, 51 single family attached homes, and large community open spaces.

The urban feel of this neighborhood is achieved through the mix of uses, varied building heights, street networks that connect to surrounding communities, a fully designed streetscape, layers of lighting, and built in traffic calming devices that aid pedestrian movement. With one-of-a-kind restaurants, unique retail offerings, and new grocery space, Neighborhood One is the heartbeat of the community, providing an amenity for residents and creating a destination for visitors.

Public open space within Neighborhood One is amenity driven and designed for community events, informal gatherings, and general public use. Landscaped pocket parks are designed throughout Neighborhood One, creating spaces for rest and observation.

## ARCHITECTURE

Design of building types should add to community character without rigid uniformity of design, and be visually and physically compatible with one another. The majority of the buildings shall conform to a more **urban look**. This should be achieved through use of building elements, details, materials, colors, and street facade arrangements that are prevalent in many attractive urban neighborhoods. Overall facade composition shall **express verticality** through alignments of doors/windows/bays.

Building heights can range from **1-8 stories**. The majority of buildings and parking decks between Sam Eig Highway and Diamondback Road will be 3-4 stories, above grade. Townhouses at the far west of the site will typically be 3-4 stories.

Long-life cycle materials, such as **brick, stone, cementitious materials, and precast** are encouraged in the **front facades** of the buildings. Other materials such as fiber cement siding could also be used.

Rooftops should contribute to the **unified appearance of the neighborhood**. The design should incorporate a mix of roof forms that will reinforce the urban look of **flat roofs** and **expressive parapets**.

**Decks, porches, and stoops** shall be of a scale and style that is complimentary to the building design. They shall be open and no privacy screens will be permitted.

## SIDEWALK

A variety of materials will be used to create active sidewalks throughout Neighborhood One. Exposed aggregate, brushed concrete, or brick paver sidewalks will occur along residential streets near townhomes. The asphalt trail will run adjacent to the Stream Valley, and connect through to other areas of the community.

# NEIGHBORHOOD TWO ILLUSTRATIVE LANDSCAPE PLAN

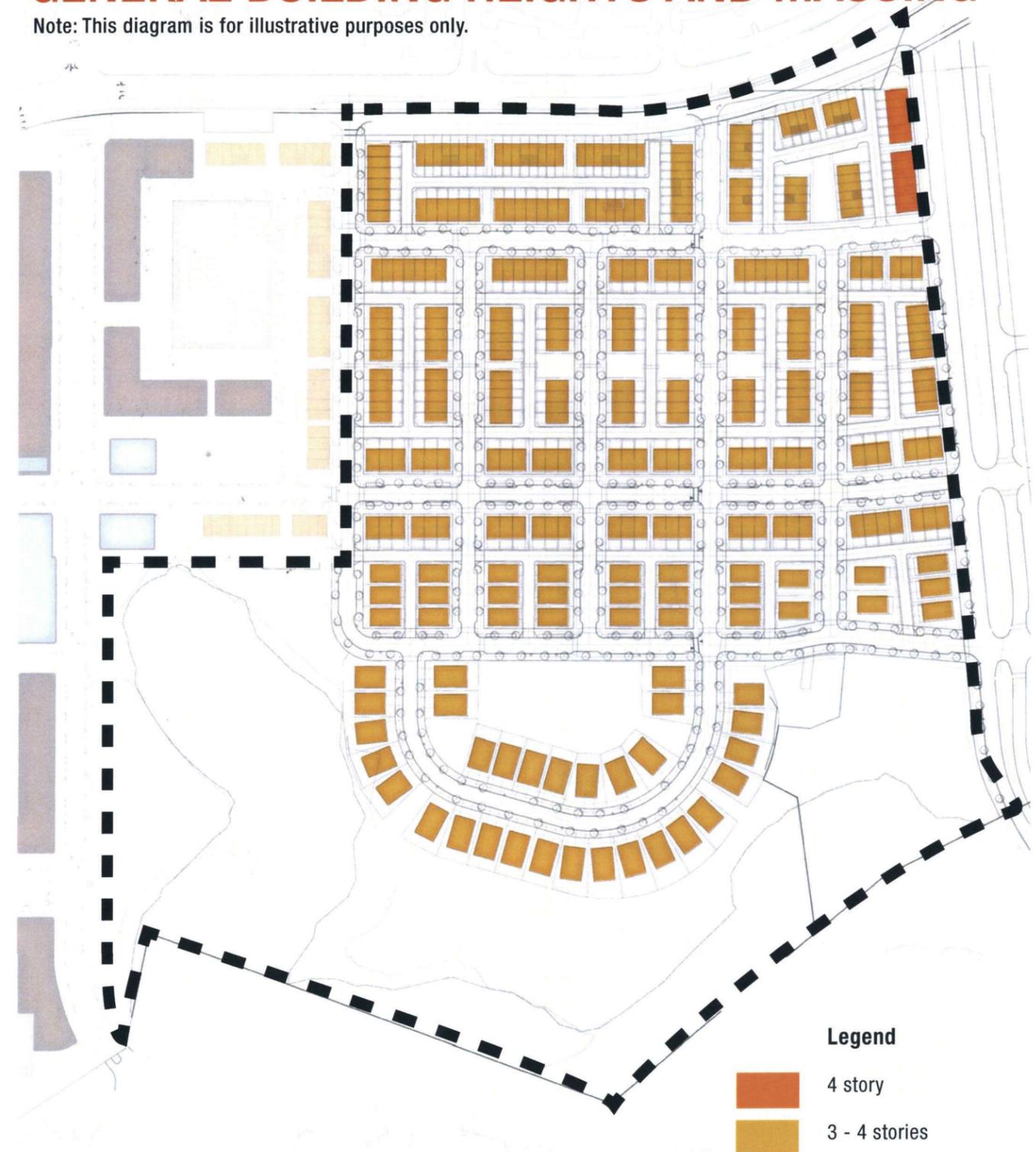
Note: This diagram is for illustrative purposes only.



- SINGLE FAMILY DETACHED
- SINGLE FAMILY ATTACHED

# NEIGHBORHOOD TWO GENERAL BUILDING HEIGHTS AND MASSING

Note: This diagram is for illustrative purposes only.



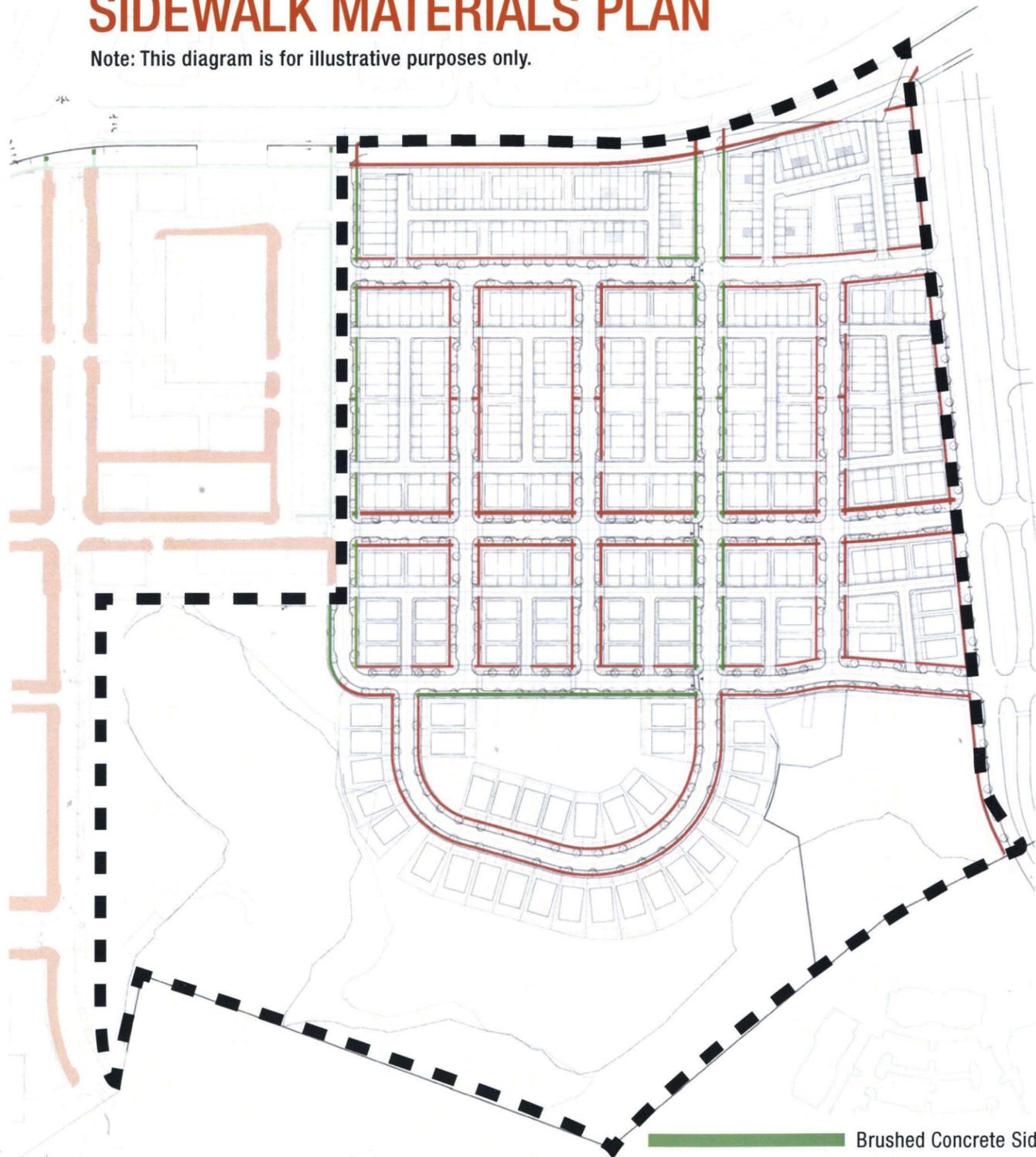
### Legend

- 4 story
- 3 - 4 stories

Note: These plans are illustrative and do not depict the final plan conditions. The details of these plans are subject to change.

# NEIGHBORHOOD TWO SIDEWALK MATERIALS PLAN

Note: This diagram is for illustrative purposes only.



- Brushed Concrete Sidewalk
- Concrete Paver, Brick, Brick Paver, or Exposed Aggregate Concrete Sidewalk with Accent Pavers in a Herringbone pattern, or other

## Neighborhood Two

Single Family Detached  
Single Family Attached

59+ Units  
261-361+ Units

### GENERAL CHARACTER

Neighborhood Two is the home to approximately 320-420 residential units, including both single family detached and single family attached of varying designs. Surrounded by a network of "green streets", this neighborhood will showcase numerous home layouts with varied materials and approaches. Alleys are provided behind most residences in order to facilitate trash removal, recycled materials removal, and garage parking without detracting from the overall streetscape.

Open space is the highlight of Neighborhood Two. The southern portion of this neighborhood boasts park land that is broken down into smaller spaces enabling many activities to take place at one time and a large city park that contains stream valley's, walking/jogging paths, and natural landscaping.

### ARCHITECTURE

Design of building types should add to community character without rigid uniformity of design, and be visually and physically compatible with one another. This should be achieved through use of building elements, details, materials, colors, and street facade arrangements that are prevalent in many attractive urban neighborhoods. Overall facade composition shall **express verticality** through alignments of doors/windows/bays.

Long-life cycle materials, such as **brick, stone, cementitious materials, and precast** are encouraged in the front **facades** of the buildings. Other materials such as fiber cement siding could also be used.

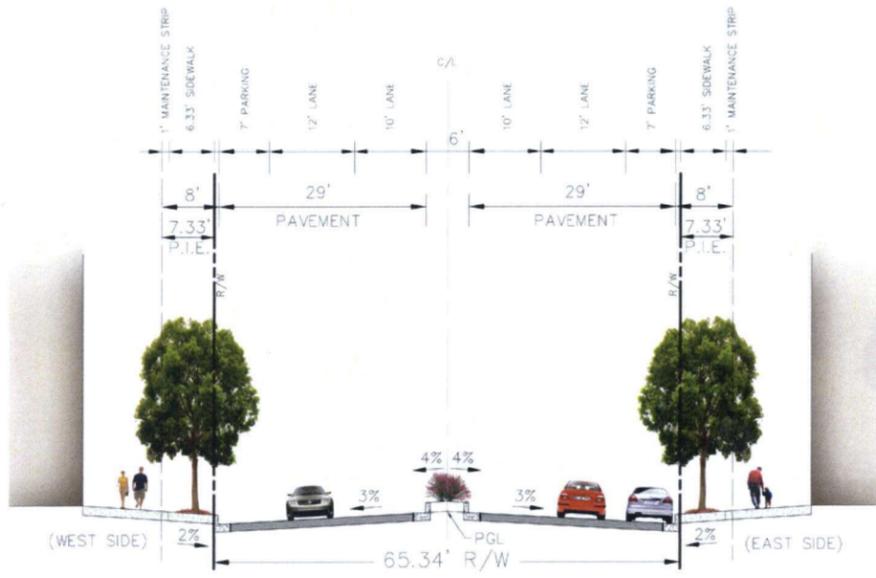
Rooftops should contribute to the **unified appearance of the neighborhood**. The design should incorporate a mix of roof forms that will reinforce the urban look of **flat roofs** and **expressive parapets**.

**Decks, porches, and stoops** shall be of a scale and style that is complimentary to the building design. They shall be open and no privacy screens will be permitted.

### SIDEWALK

A variety of materials will be used to create active sidewalks throughout Neighborhood Two. Exposed aggregate, brushed concrete, or brick paver sidewalks will occur along residential streets. The asphalt trail will run adjacent to the Stream Valley and connect through to other areas of the community.

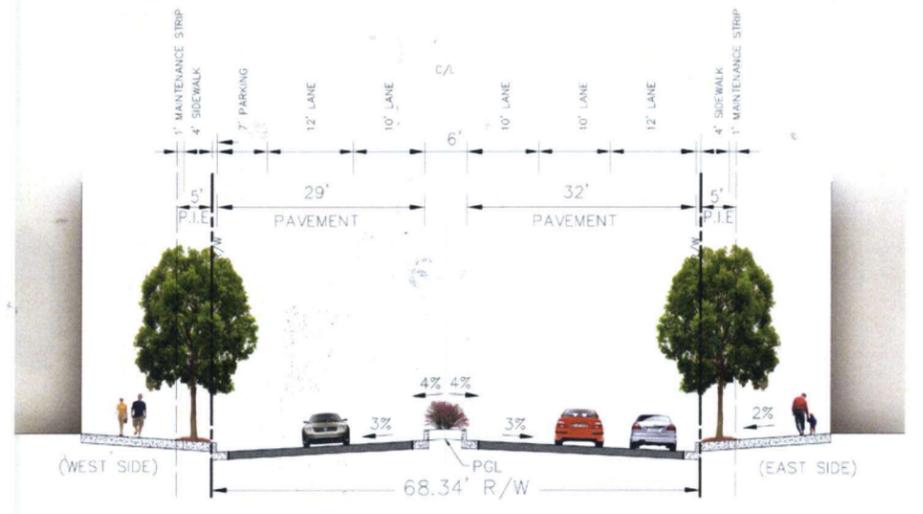




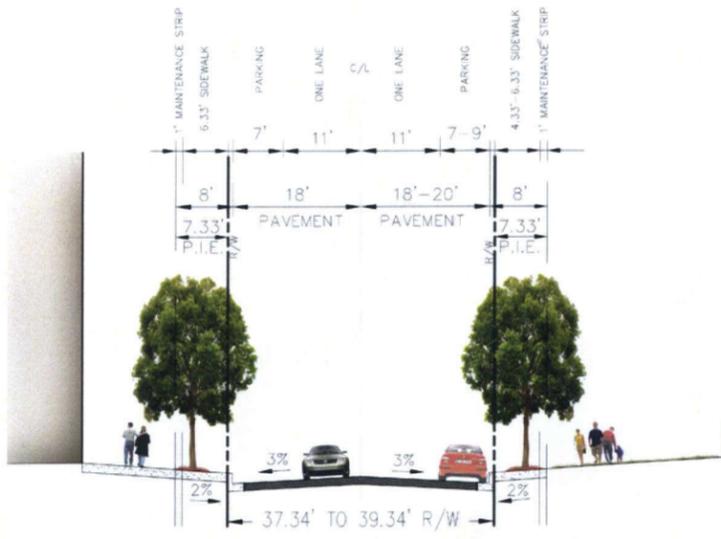
DIAMONDBACK DRIVE BETWEEN STREET "G"  
AND EXISTING FIELDS ROAD  
SECTION "G-1a"  
(PUBLIC)



DIAMONDBACK DRIVE BETWEEN PARKING GARAGE  
ACCESS AND EXISTING FIELDS ROAD  
ALTERNATE SECTION "G-1b"  
(PUBLIC)



DIAMONDBACK DRIVE BETWEEN PARKING GARAGE  
ACCESS AND EXISTING FIELDS ROAD  
ALTERNATE SECTION "G-1c"  
(PUBLIC)



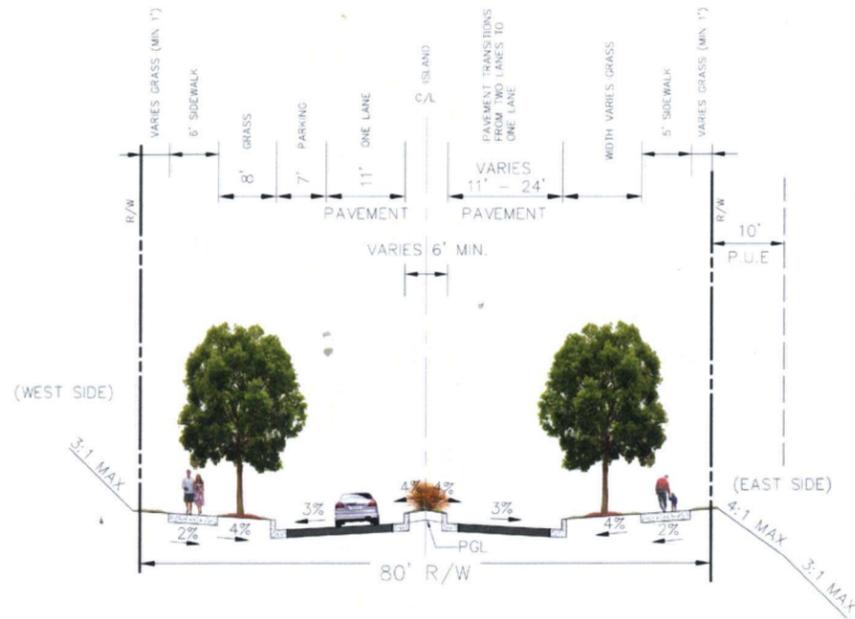
DIAMONDBACK DRIVE BETWEEN STREET "D" AND STREET "G"  
SECTION "G-2"  
(PUBLIC)



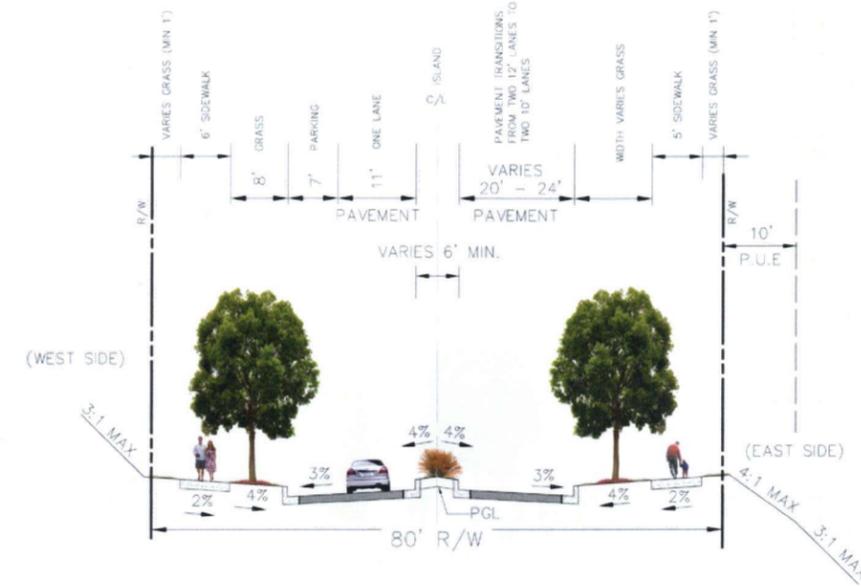
DIAMONDBACK DRIVE BETWEEN STREET "G"  
AND EXISTING FIELDS ROAD  
SECTION "G-3"  
(PUBLIC)

Note: Sections are illustrative and do not necessarily illustrate final plan conditions.. The details of these sections are subject to change.

# TYPICAL STREET SECTIONS



DIAMONDBACK DRIVE BETWEEN  
EXISTING DIAMONDBACK DRIVE (SOUTH) AND STREET "D"  
SECTION "H-2a"  
(PUBLIC)



DIAMONDBACK DRIVE BETWEEN  
EXISTING DIAMONDBACK DRIVE (SOUTH) AND STREET "D"  
SECTION "H-2b"  
(PUBLIC)



STREET "H"  
SECTION "O-1"  
(PRIVATE)



STREET "C"  
SECTION "O-2"  
(PRIVATE)



STREET "H"  
SECTION "O-3"  
(PRIVATE)

# TYPICAL STREET SECTIONS



STREET "G" BETWEEN STREET "H"  
AND DIAMONDBACK DRIVE  
SECTION "F-1"



STREET "G" BETWEEN DIAMONDBACK DRIVE  
AND ALLEY AT RETAIL  
SECTION "F-2"  
(PUBLIC)



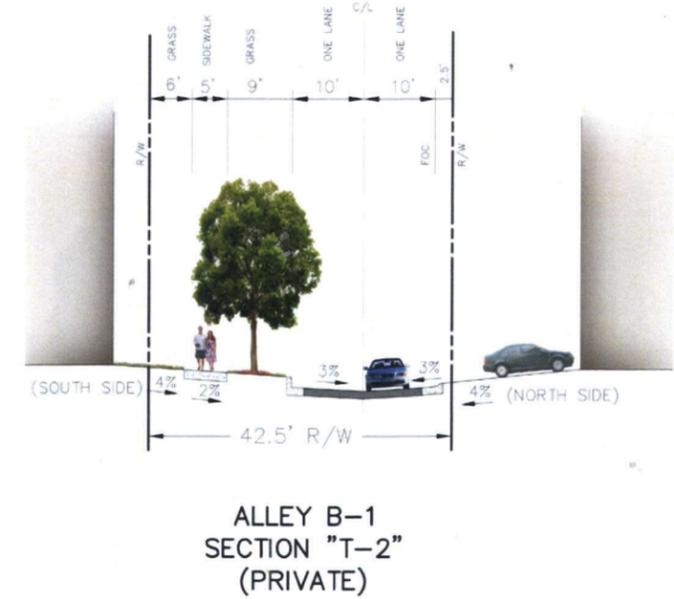
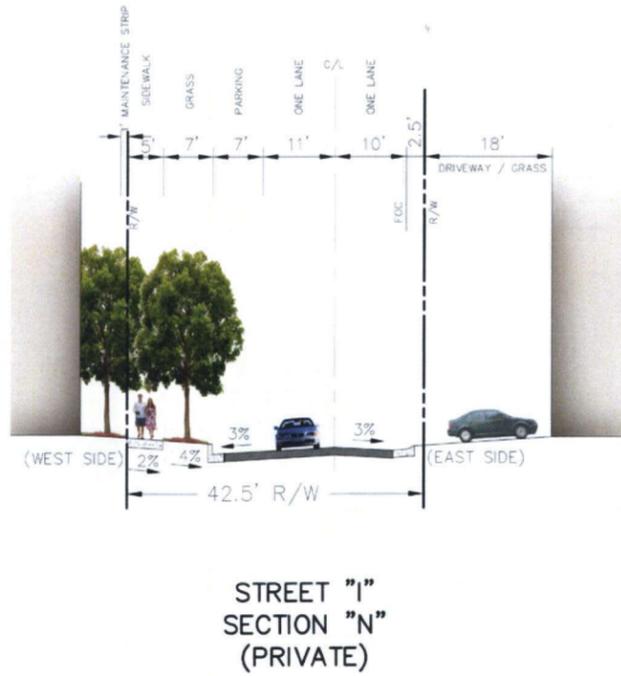
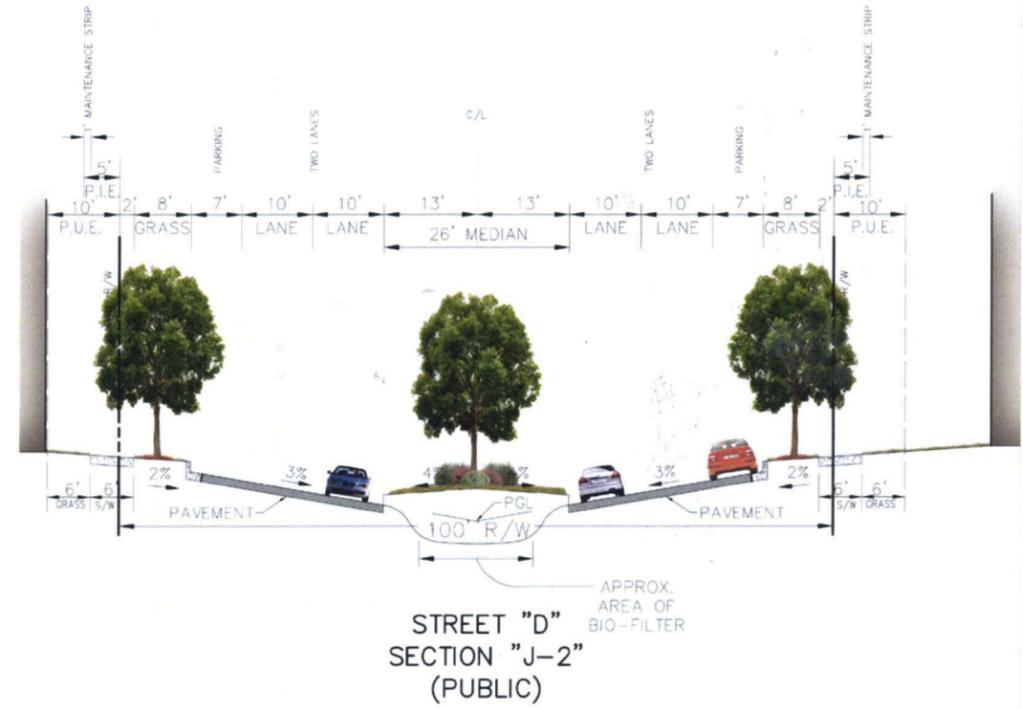
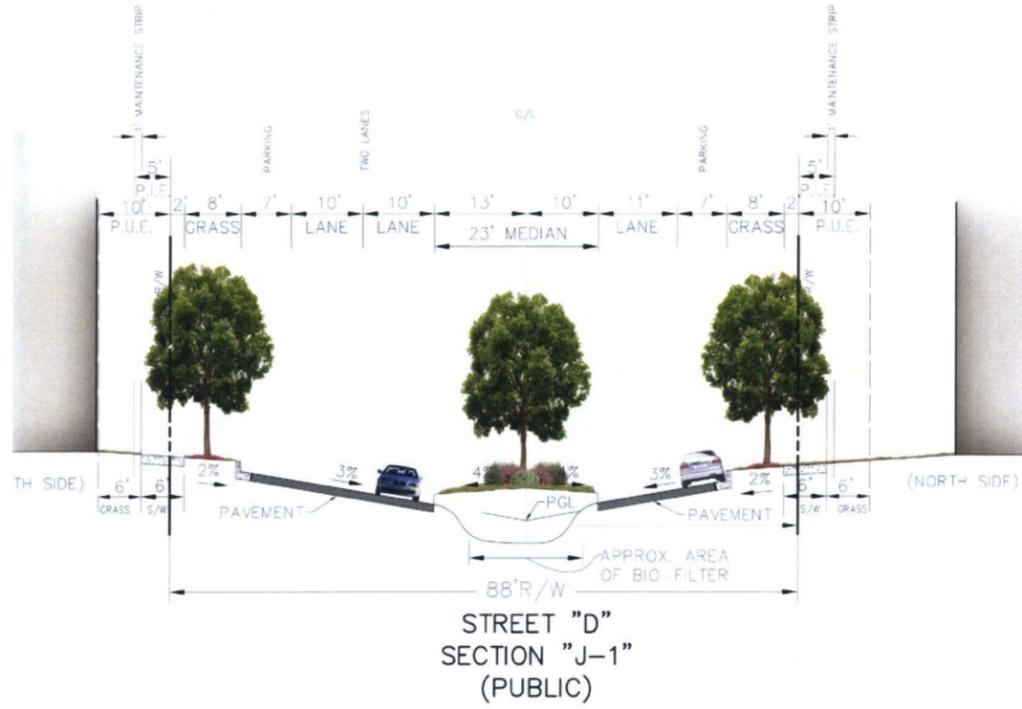
STREET "G" BETWEEN ALLEY @ RETAIL  
AND STREET "I" AT RESIDENTIAL  
SECTION "F-3"  
(PUBLIC)



STREET "G" BETWEEN STREET "I"  
AT RESIDENTIAL AND STREET "E"  
SECTION "F-4"  
(PUBLIC)

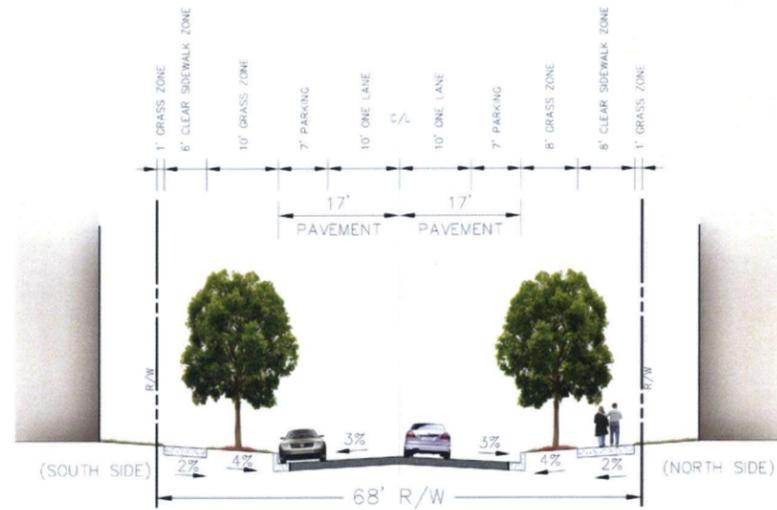
Note: Sections are illustrative and do not necessarily illustrate final plan conditions.. The details of these sections are subject to change.

# TYPICAL STREET SECTIONS

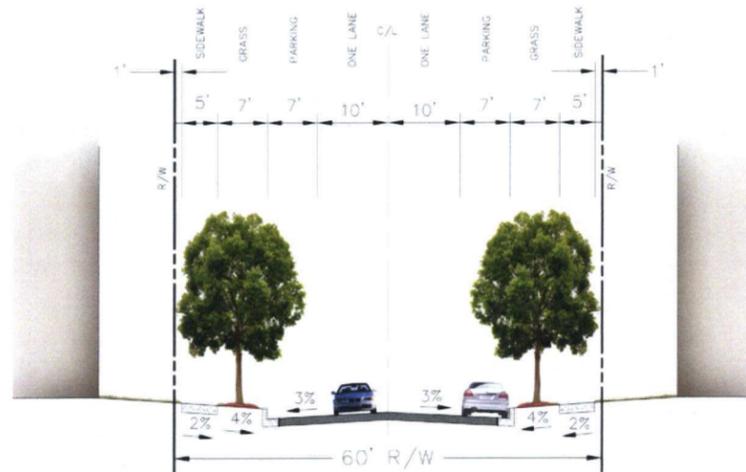


Note: Sections are illustrative and do not necessarily illustrate final plan conditions.. The details of these sections are subject to change.

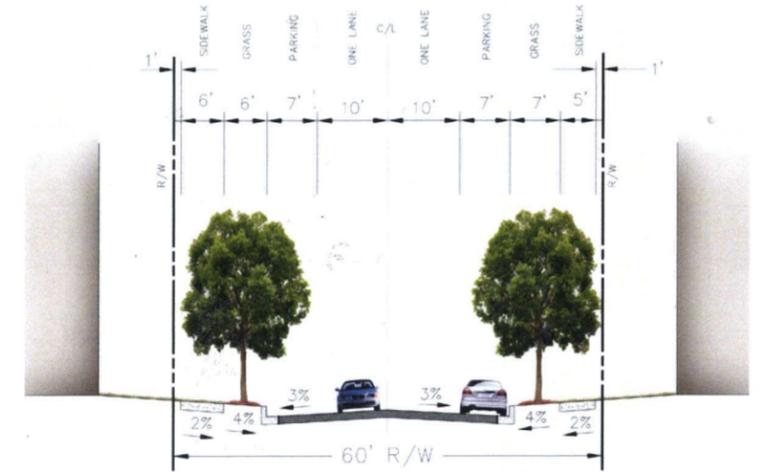
# TYPICAL STREET SECTIONS



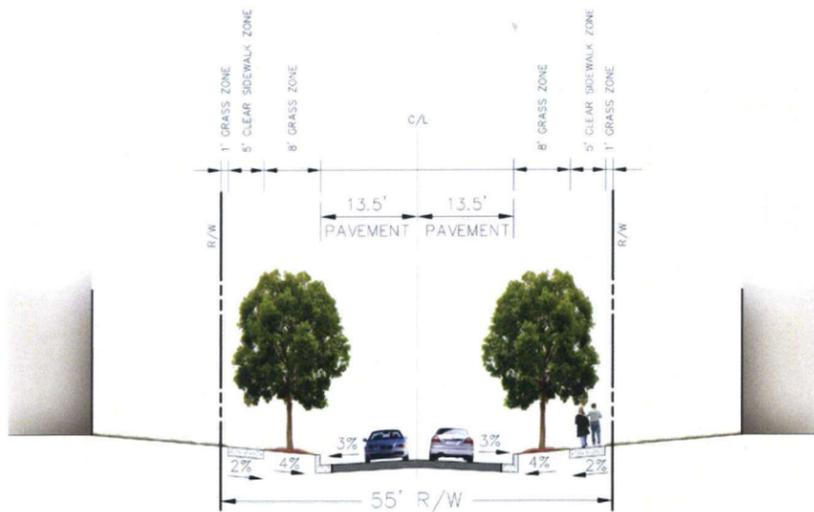
STREET "G" BETWEEN STREET "E"  
AND DECOVERLY DRIVE  
SECTION "9"  
(PUBLIC)



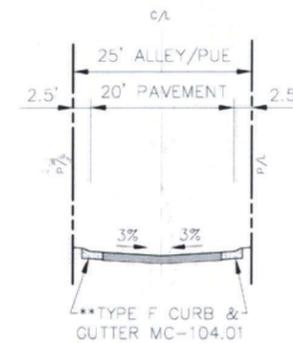
STREETS "A", "E", "J", "K", & "M"  
SECTION "D"  
(PUBLIC)



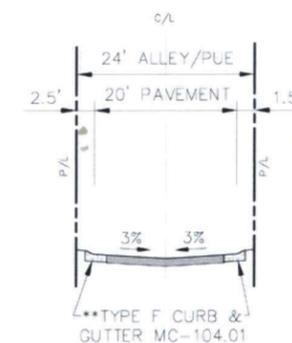
STREETS "E" & "L"  
SECTION "D-1"  
(PUBLIC)



STREET "F"  
SECTION "3"  
(PUBLIC)



RESIDENTIAL ALLEY  
SECTION "U"



RESIDENTIAL ALLEY  
SECTION "U-1"

Note: Sections are illustrative and do not necessarily illustrate final plan conditions.. The details of these sections are subject to change.



OPEN SPACE

3

# OPEN SPACE OVERVIEW

## 1. Stream Valley

One of the unique features of Crown Farm is the natural stream valley and forested areas that are generally located along the southern portion of the property. Although no paths or trails will enter into the stream valley, this natural landscape will be used as the backdrop for trails and pathways that surround it.

## 2. Neighborhood Parks

Neighborhood parks within Crown Farm will serve as both community gathering spaces and focal areas for the various individual neighborhoods that make up the site. Parks will be designed to provide a variety of passive and active recreation opportunities for all age groups, as well as to reinforce the identity of their specific neighborhood.

## 3. Urban Squares and Plazas

Urban squares at Crown Farm will have a similar function to the neighborhood parks in that they will reinforce the sense of place for their neighborhood. They will also serve as overall community destination points, and generally incorporate a more intense amount of pedestrian and vehicular traffic. The specific designs for these areas will rely on a greater use of hardscape materials and treatments.

## 4. Pocket Parks

Pocket parks and the other smaller open spaces throughout the site, such as linear parks, street islands and courts, will be the true "hidden gems" of Crown Farm. These spaces will be designed primarily for small scale gatherings, passive recreation, and in some cases linkages between larger open spaces. Though these spaces will be physically smaller than Neighborhood Open Spaces and Urban Squares, they will be highly amenitized and designed in much the same way as the larger open spaces.

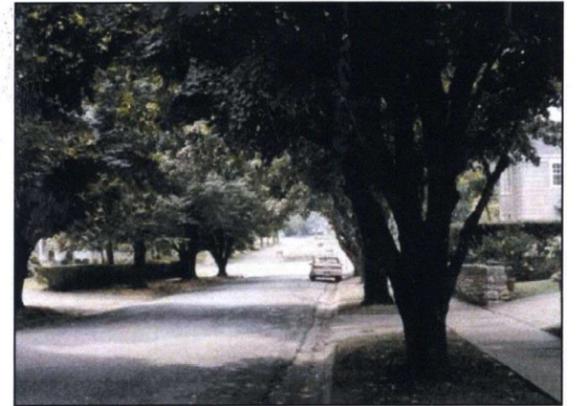
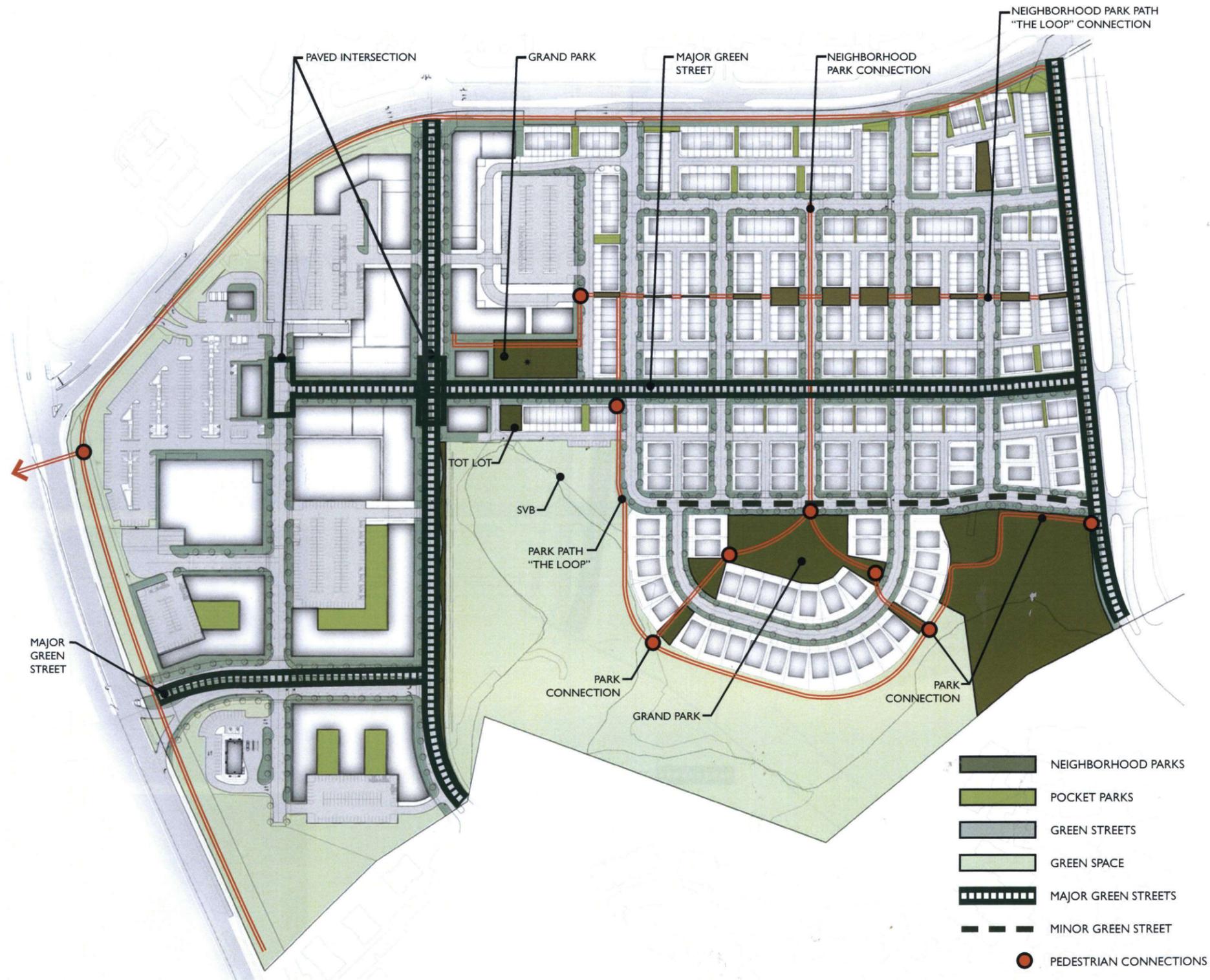
## 5. Green Streets

Green streets unify the development's open spaces and connect them with the stream valley to the south. Some streets will have landscaped medians, some others could have deeper landscape areas along the edges, while others could have increased street tree plantings.



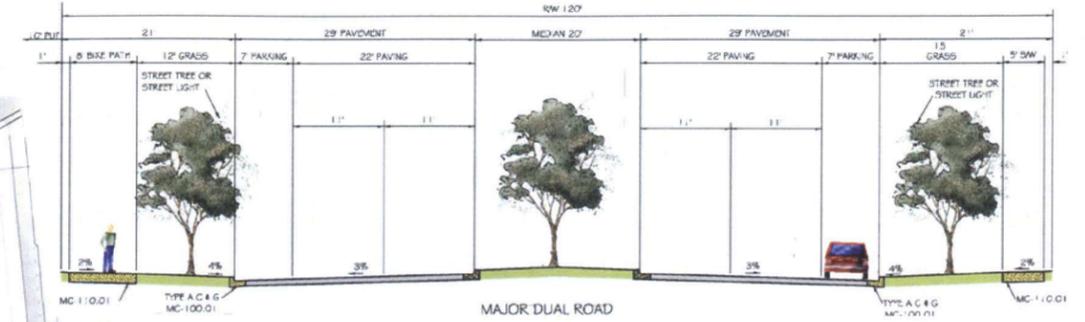
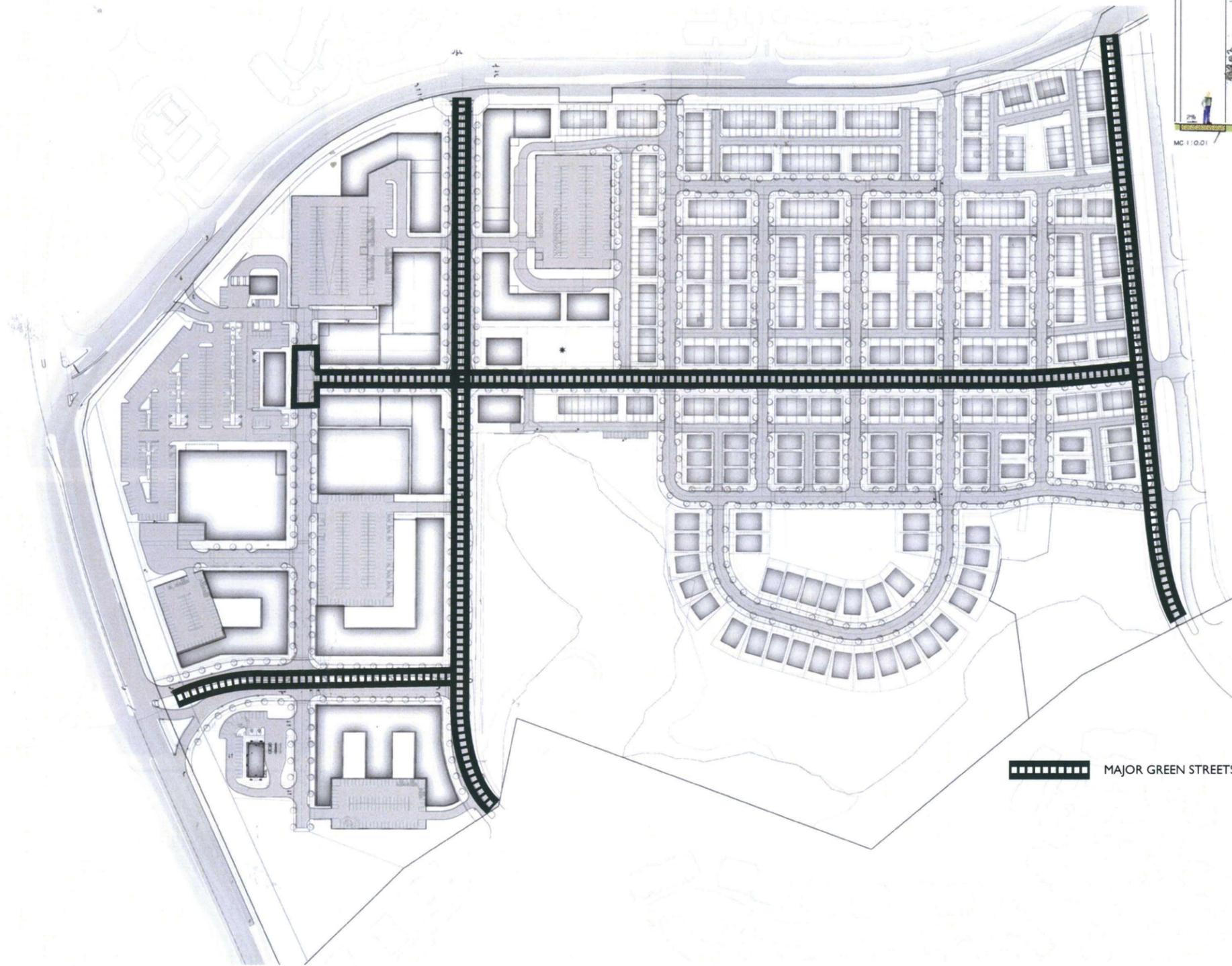
Note: These images are examples for illustrative purposes only. They do not depict the built conditions.

# OPEN SPACE DIAGRAM



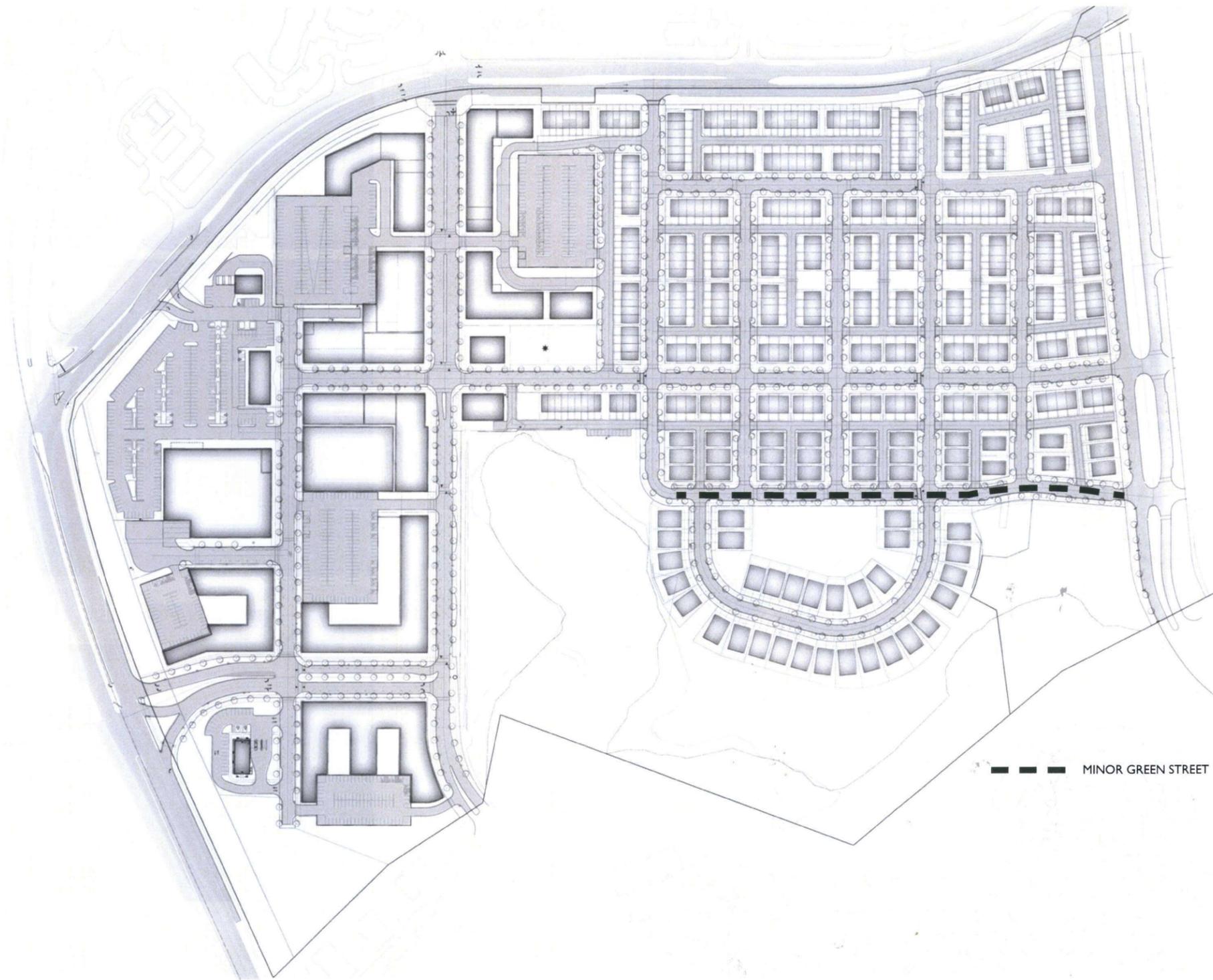
Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# MAJOR GREEN STREETS

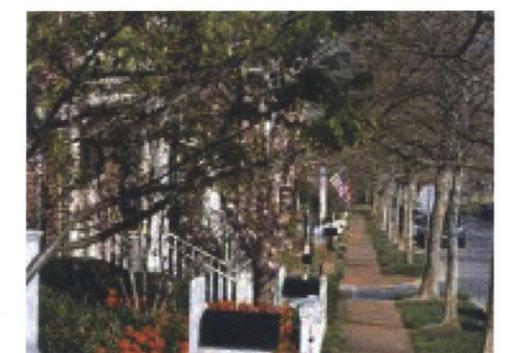


Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# MINOR GREEN STREETS



--- MINOR GREEN STREET



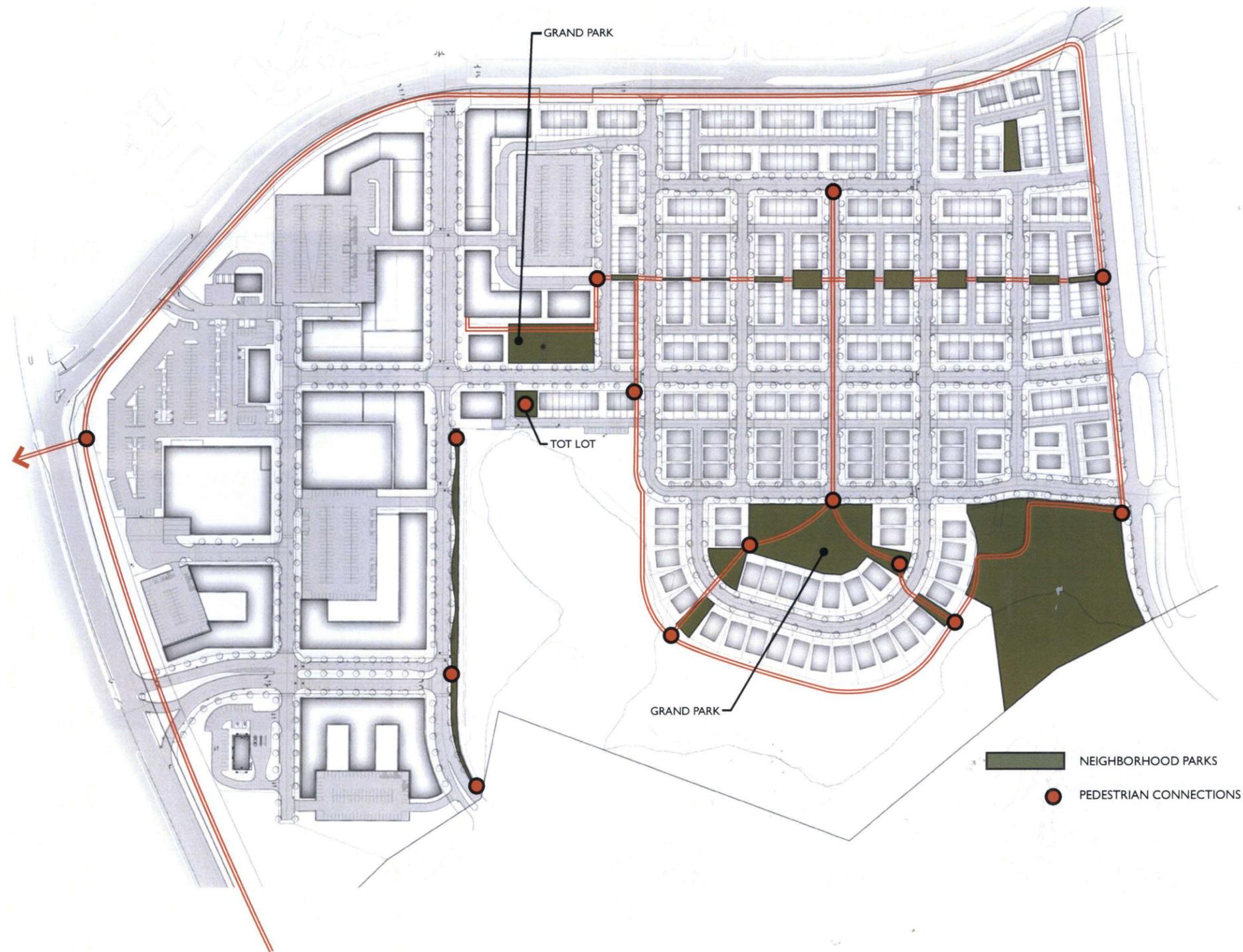
Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# PEDESTRIAN PATHS AND CONNECTIONS



Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# NEIGHBORHOOD PARKS



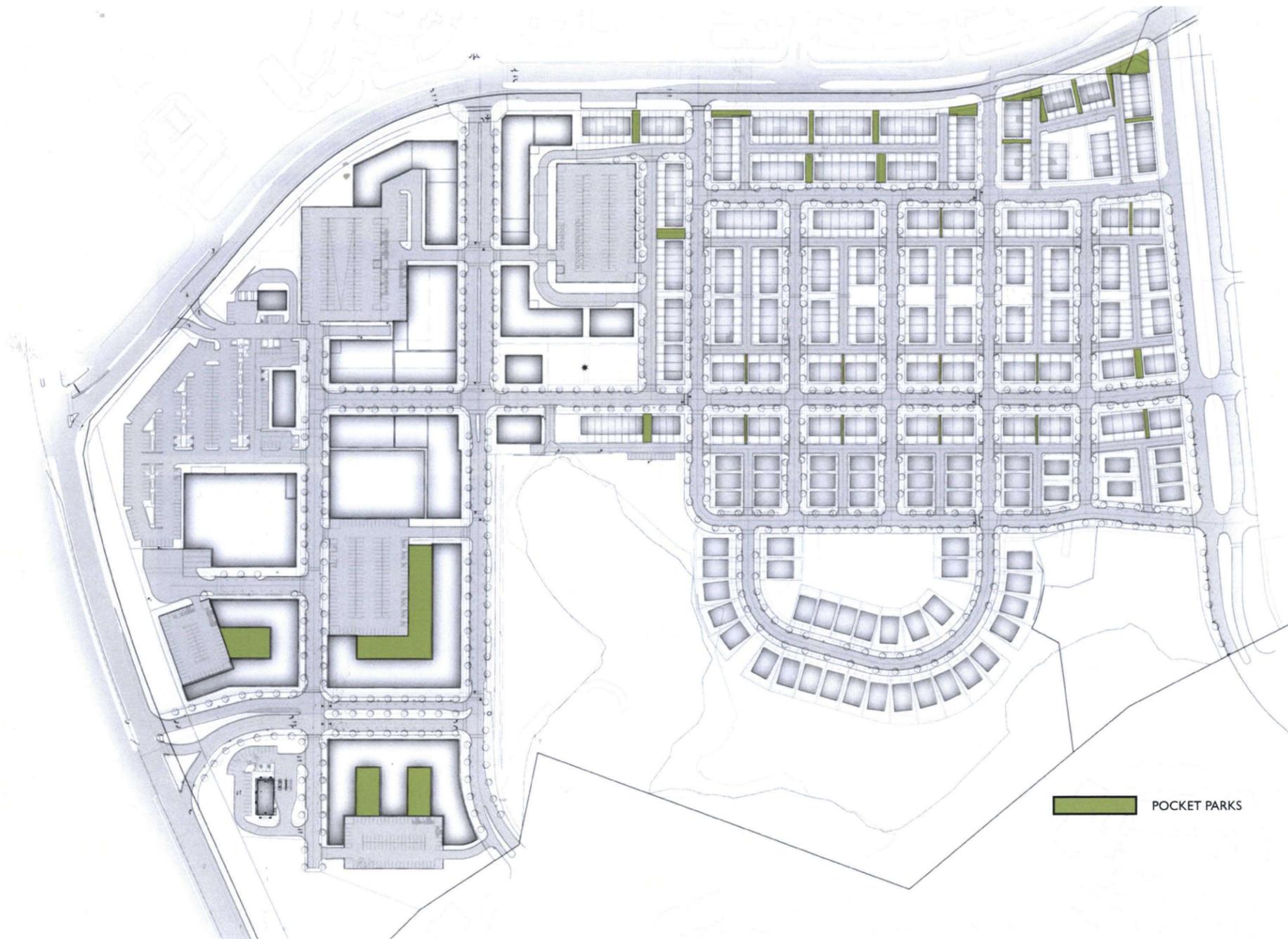
## CHARACTERISTICS OF NEIGHBORHOOD PARKS

- Centrally located to neighborhood districts
- Offers passive or active recreation (programmed/unprogrammed)
- Perfect for passive social activities
- Sizes vary depending upon location
- Surrounded by trees/greenery



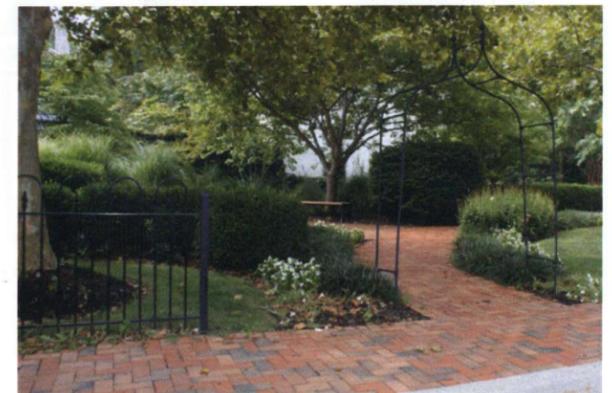
Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# POCKET PARKS



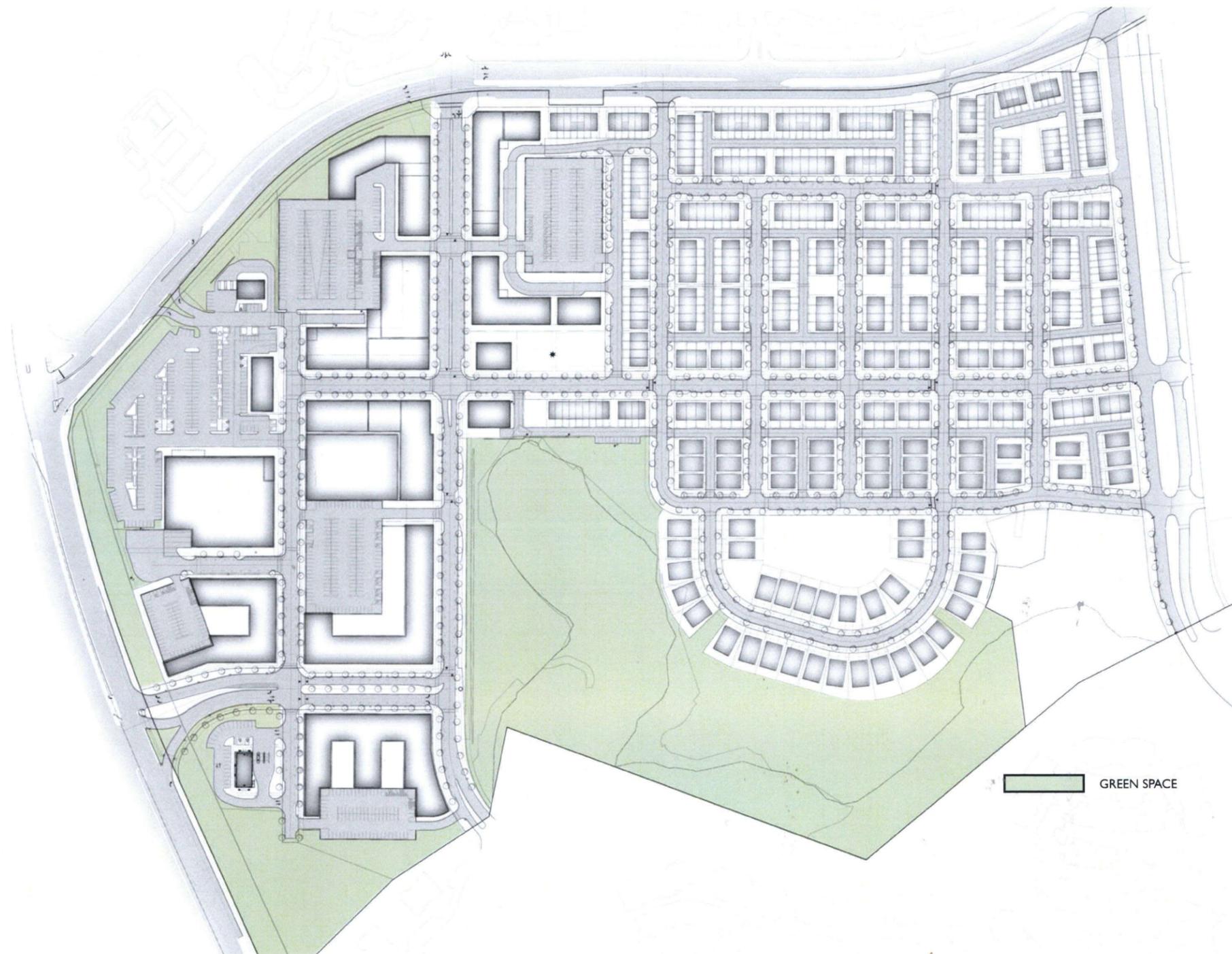
## CHARACTERISTICS OF POCKET PARKS

- Located throughout Crown Farm
- Can take many forms (field, playground, paving, etc.)
- Perfect for passive social activities
- Connected through sidewalks, trails, paths



Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# GREEN SPACE



## CHARACTERISTICS OF GREEN SPACE

- Located at Neighborhood Edge
- For Local & Regional Use
- Passive Recreation
- Value to the Community & the Region
- Typically Natural Character
- Include Lawn Areas for Structured Recreation Lots, Meadows, Informal Paths, Jogging Trails & Open-Air Civic Structures
- Incorporate Existing Trees, Ponds, Stormwater Management and Streams



Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.



# Landscape

Landscape design guidelines provide a framework for the selection of landscaping materials (trees, grasses, underplantings, bioswales, etc.), offering criteria used to select such materials and how they should be utilized.

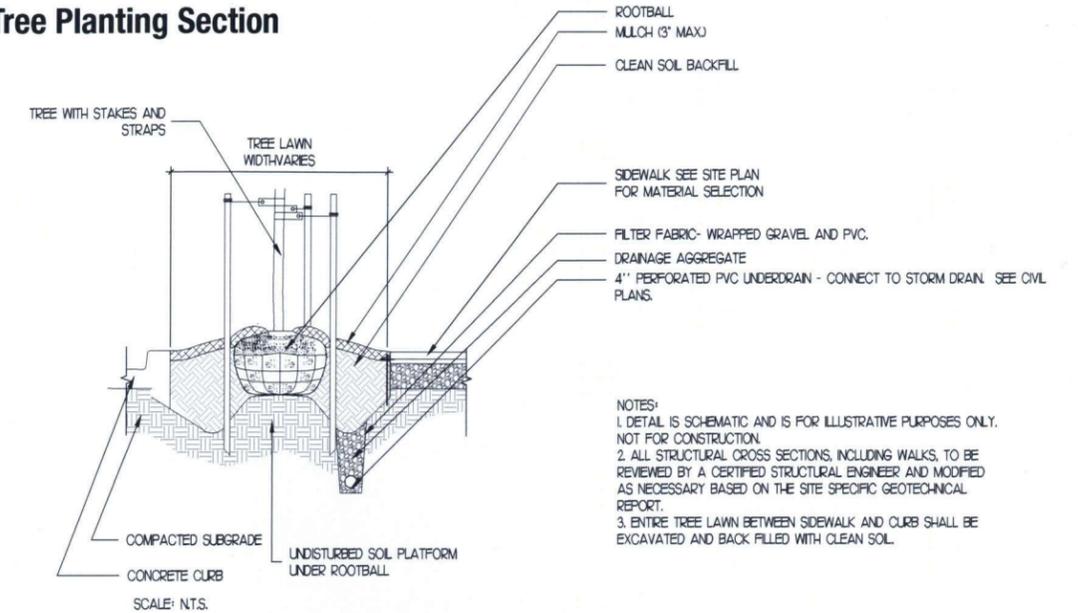
# 4

# GENERAL LANDSCAPE GUIDELINES

Landscape material selections shall respond to the surrounding architecture and shall reinforce and define the public open space within the site. In general, street tree species shall correspond to the specific street type on which they are located. This will help define the overall hierarchy of street connections and create clear pedestrian and vehicular zones. Overall landscape selections, other than street trees, will be based on year-round interest, the ecology of the site, the need to define spaces, hierarchy of plant material, and the theme of the design. To the extent possible regional/indigenous species are to be integrated into the planting designs, particularly in the more "natural" areas of the site. Deciduous material shall have an evergreen background, and all seasonal color shall be planted to the front of plant beds. There shall be a diverse mix of plant species to avoid monoculture and ensure seasonal interest. All plant beds and tree wells shall be fully prepared per the specifications as submitted on final site plans.

1. Landscaping is required for all development within Crown Farm and may include deciduous, evergreen or ornamental trees, shrubs, ground covers, perennials, and seasonal color (annuals). Landscape plantings must comply with the approved planting plans that are part of the City of Gaithersburg final site plan, as well as these guidelines. No invasive plant material shall be used.
2. Street trees shall be provided according to the approved City of Gaithersburg Site plans; all street trees shall be deciduous.
3. Landscape plantings for individual homes, provided by developers, should consist of a limited variety of trees, shrubs and ground covers to create an attractive, well designed, cohesive landscape. Shrubs and ground covers should be planted in masses of a single species or cultivar in sufficient numbers to create beds or drifts of plants. Homeowners will have the opportunity to landscape as agreed upon by HOA.
4. Plantings shall be installed at or exceeding the following minimum sizes to ensure good initial appearance:
  - Shade Trees: minimum 2 ½" caliper; Ornamental/Flowering Trees: minimum 1.5" caliper; Evergreen Trees: minimum 6' – 8' height; Large Shrubs: minimum 36" height; Medium Shrubs: minimum 24" height; Small Shrubs: minimum 15" height; Ground covers: minimum 4" pot
  - Street trees planted on Primary/Secondary Retail Streets: minimum 4" caliper
5. Plants shall be selected based upon their ultimate height, width and growth habit in relation to the space where they will be planted. When planted adjacent to buildings, plantings should not obscure the building's architectural features.
6. Plantings (other than street trees) shall be approximately 50% - 75% evergreen to assure year round framework for planting areas and visual interest.
7. Trees shall have a 3' clear zone around the base of the trunk.
8. Landscape selections are shown as examples and do not constitute final street tree selections. Additional species may be added at time of final design and subject to review and approval by owner and City of Gaithersburg.
9. Final architecture, utility locations and alley configuration will dictate landscape design and plant selections.
10. To the extent possible, landscape material shall conform to the City of Gaithersburg Tree Manual and "Native Plants for Central Maryland Landscapes" by the Maryland Cooperative Extension.

## Tree Planting Section



Note: see tree planting details included in the SDP by the City of Gaithersburg (Maryland State Forest Conservation Technical Manual)

# LANDSCAPING OVERVIEW

Landscaping includes sidewalk planting strips and plantings in tree basins. They are most appropriate where frequent pedestrian traffic between parked cars and the sidewalk is not expected or where a pedestrian path can not be provided for people moving between the sidewalk and parked cars. Landscaping is a simple addition to the streetscape, habitat, and a ecological value of the community.

## Landscaping:

- Reduces impervious area and surface runoff
- Naturally treats stormwater, improving water quality
- Provides infiltration and groundwater recharge
- Provides habitat
- Adds aesthetic value and promotes community stewardship
- Provides a buffer between the active pedestrian are of sidewalks and the street, enhancing pedestrian comfort.

Ivy and other invasive ground cover should be avoided as they can provide protective cover for pests. Tall, dense bushes and hedges should also be avoided as they can limit visibility and accessibility.

Understory landscaping should use drought-tolerant species. Deep rooted native or drought tolerant species have many benefits including tolerance to flooding and drought, low or no irrigation needed once established, improving water quality by filtering pollutants, and aerating and increasing the permeability of soils.

Planting strips can be designed to detain, cleanse, and infiltrate stormwater. In more significant storm events, overflow from one planter can be channeled to the next.



# STREET TREES

## STREET TREES

Street trees are one of the most important streetscape elements. Their height, canopy width, shade, and color set the tone for the streetscape, act as a traffic calming device to help protect pedestrians, and shield other streetscape elements from the sun. Tree species will be selected by street, based on the street's width, primary use, and available planting well size. Appropriate tree species selection and location will ensure the healthy growth and longevity of trees and maximize the neighborhood's overall value.

## LOCATION AND SPACING

Street tree location will be dictated by the species and have a minimum of 8' spacing. Tree spacing should create a continuous canopy and buffering effect between the roadway and the sidewalk.

## VERTICAL CLEARANCE

Choosing a tree species that has an appropriate canopy height is of the utmost importance. A vertical clearance of 80 inches is required above sidewalks and 14' above roadways.

## TREE WELLS

Three types of tree well conditions will be utilized throughout Crown Farm.

**Condition 1/Low Intensity:** Open tree well with under plantings.

**Condition 2/Low Intensity:** Open tree with mulch.

**Condition 3/High Intensity:** Surrounded by paving on all four sides.

Residential streets will be considered to have a lower-intensity of traffic while public and commercial streets will be considered to have a higher-intensity of traffic.

Tree wells containing underplantings shall consist of evergreen shrubs and/or seasonal color. Proper drainage shall be provided, and optional utility connections (such as outlets for tree lights and decorations) shall be approved by the City of Gaithersburg. All tree planting wells shall be fully excavated and backfilled with clean, debris free soil in order to ensure maximum viability of street trees.

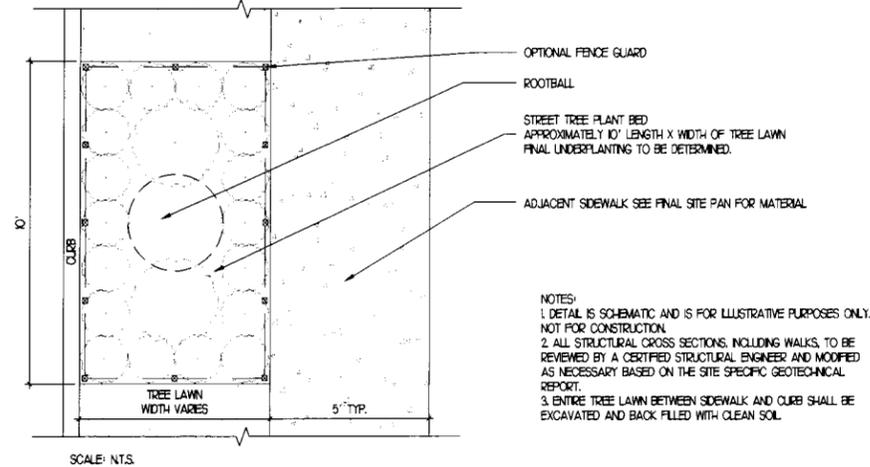
In addition, a biobarrier shall be used when planting trees within five feet of storm drain pipes.

## MAINTENANCE

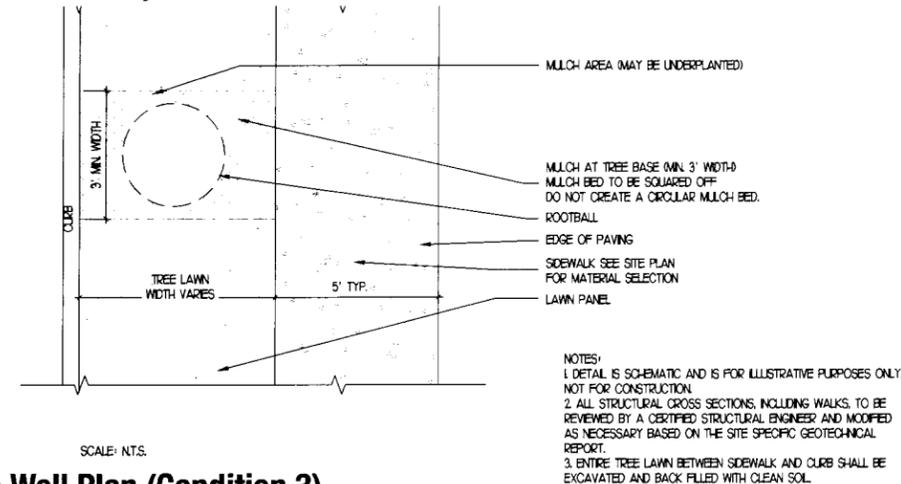
- Pruning should be conducted under the supervision of a certified arborist.
- On the pedestrian side of the sidewalk or median, the lowest branch that extends over the path of travel should provide an 80" minimum vertical clearance.
- On the vehicular traffic side of the sidewalk or median, the lowest branch should provide a 14 foot minimum clearance where branches extend beyond the curb or driveway.
- Tree foliage should be maintained to provide a minimum 6 foot clearance from any public streetlight.
- Trees should be pruned for 1 to 2 feet clearance to building façade and building signage.
- Proper pruning and regular maintenance of trees will allow for trees to develop healthily, retain their natural form, and ensure they do not pose a safety hazard to the public.

NOTE: SEE TREE PLANTING DETAILS INCLUDED IN THE SDP BY THE CITY OF GAITHERSBURG (MARYLAND STATE FOREST CONSERVATION TECHNICAL MANUAL)

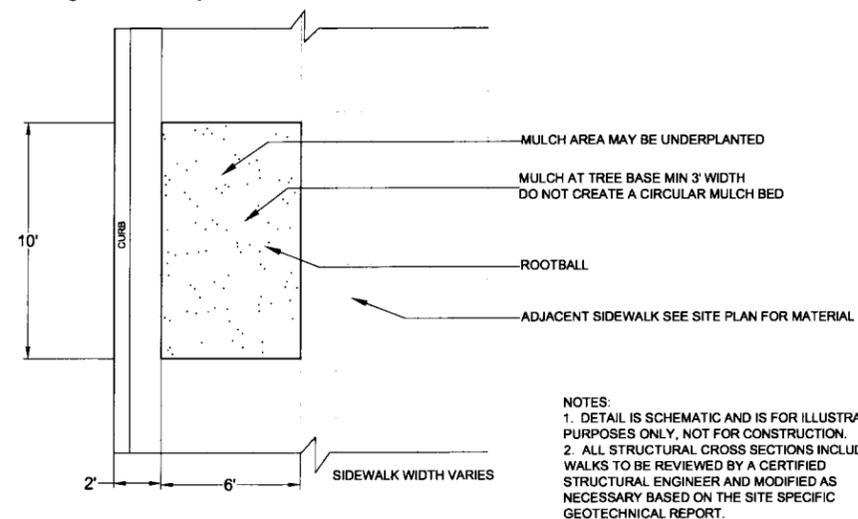
### Tree Well Plan- Underplantings (Condition 1) For Medium-Intensity Residential Streets



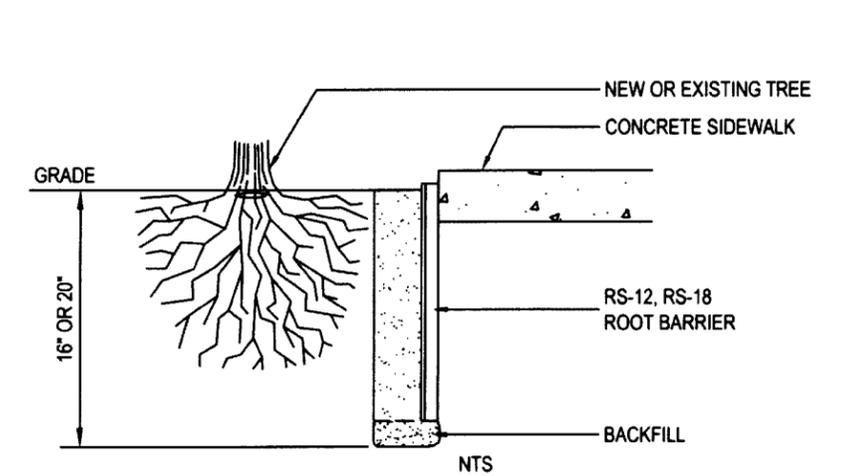
### Tree Well Plan- Mulch (Condition 2) For Low-Intensity Residential Streets



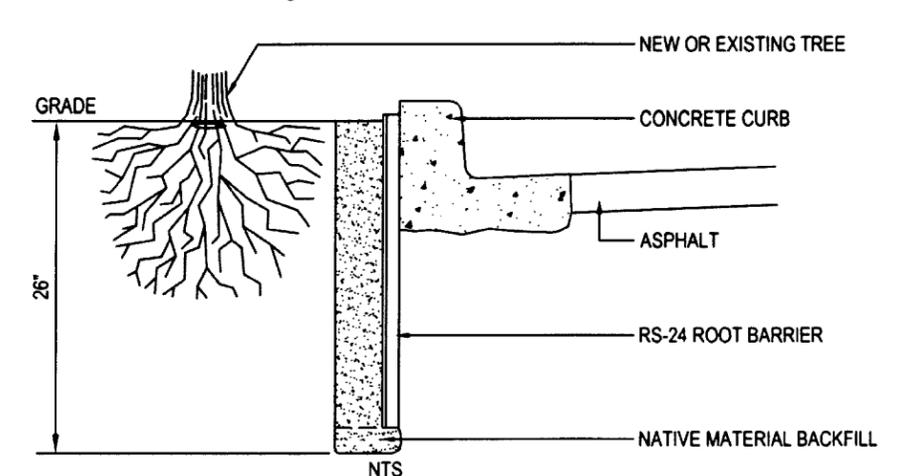
### Tree Well Plan (Condition 3) For High-Intensity Commercial Streets



### Tree Well Section- Biobarrier (Option 1) For Tree Plantings Within Five Feet of Storm Drain Pipes



### Tree Well Section- Biobarrier (Option 2) For Tree Plantings Within Five Feet of Storm Drain Pipes



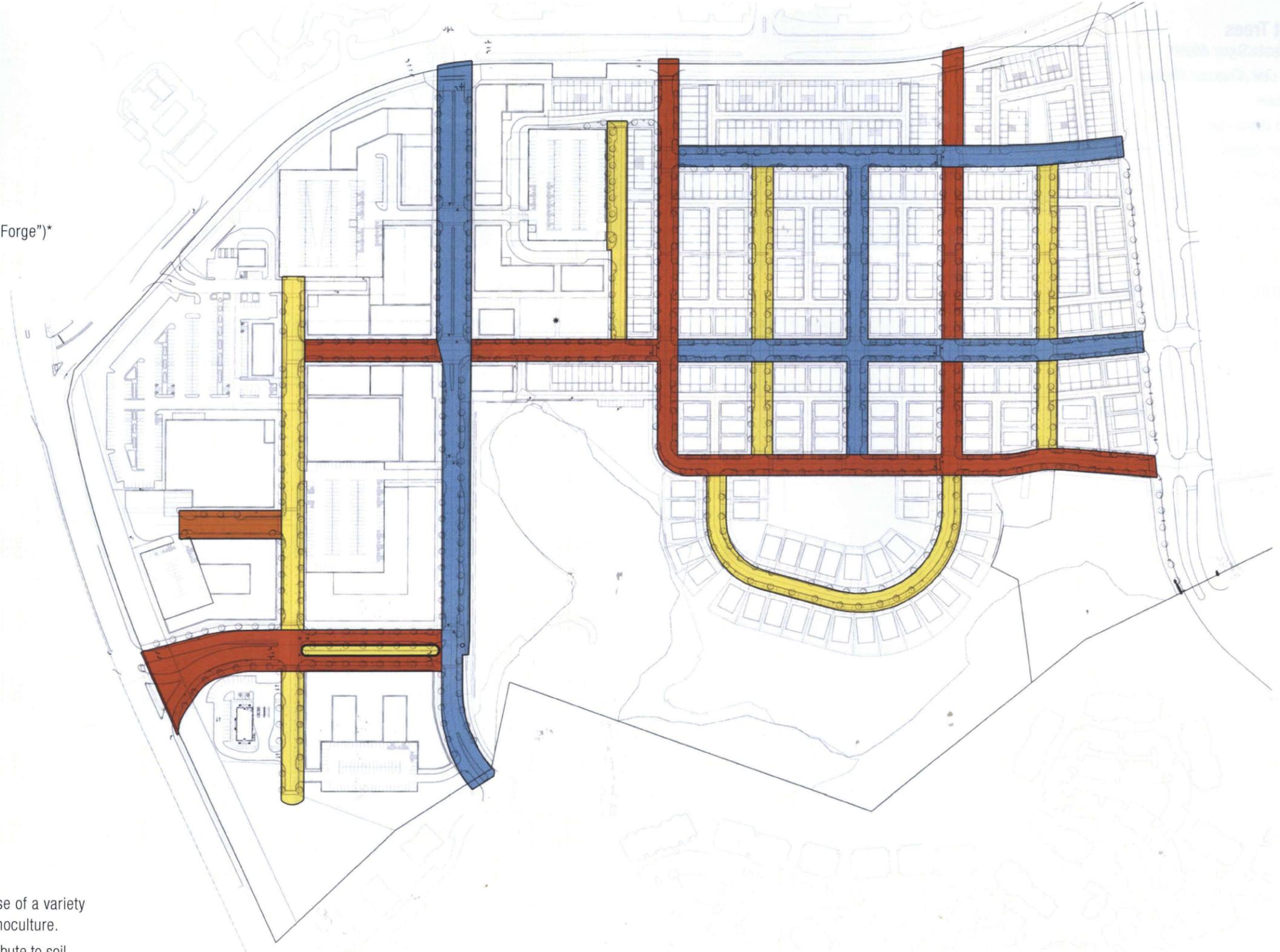
#### NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. THE RAISED ROOT GUIDING RIBS MUST BE FACING TOWARDS THE TREE ROOTS.
4. THE TOP OF THE BARRIER PANELS MUST BE SLIGHTLY ABOVE GRADE (NEVER BELOW GRADE).
5. POSITION BARRIER PANELS VERTICALLY WITH TOP AGAINST THE STRUCTURE TO BE PROTECTED.
6. SEE LANDSCAPE SITE PLAN TO DETERMINE TREES THAT REQUIRE BARRIER PANEL.

# STREET TREE PLAN

- Red Maple (*Acer Rubrum*)\*  
Sugar Maple (*Acer Saccharum*)\*
- Willow Oak (*Quercus Phellos*)\*  
Hornbeam\*  
Swamp White Oak\*  
Freeman Maple\*  
Black Gum\*  
Sweetgum '*Rotundaloba*'\*  
American Basswood\*  
Linden\*
- Valley Forge Elm (*Ulmus Americana "Valley Forge"*)\*  
Red Oak (*Quercus Rubra*)\*
- Swamp White Oak\*  
Freeman Maple\*  
Black Gum\*  
Sweetgum '*Rotundaloba*'\*  
American Basswood\*  
Linden\*

\* Same type or similar



## The urban/ suburban Street Tree has eight roles:

1. Define the vehicle space of the street
2. Define the pedestrian space of the street
3. Calm traffic and protect the pedestrian from vehicles
4. Filter the sunlight/provide shade
5. Bring rhythm, order and hierarchy to the street network
6. Visually soften the streetscape and screen undesirable views
7. Introduce seasonal variation to the streetscape through the use of a variety of street tree selections that will avoid the condition of a monoculture.
8. Contribute to the environment: provide animal habitats and contribute to soil stabilization, clean air, etc

**Note:** This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change.

# PLANT PALETTE EXAMPLES

On roads maintained by Public Works, the City of Gaithersburg may require s specific tree and shrub species. Tree and plant species are not limited to the types seen here.

## Street Trees

- Red Maple/Sugar Maple*
- Willow Oak (Quercus Phellos)*
- Hornbeam*
- Swamp White Oak*
- Freeman Maple*
- Black Gum*
- Sweetgum 'Rotundaloba'*
- American Basswood*
- Linden*



RED MAPLE / SUGAR MAPLE



WILLOW OAK



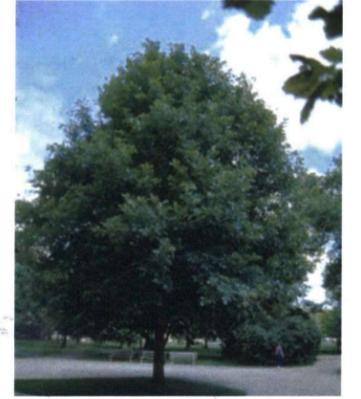
LINDEN



VALLEY FORGE ELM



HORNBEAM



SWAMP WHITE OAK

## Evergreen Trees (min. 6' - 8' ht.)

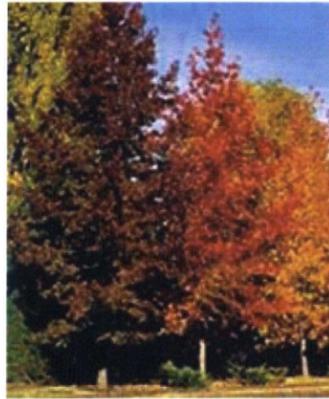
- Greenleaf Holly (Ilex opaca 'Greenleaf')*
- Eastern Redcedar (Juniperus virginiana)*
- Canadian Hemlock (Tsuga canadensis)*



FREEMAN MAPLE



BLACK GUM



SWEETGUM



AMERICAN BASSWOOD



EASTERN RED CEDAR



CANADIAN HEMLOCK

## Ornamental Trees (min. 1.5" cal.)

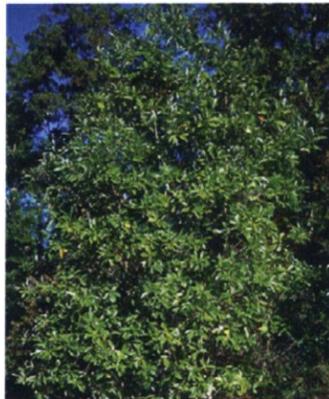
- Redbud (Cercis canadensis)*
- Sweetbay Magnolia (Magnolia Virginiana)*
- Crape Myrtle (Lagerstroemia indica)*  
*(Non-native, Non-invasive, Locally grown)*



GREENLEAF HOLLY



REDBUD



SWEETBAY MAGNOLIA



GRAPE MYRTLE



RED OAK

# PLANT PALETTE EXAMPLES

## Shrubs

- Bottlebrush Buckeye (Aesculus parviflora)*
- Summersweet (Clethra alnifolia)*
- Sweetspire (Itea virginica)*
- Carolina Allspice (Calycanthus floridus)*
- Dwarf Fothergilla (Fothergilla gardenii)*
- Spicebush (Lindera benzoin)*
- Possum Haw (Viburnum nudum)*
- Otto Luyken Laurel (Prunus laurocerasus)*
- (Non-native, Non-invasive Locally Grown)*

## Ornamental Grasses and Perennials

- Indian Nutgrass (Sorghastrum nutans 'Sioux Blue')*
- Blue Love Grass (Eragrostis elliottii)*
- Pennsylvania sedge (Carex pennsylvanica)*
- Pink Muhly grass (Muhlenbergia capillaris)*
- Karl Foerster Feather Reed Grass (Calamagrostis x acutifolia 'Karl Foerster')*



**BOTTLE BRUSH**  
*Aesculus parviflora*



**SUMMERSWEET**  
*Clethra alnifolia*



**CAROLINA ALLSPICE**  
*Calycanthus floridus*



**DWARF FOTHERGILLA**  
*Fothergilla gardenii*



**SPICEBUSH**  
*Lindera benzoin*



**POSSUM HAW**  
*Viburnum nudum*



**OTTO LUYKEN LAUREL**  
*Prunus laurocerasus*



**SWEETSPIRE**  
*Itea virginica*



**INDIAN NUTGRASS**  
*Sorghastrum nutans 'Sioux Blue'*



**BLUE LOVE GRASS**  
*Eragrostis elliottii*



**PENNSYLVANIA SEDGE**  
*Carex pennsylvanica*



**PINK MUHLY GRASS**  
*Muhlenbergia capillaris*



**KARL FOERSTER FEATHER REED GRASS**  
*Calamagrostis x acutifolia 'Karl Foerster'*

# BIORETENTION

## BIORETENTION

Bioretention facilities combine stormwater runoff control and treatment with aesthetic landscaping and architectural detail. These landscaped areas are used to collect, filter, and infiltrate runoff from roofs, streets, and sidewalks and are designed to incorporate many of the pollutant removal and infiltration functions that operate in natural ecosystems.

This is achieved by filtering pollutants through soil particles and vegetation as the water percolates through the system. In addition to providing pollution reduction, bioretention facilities can be used to manage runoff flow rates and volumes, thus reducing the downstream potential for combined sewer overflows.

Swales are long narrow landscaped depressions primarily used to collect and convey stormwater and improve water quality. They remove sediment and reduce nutrient concentrations within runoff through natural treatment prior to discharge into another stormwater management facility or the sewer network. In addition to providing pollution reduction, swales also reduce runoff volumes and peak flow rates by detaining stormwater. Swales add significant landscaping to street corridors and reduce impervious surface. In some circumstances, rainwater infiltrates into the ground while being conveyed along the length of the swale.

Several forms of swales exist and are highly customizable. Natural swales are depressed linear features that combine appropriate plantings with amended soils. Bioinfiltration swales typically include a subsurface infiltration trench below amended soil.

## PLACEMENT

Swales are suitable for many street types with long, unconstrained areas, such as within medians or the outside edge of a street. Swales can be located in the furnishings zone of streets with unbroken curb edges, such as streets without parking lanes or many driveways. Frequent driveway curb cuts and sub-surface utilities may minimize the appropriateness of installing a swale.

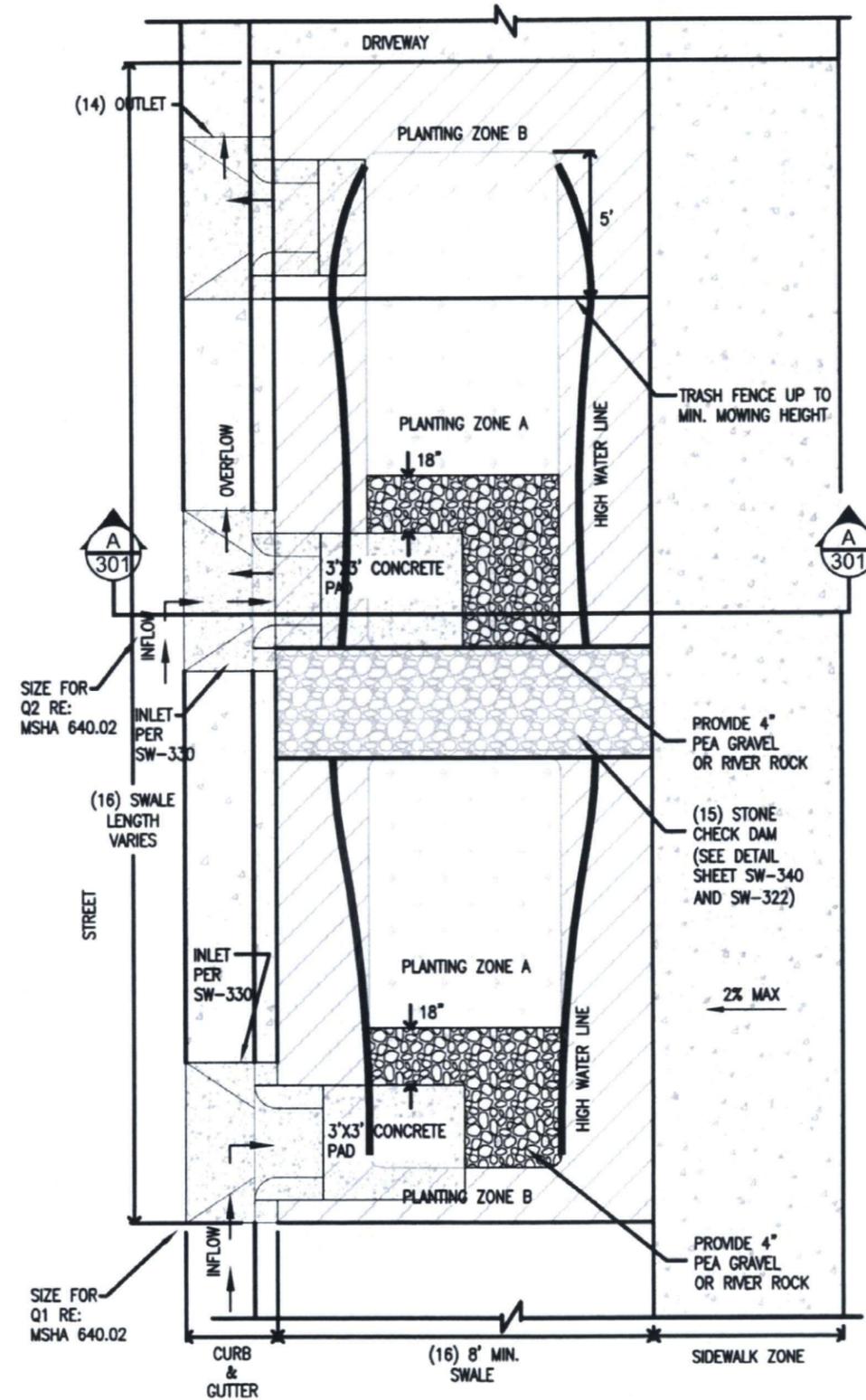
## LANDSCAPING

Filtration benefits of swales can be substantially improved by planting deep-rooted grasses and by minimizing the side slope.

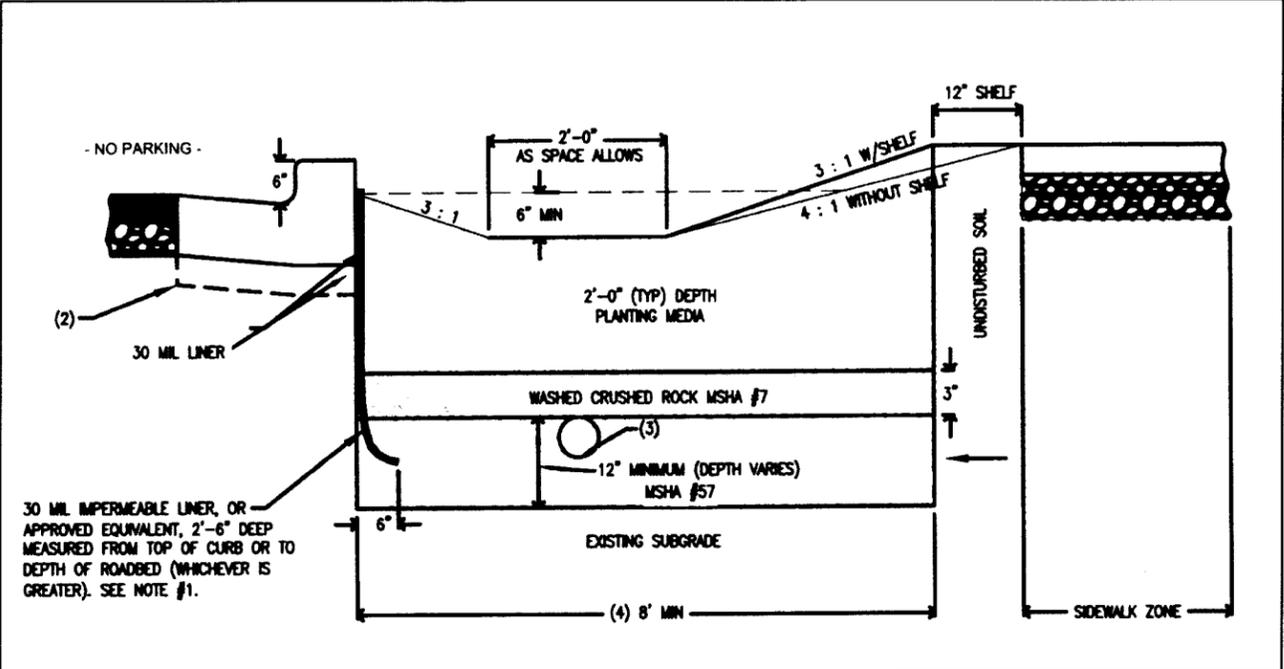
Appropriately selected vegetation can improve infiltration functions, protect the swale from rain and wind erosion and enhance overall aesthetics. Selected species should not require irrigation after establishment.



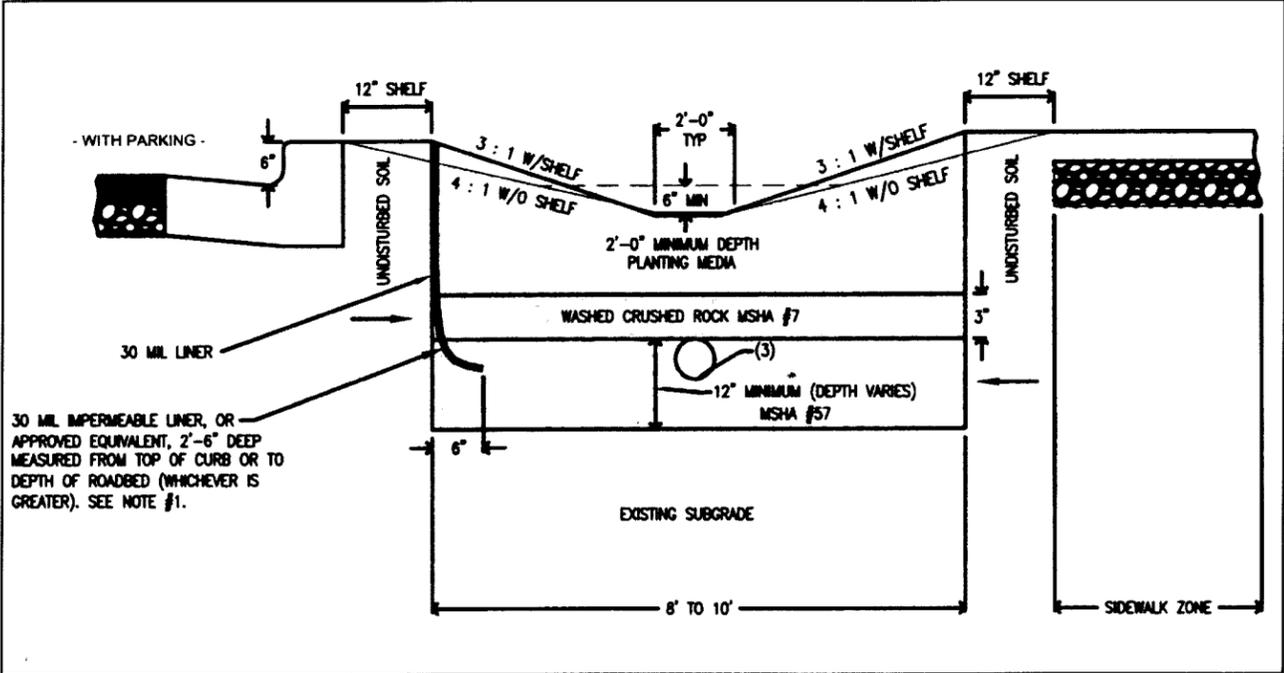
## TYPICAL BIOSWALE PLAN



**TYPICAL BIOSWALE PROFILES**



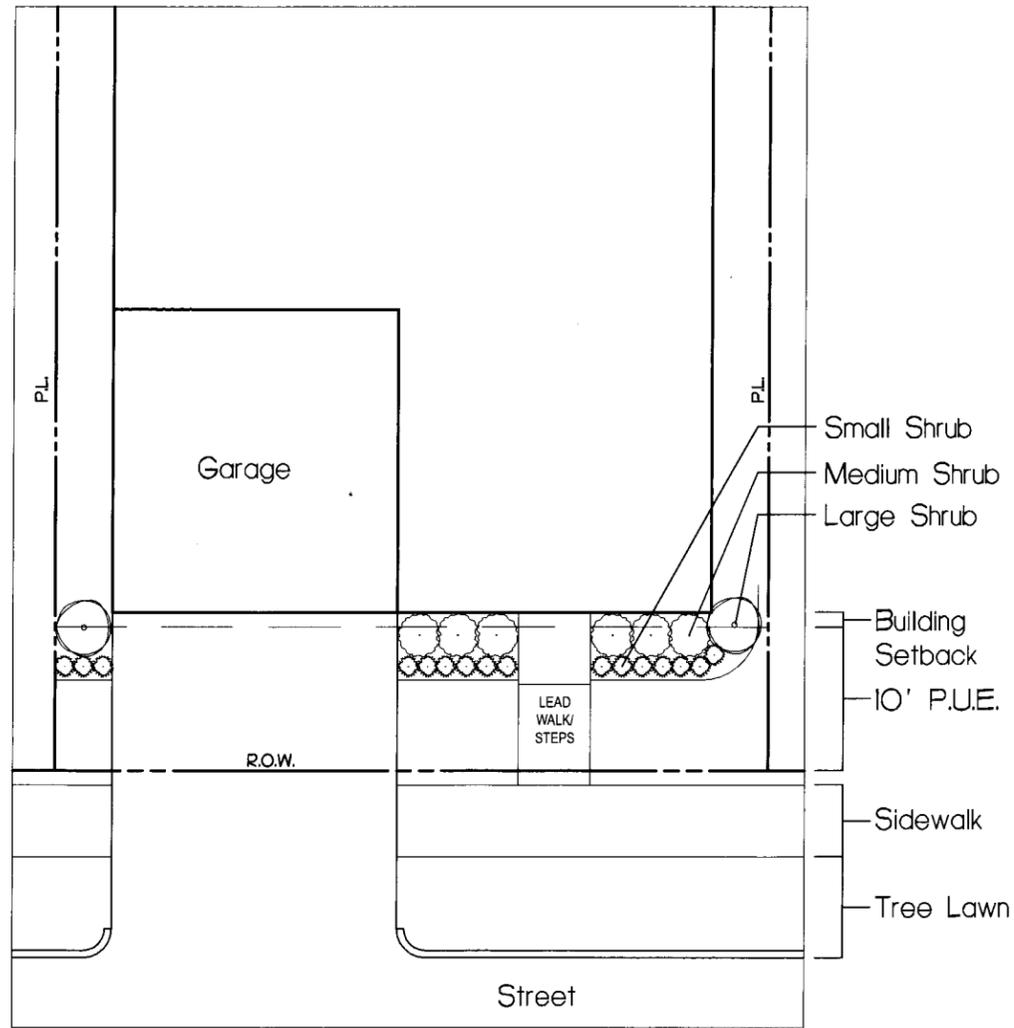
BIOSWALE PROFILE WITHOUT PARKING



BIOSWALE PROFILE WITH PARKING

# UNIT TYPICALS - LANDSCAPE MATERIAL

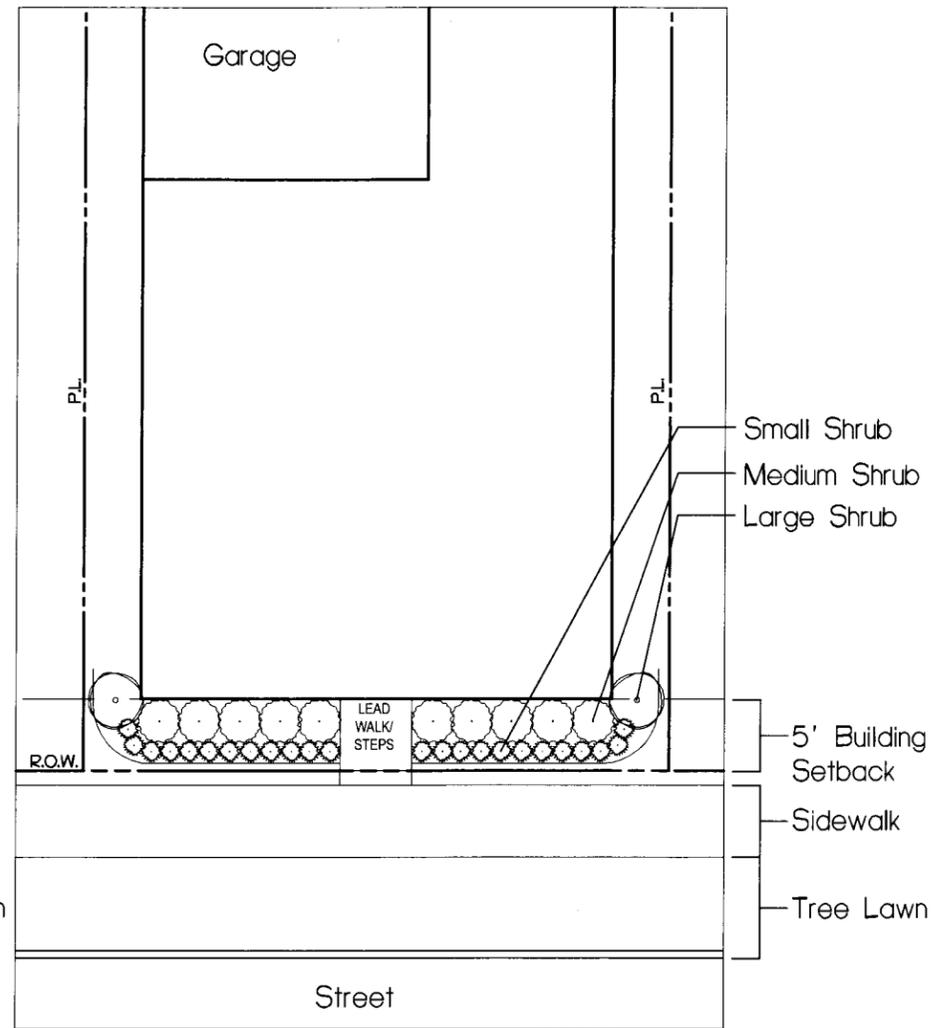
## SINGLE FAMILY DETACHED



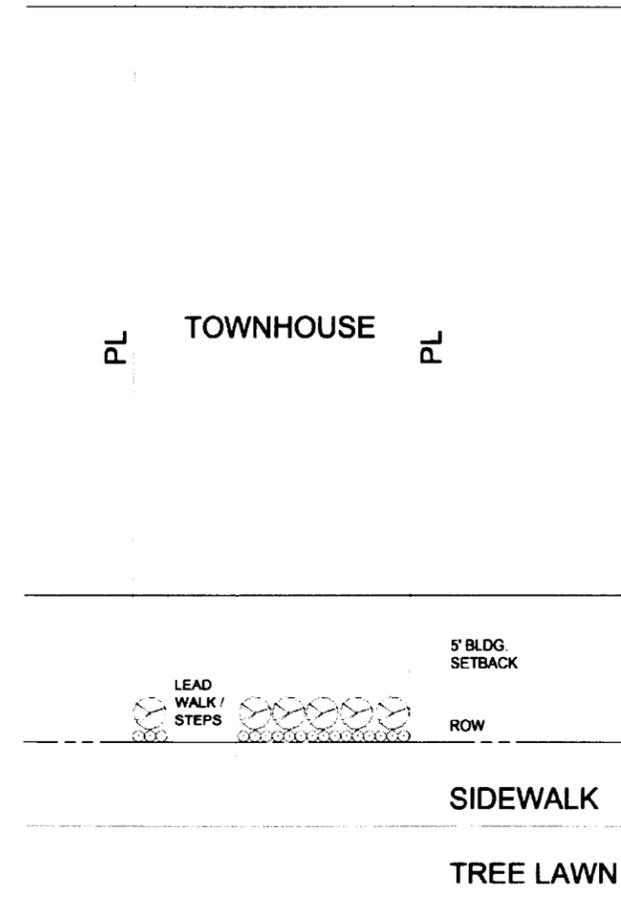
Single Family Residence  
Front Loaded Garage  
(Neighborhood 2 and 3)

-  Large Shrub (30 - 36" Hgt.)
-  Medium Shrub (24 - 30" Hgt.)
-  Small Shrub/ Ground cover (under 24" Hgt.)

## TOWNHOUSE



Single Family Residence  
Rear Loaded Garage (Neighborhood 2)



-  MEDIUM SHRUB (24"-30" HGT.)
-  SMALL SHRUB (LESS THAN 24" HGT)

Note: All plans are conceptual and subject to change. Final layout of plantings will be determined at Site Plan, and are to reflect final architecture.

Private residences shall be built and initially landscaped by the developer of record. If desired, residents are permitted to change landscaping materials in accordance with HOA regulations.

Hardscape Elements **5**

# HARDSCAPE ELEMENTS

The hardscape elements to be used at Crown Farm will serve three main goals. The first will be to create a cohesive overall design palette that will tie the entire community together. This will be done simply through the use and repetition of materials across the site. The second goal will be to create and reinforce the distinct sub district and neighborhood characters within Crown Farm. This will be done through subtle variation of the material palette. The last goal is to create a truly viable and sustainable landscape that will grow and mature with the overall community over time. All photographs are schematic only and do not reflect final site furnishing and material selections.

## Sidewalks/ Paths/Leadwalks

Sidewalks/paths/leadwalks material and design will vary throughout the site according to the neighborhood, street type and environment that it is located within. Sidewalks/paths/leadwalks may be constructed of either concrete or brick pavers, exposed aggregate concrete, or brushed concrete. Trails within the site, such as the hiker/ biker trail in the Stream Valley shall be asphalt. Lead walks shall be constructed of the same material as the adjoining sidewalk and shall match the front stoop/ front steps of the main building. All sidewalks and lead walks must be a minimum of 5'-0", with a maximum slope of 5%. However, 3'-0" leadwalk is permitted in any private right-of-way. Any necessary handrails on front steps shall match the architecture. Alley road and driveway surfacing shall be asphalt. There shall be a concrete apron delineating the alley and the residential driveways. Stamped concrete or concrete pavers will be installed at each alley entrance. Crosswalks will be flush with the road. They shall be constructed of concrete pavers or stamped concrete only in prominent locations, where noted on the Final Site Plan. Asphalt lead walks are prohibited.



## Lighting

Street lights will serve to unify the community and provide illumination for nighttime activity and security. The specific fixture type will be selected by the developer and must be approved by the City of Gaithersburg at the time of the final site plan. All light poles shall be painted black, except in Neighborhood One.. All lamps must be full cut off to ensure that there is no light pollution/ glare. Bollards (both lighted and unlighted) may be used in key public areas, and carriage lights may be used in private residential yards. All must match the character of the surrounding architecture, street furnishings, and design theme. Final light source (metal halide, HPS, etc.) shall be per City of Gaithersburg regulations. "Cobra head" street lights, unshielded flood lights and wall pack lights shall be prohibited, except in Neighborhood One.



## Public Art Elements

All public art elements shall be determined and located per the approved Crown Farm annexation agreement, as jointly approved by the Crown Farm LLC and the City staff. The public art in each neighborhood will be determined at a later date in conjunction with their respective SDPs.



## Fencing

Fencing is a major site element that will help define the character of the different neighborhoods as well as define individual spaces (public vs. private space). Permitted fencing material includes wood, metal (including aluminum), and vinyl. Primarily, wood and vinyl picket fencing shall be used in residential neighborhoods while metal picket fencing shall be used in public and/or commercial spaces. If requested, metal/aluminum fencing may be utilized in residential areas as well. Metal fences shall be painted black, and all wood/vinyl picket fences shall have an opaque white finish. Individual property fences shall be 36 inches maximum in height when located in the front yard, while property fences located in a rear yard shall have a maximum height of 60 inches, unless otherwise noted. Rear yard fencing is prohibited on properties that have rear-loaded garages unless specified otherwise. Fencing shall run parallel to the property line and terminate at a right angle to the front facade. Where space permits, all fencing will have landscape material (predominantly evergreen) installed on the street side. Along slopes, equal increment level fence steps are to be used. Gates should match adjoining fences and shall swing into the property rather than onto the sidewalk. All fencing shall be constructed on the piece of property that it is enclosing. Chain link fencing and gates shall be prohibited.



## Screening

Screen fencing will be used to screen objectionable views, including views into all alleys, utilities, refuse areas, and parking areas (both Townhouse and Single Family lots). It shall be used at all alley entry points in order to screen parking, dead ends of alleys, and back yards abutting to commercial spaces. Screen fencing is prohibited in the front yards of all units. Screen fencing shall be either board-on-board, board-on-board with a masonry base, or entirely masonry. It must be a minimum of 36 inches and a maximum of 60 inches in height. Tandem parking spaces will be screened between driveways in alleys. If space permits, all screening will have landscape material (predominantly evergreen) installed on the street side. Landscape screening may be used at the ends of alleys rather than a screen wall where conditions do not permit the use of a wall. All landscape screening must be in accordance with the screening details. Along slopes, equal increment level fence steps are to be used. Gates should match adjoining fences and shall swing into the property rather than onto the sidewalk. Chain link fencing and gates shall be prohibited.



**Site Furnishings**

All site furnishings shall compliment and coordinate with one another in style, material, and color. They shall be placed at strategic locations such as bus stops, public parks, tot lots, recreation areas, and high pedestrian traffic areas. Final selections for all street furniture shall be determined at time of final site plan approval and shall be handicap accessible.

**Waste Receptacles**

Trash receptacles shall have a rain guard over the main trash opening and shall have screening slats surrounding the main garbage container. Trash receptacles shall be metal with a durable finish. They shall be located near all benches, picnic tables, in public parks, and by commercial and transit areas.



**Benches**

Benches, as with other site furnishings, will respond to the neighborhood they are in. Regardless of the ultimate location, all benches shall be constructed of metal, wood, a wood/ metal combination, or recycled material. All hardware shall have a durable finish.



**Bike Racks**

All bike racks and bike rack locations shall be designed to the extent possible based on the Bicycle and Pedestrian Advisory Committee recommendations memorandum to the City of Gaithersburg Planning Commission dated July 13, 2006. This document outlines considerations for bicycle rack design, facility uses and quantity and facilities located in non residential areas.



**Mailboxes**

Mailboxes shall be located in accordance with the US Postal Service regulations. All mailboxes shall be constructed of material that is a compliment of the architecture and fencing adjoining it. Gang mailboxes shall be located in readily accessible locations for residents and may be integrated with other hardscape elements such as trellis and shade structures.



**Picnic Tables**

Picnic tables shall be located in public park areas, recreation areas, or any areas designated appropriate on future site plans and designs. Picnic tables that are not ADA compliant are prohibited.



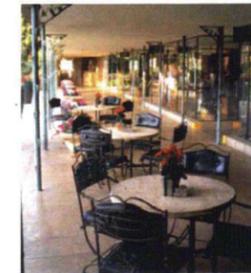
**Bus Stops**

Bus stops will be designed to correspond and compliment the surrounding architecture. A structure with a roof and seating area shall be provided. Trash receptacles will be located adjacent to all bus stop structures. Final locations shall be determined at time of final Site plan approval and are subject to City of Gaithersburg Public Works approval.



**Cafe Tables & Chairs**

Outdoor cafe seating is an important part of any mixed-use neighborhood. These seating areas provide places for visitors to enjoy meals, drinks and treats while also providing spaces for recreation. When outdoor seating is comfortable, clean and convenient, visitors will be encouraged to stay and enjoy all that Crown Farm has to offer. Cafes and restaurants are encouraged to adopt their own unique chairs, tables and umbrellas for outdoor dining. This will help to reinforce the flavor and character of all establishments.



**Bollards**

Bollards are an easy way to protect pedestrians, buildings and street furniture from cars by eliminating access to sidewalks and special pedestrian streets. Bollards can be permanent or movable. Movable bollards are recommended, to provide maximum flexibility.



**Miscellaneous Site Prohibitions**

Additional site elements that are prohibited throughout Crown Farm include, but are not limited to: railroad tie retaining walls, free-standing flagpoles on residential property and clotheslines.

**Signage**

Signage throughout Crown Farm will be a key element that will unify all areas, delineate each individual neighborhood, and provide for wayfinding within the community. In general there will be an overall sign family and style. Individual portions of the site may have more specific sign types that fit within the overall design family. Final signage designs are to be determined and are subject to approval by City of Gaithersburg staff.



**CITY OF GAITHERSBURG**

**“CHARACTER COUNTS” LOGO**

The City of Gaithersburg “Character Counts” logo shall be incorporated where feasible. Possible locations include: tops and sides of trash receptacles, benches, tables, next to road names on street signs, bus stops, etc.



**Note: All photographs are schematic only and do not reflect final site furnishing and material selections.**

# SIDEWALK ZONES

The public realm includes all aspects of a development that are designed for, accessible to, and used by the entire community. This includes public open space such as parks and plazas, as well as spaces such as sidewalks; even shops and restaurants can be considered part of the public realm.

Sidewalks have become one of our culture's most important public spaces. They must provide spaces for shopping, resting, casual greeting, and walking.

To provide for all of these functions in an attractive and functional manner, the sidewalk has been divided into three zones.

## Storefront Zone (2-4 feet):

Reserved for the shop tenant/owner, the storefront zone occupies the first three feet of space from the building wall, towards the curb. This space can be used for signage, sidewalk displays, benches, planters and so forth. It also accommodates door swings and projecting window bays.

## Pedestrian Zone (6-10 feet):

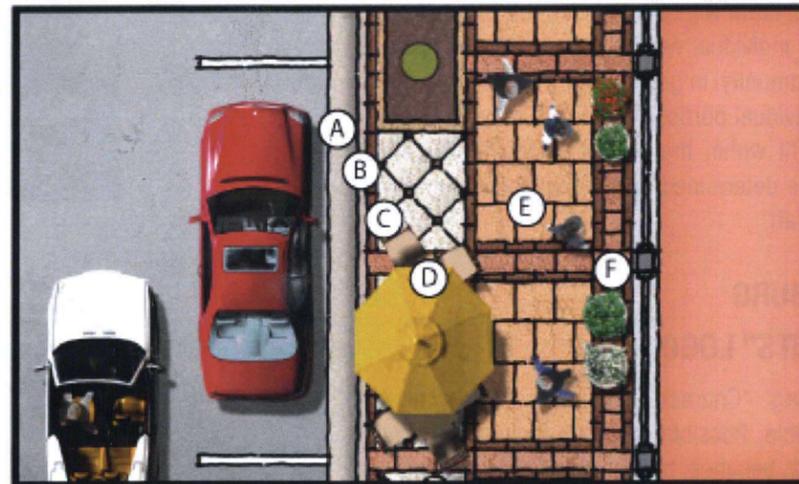
Reserved for the use of pedestrians and fulfills the traditional role of the sidewalk. This area should be clearly differentiated by paving materials and other visual cues.

## Amenity Zone (6-8 feet):

The remaining sidewalk area is reserved for amenities that can be customized depending on the type of uses near by. Typical amenities include, but are not limited to; landscaping, café tables, benches, planters, street trees, lighting, and way-finding signage.

## Step-Off Zone (1-2 feet):

The step-off zone is reserved to prevent pedestrians exiting from automobiles from being forced to walk in the gutter. This zone should be covered in hardscape materials and should be clear of landscaping, to provide for the safe movement of pedestrians.



- (A) Gutter
- (B) Curb
- (C) Step-Off Zone
- (D) Amenity Zone
- (E) Pedestrian Zone
- (F) Storefront Zone

# CORNER TREATMENTS

## Standard Corner

### Materials:

Brick, brick pavers, concrete pavers, granite, concrete, asphalt.

### Details:

Standard corners will have typical radii and dimensions. However, throughout Crown Farm, crosswalks will be emphasized with specialty materials.



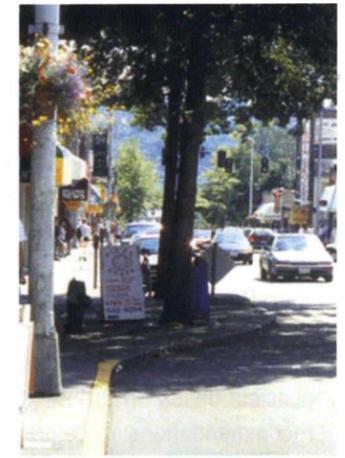
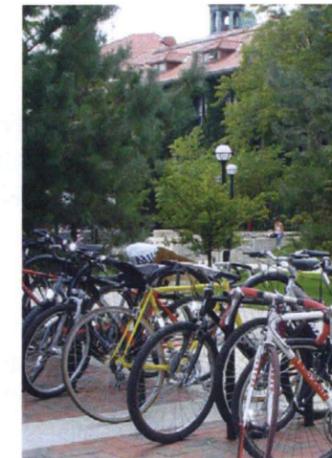
## Bump-Out Corner

### Materials:

Brick, brick pavers, concrete pavers, granite, concrete, asphalt.

### Details:

Bump-out corners are intended to reduce the distance required for a pedestrian to cross a street. Specific radii to accomplish this purpose will be used at "pedestrian intense" intersections. Bump-outs will also allow for parallel parking and drop-offs.



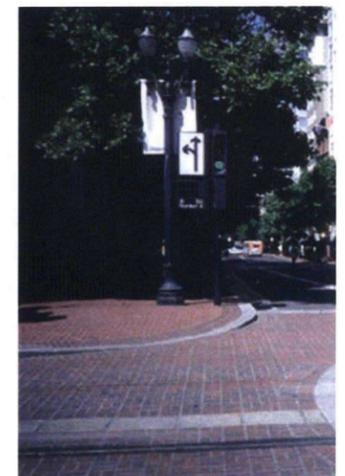
## Specialty Corners

### Materials:

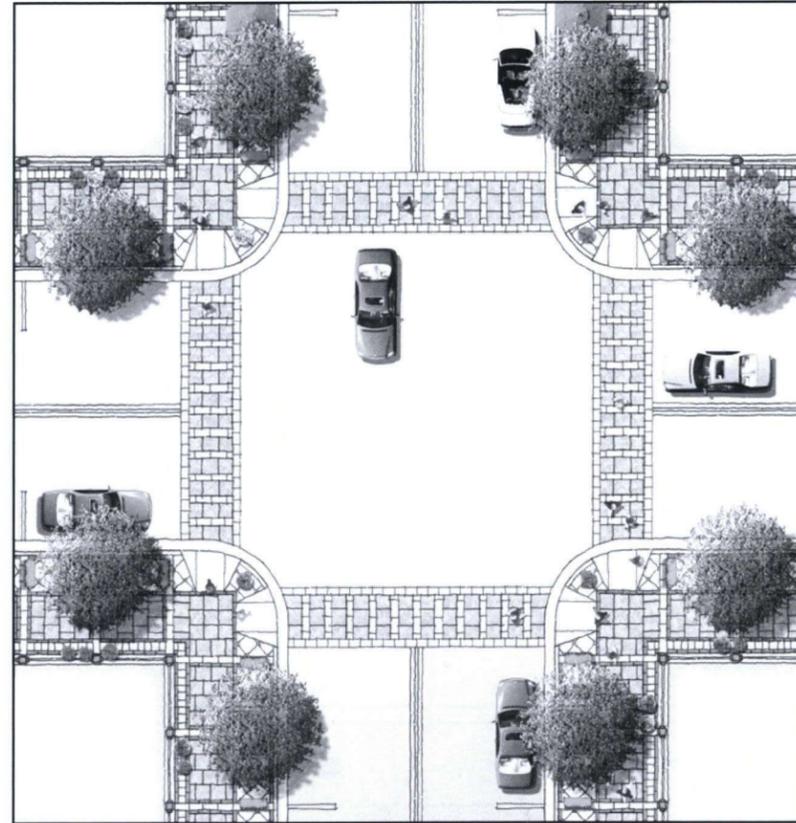
Brick, brick pavers, concrete pavers, granite, accent pavers, concrete, asphalt.

### Details:

Specialty corners will accommodate unique conditions such as signifying the importance of major intersections.



# INTERSECTION TREATMENTS



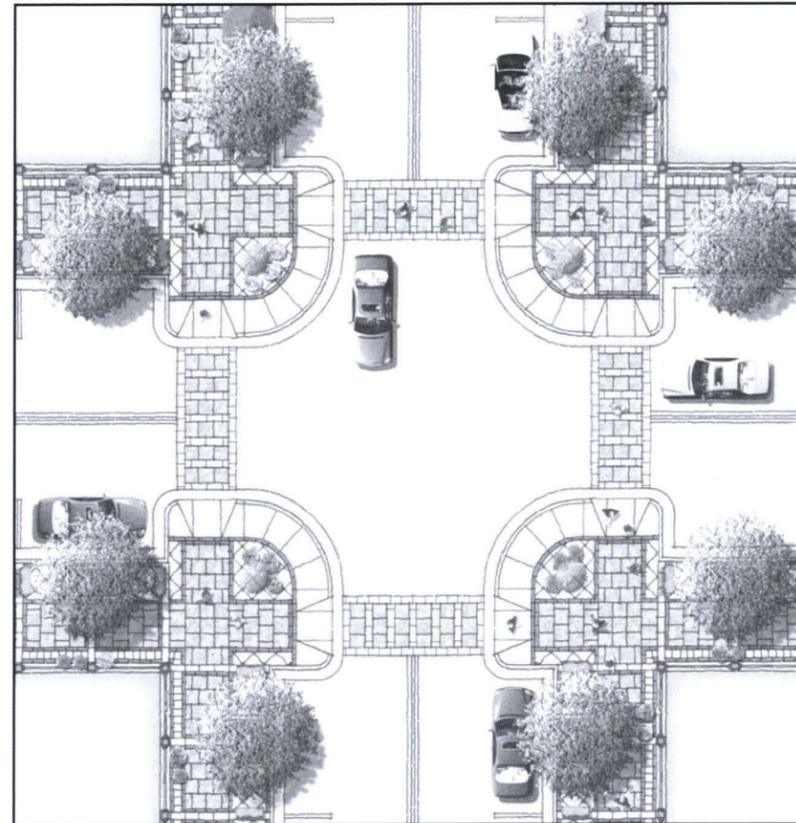
**Standard Intersection**

**Materials:**

Brick, brick pavers, concrete pavers, granite, concrete, asphalt.

**Details:**

This type of intersection will be most common throughout Crown Farm and follow typical dimensions and radii for a standard intersection condition.



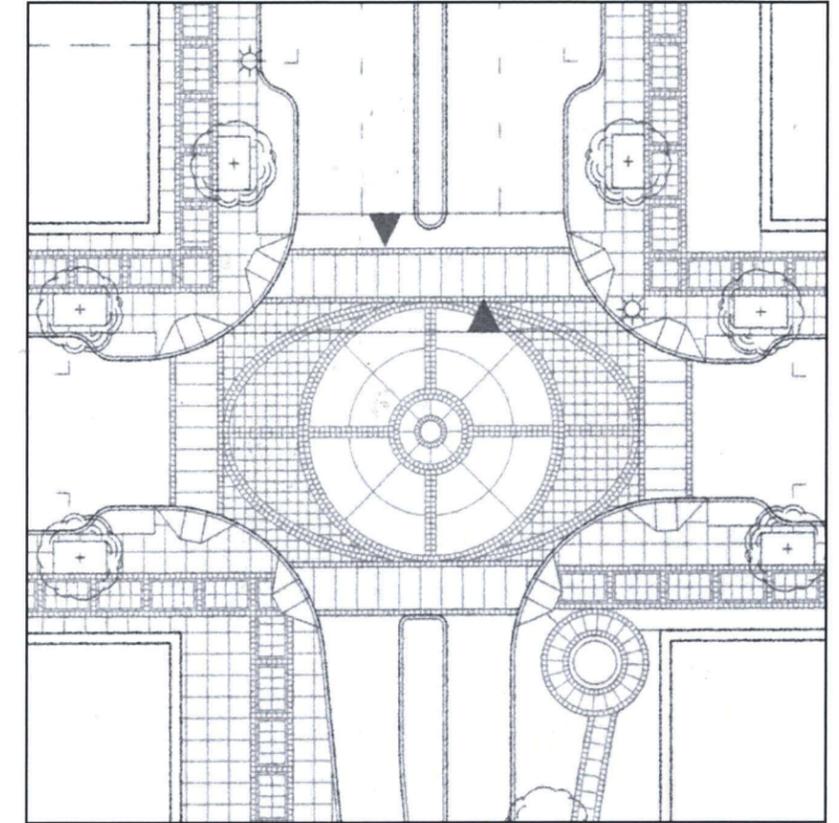
**Minor Intersections**

**Materials:**

Brick, brick pavers, concrete pavers, granite, concrete, asphalt..

**Details:**

Bump-out corners are intended to reduce the distance required for a pedestrian to cross a street. Specific radii to accomplish this purpose will be used at "pedestrian intense" intersections. Bump-outs will also allow for parallel parking and drop-offs.



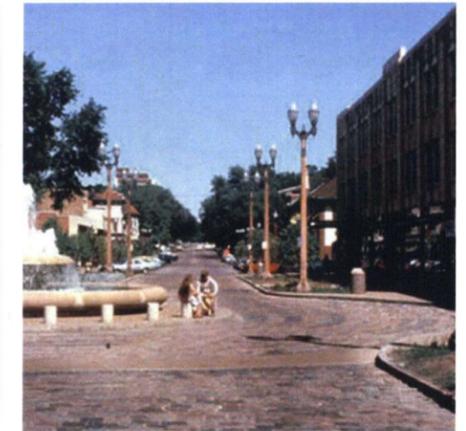
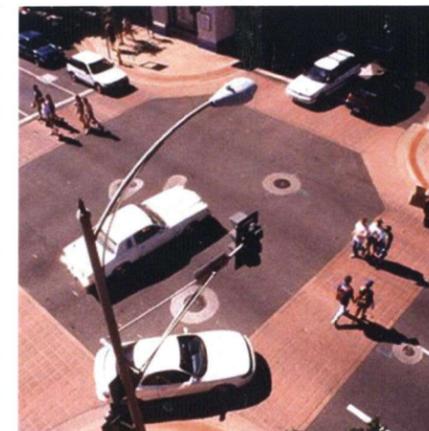
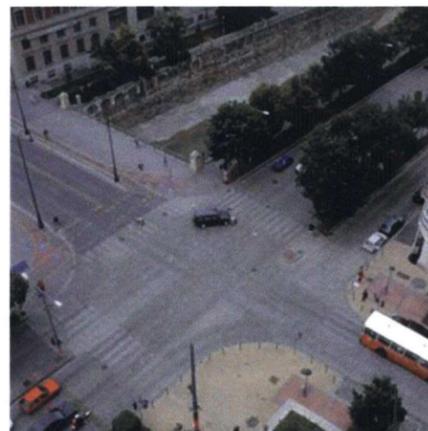
**Major Intersections**

**Materials:**

Brick, brick pavers, concrete pavers, granite, accent pavers, concrete, asphalt, landscaping

**Details:**

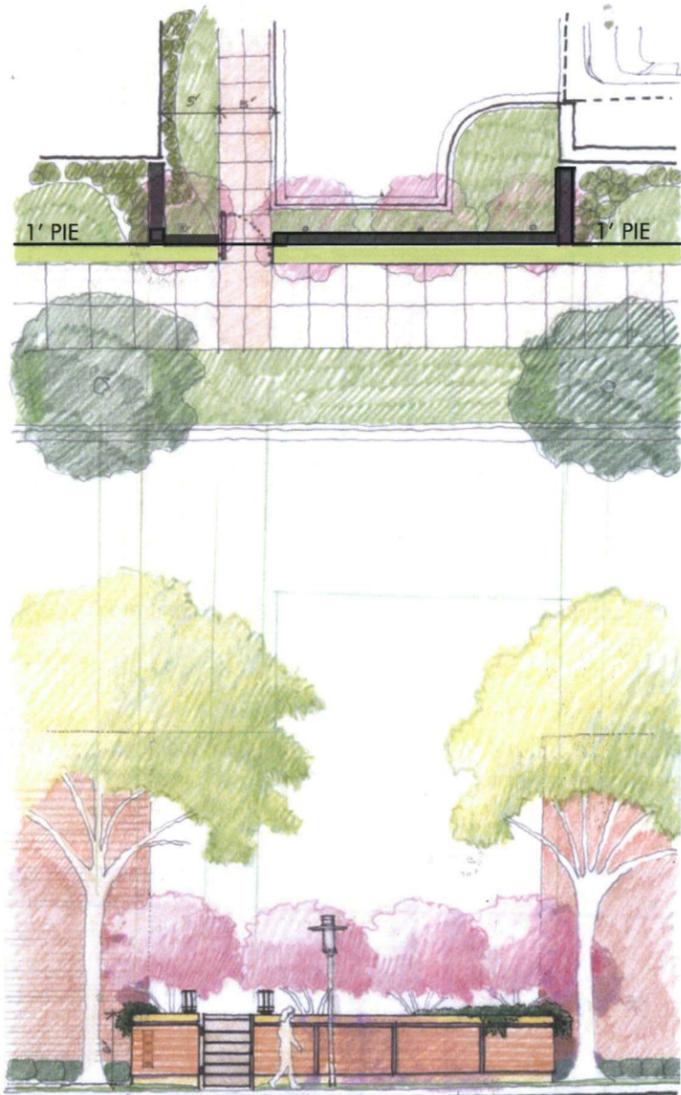
Specialty corners will be utilized to accommodate unique conditions and to signify the importance of major intersections.



Note: Intersection diagrams are illustrative and may not be indicative of final material treatments.

# ALLEY ENCLOSURES

1. When possible, minimize the view of the alley way by: placing longer end units that span to the build-to-line, screening the view with 48"-72" fences, grouping multi-stemmed trees and shrubs, or using landscape walls.
2. Terminate dead end alleys with screens of tall evergreens and/or landscape walls.



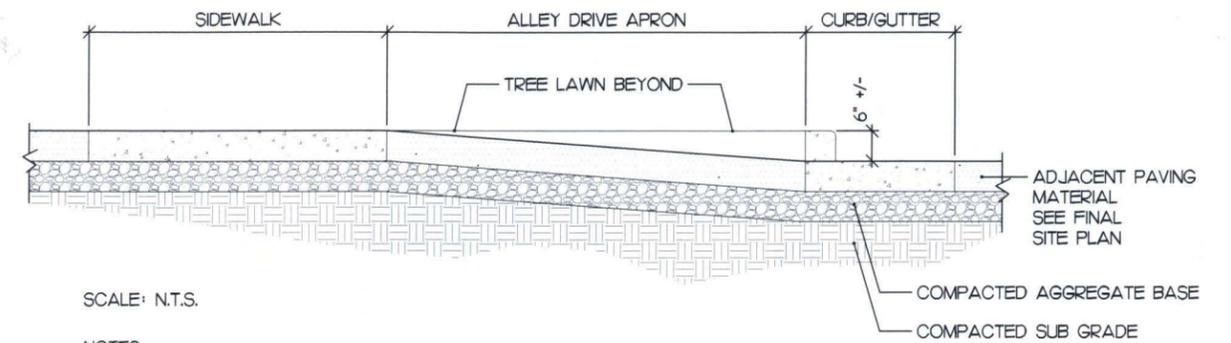
Final location of screen walls to be determined at site plan level.

**NOTE:** All details are illustrative to show design intent only, not for construction. All structural cross sections are to be reviewed by a certified structural engineer and shall be designed per City of Gaithersburg standard sections.

# ALLEY ENTRANCES

1. Alley roads will have screen fencing or screen walls at the alley entry points in order to block views and soften the appearance of the roads.
2. Screen fencing and walls will have landscape materials planted at the base. Smaller street trees will be planted on corners and where space permits.
3. Condensers or utility boxes will be screened with a fence, wall, or landscape screening (if space permits). Bollards shall be installed to protect all utility boxes as required.
4. No footings shall be within Right-of-Way.

## Alley Apron Section

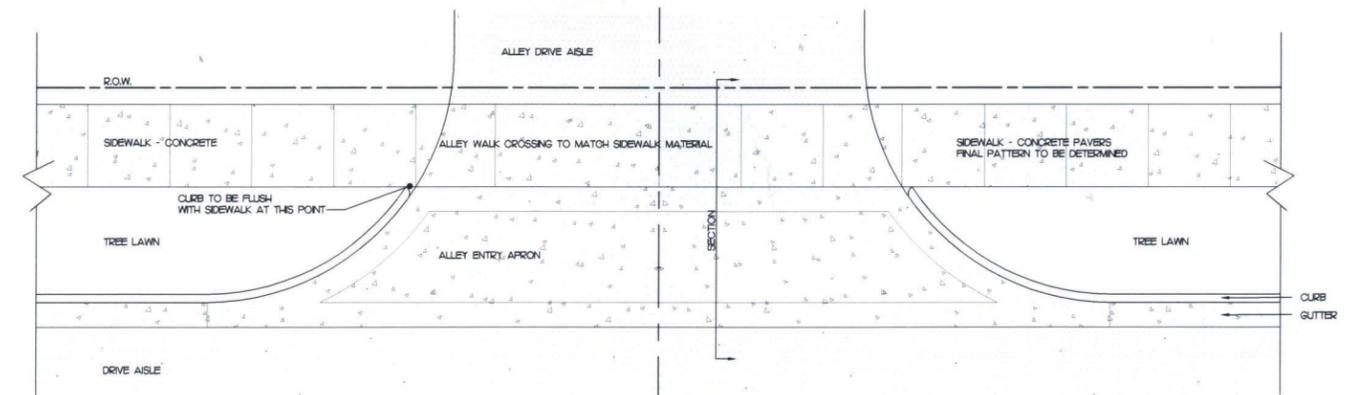


SCALE: N.T.S.

NOTES:

1. DETAIL IS SCHEMATIC AND IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT FOR CONSTRUCTION.
2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING WALKS, TO BE REVIEWED BY A CERTIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

## Alley Apron Plan: Brushed Concrete

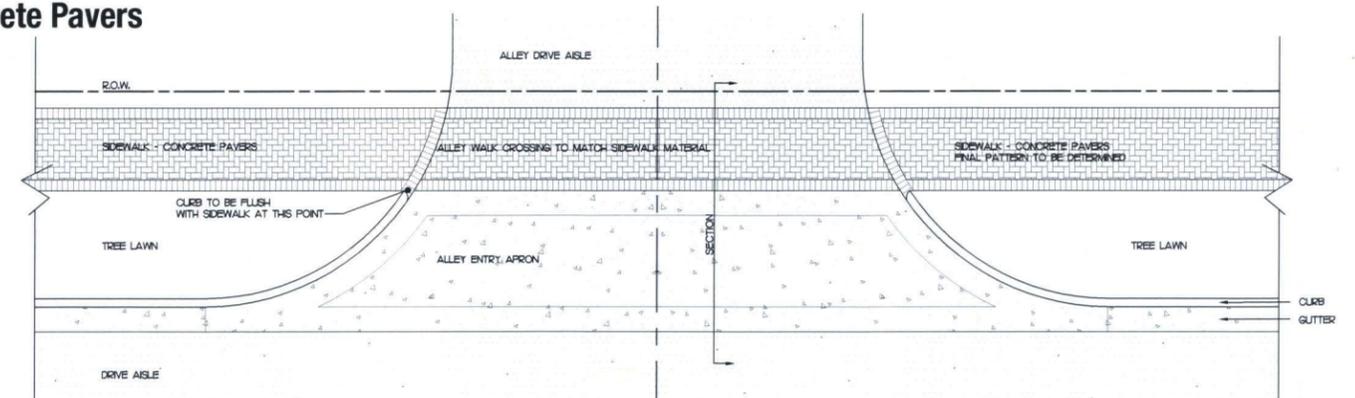


SCALE: N.T.S.

NOTES:

1. DETAIL IS SCHEMATIC AND IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT FOR CONSTRUCTION.
2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING WALKS, TO BE REVIEWED BY A CERTIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

## Alley Apron Plan: Concrete Pavers



SCALE: N.T.S.

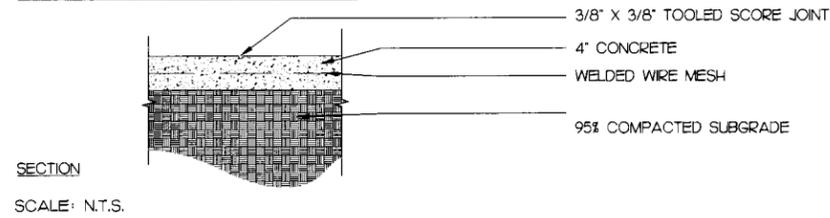
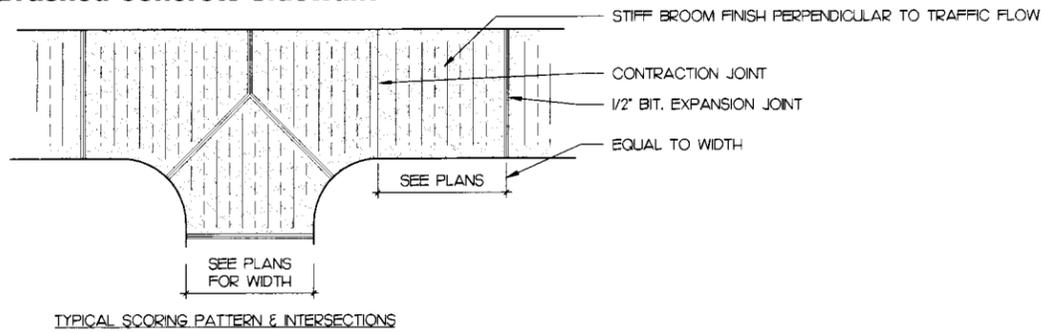
NOTES:

1. DETAIL IS SCHEMATIC AND IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT FOR CONSTRUCTION.
2. ALL STRUCTURAL CROSS SECTIONS, INCLUDING WALKS, TO BE REVIEWED BY A CERTIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

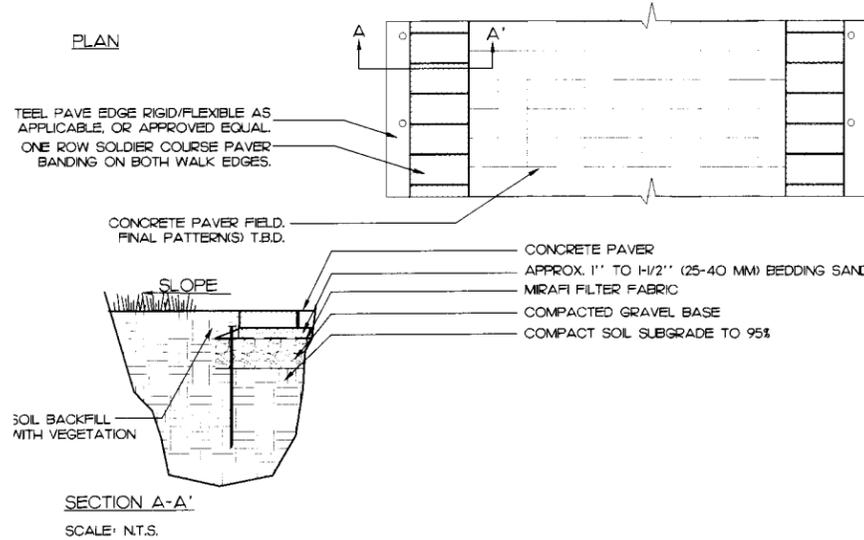
# PAVING DETAILS

## SIDEWALK/CROSSWALK/TRAIL

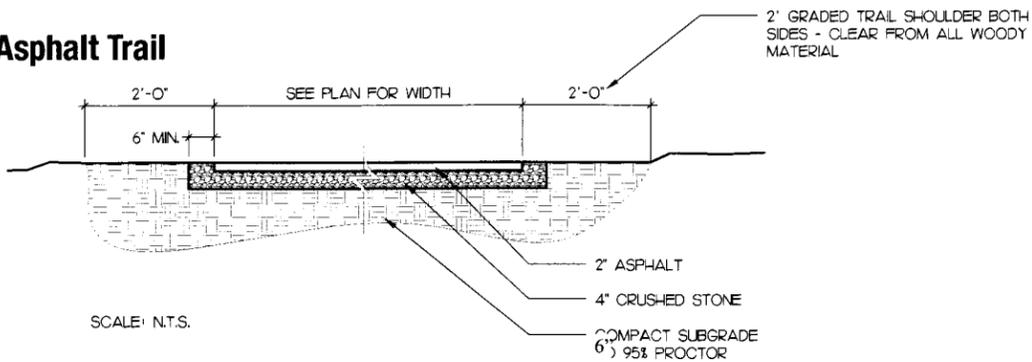
### Brushed Concrete Sidewalk



### Concrete Paver Sidewalk

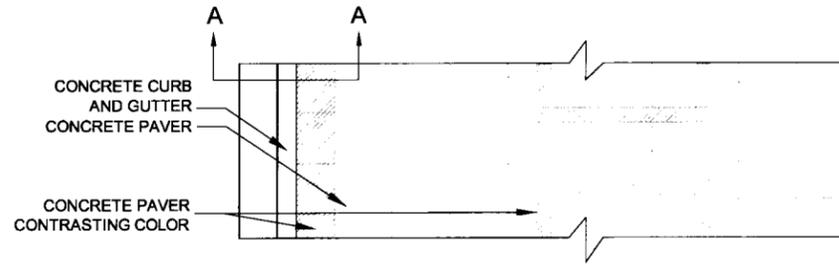


### Asphalt Trail

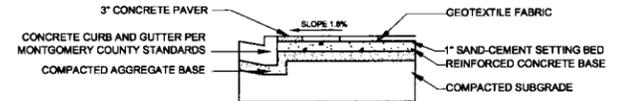


### Concrete Paver Sidewalks

For Retail and Mixed Use Areas

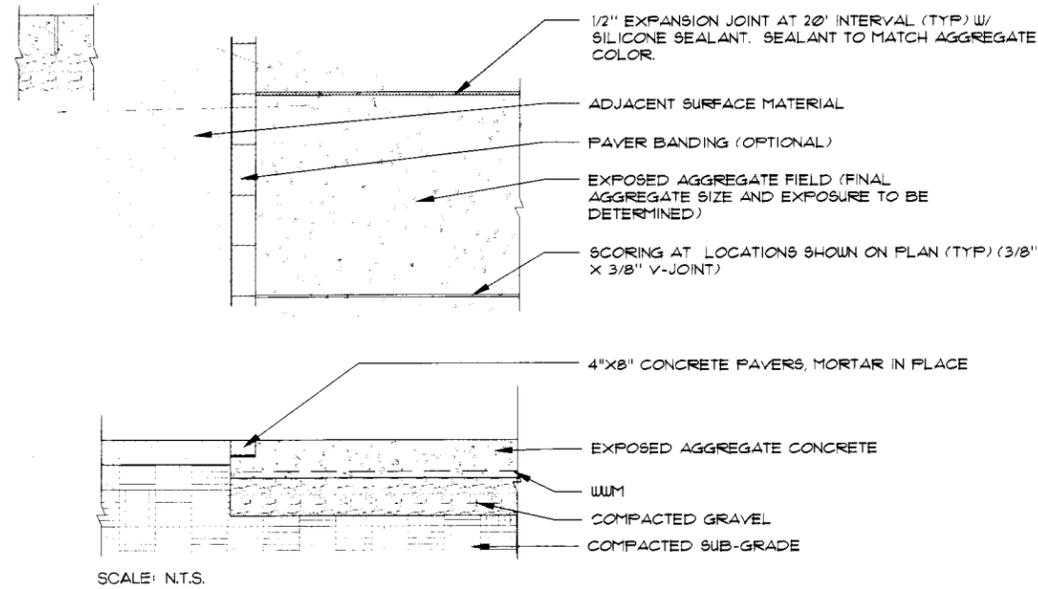


#### SECTION A-A

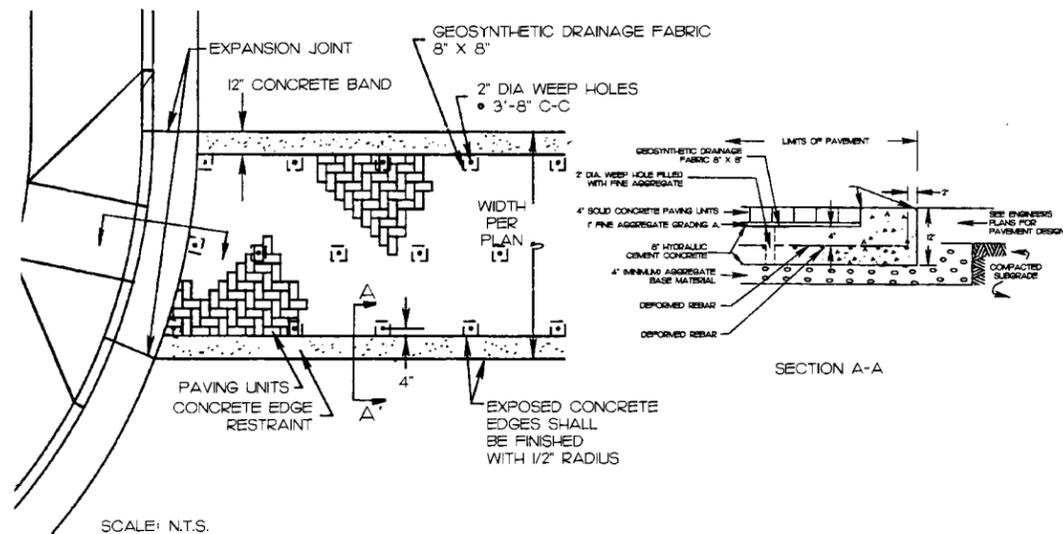


NOTES:  
 1. DETAIL IS SCHEMATIC AND IS FOR ILLUSTRATIVE PURPOSES ONLY. NOT FOR CONSTRUCTION.  
 2. ALL STRUCTURAL CROSS SECTIONS INCLUDING WALKS TO BE REVIEWED BY A CERTIFIED STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT.

### Exposed Aggregate Sidewalk



### Special Paver Crosswalk



NOTE: All details are illustrative to show design intent only, not for construction. All structural cross sections are to be reviewed by a certified structural engineer and shall be designed per City of Gaithersburg standard sections. 55

# PICKET FENCING - SINGLE FAMILY

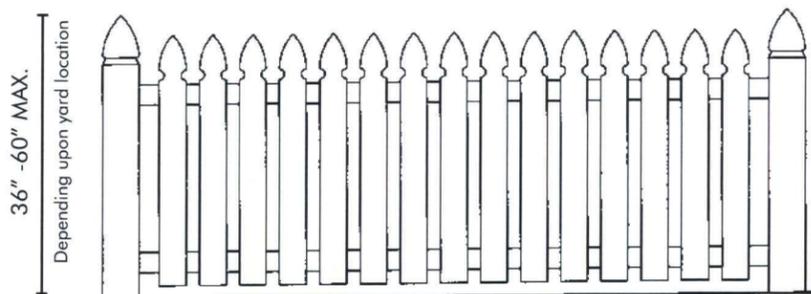
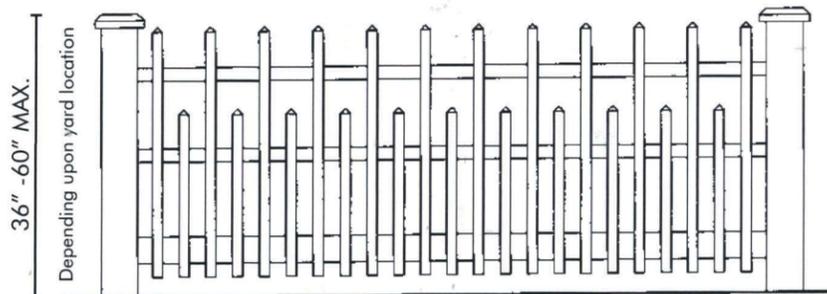
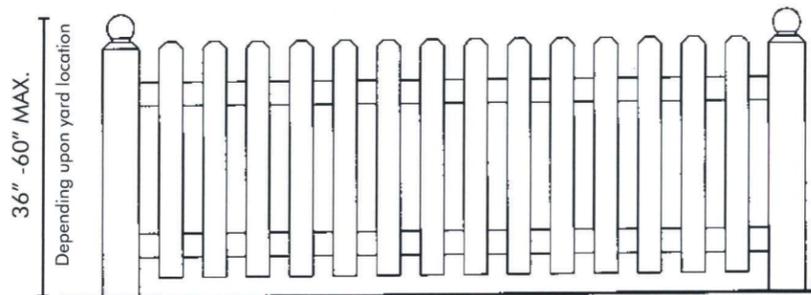
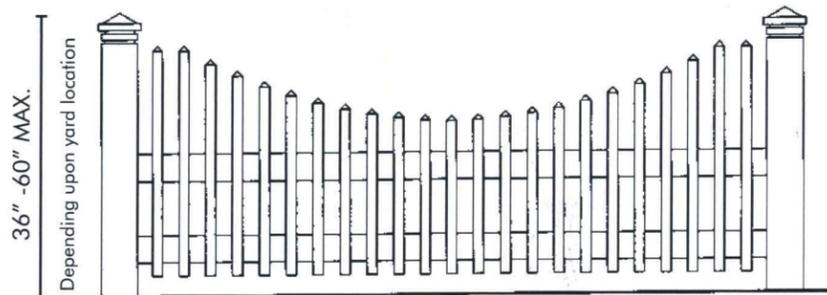
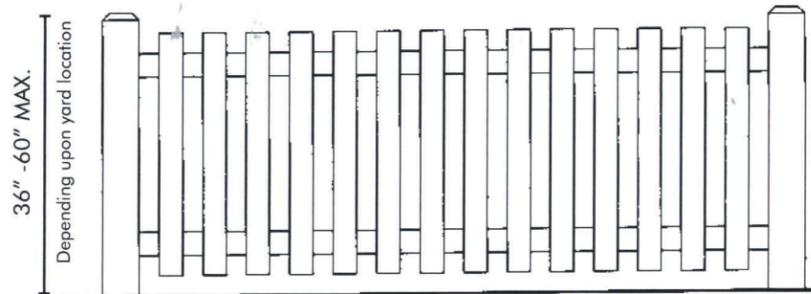
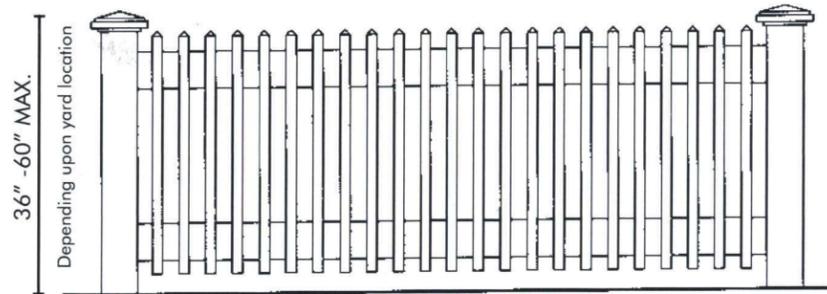
The general design philosophy of Crown Farm is to retain an open feeling of community that is inviting to all. For this reason, only certain types of fencing will be permitted, creating a unified look. Property corners must be established prior to the installation of fences. All fences must be installed within 2" from the adjoining lot so that encroachment does not occur. Gates shall match the design, material, and color of the associated fence.

All wooden or vinyl fences should have an opaque white finish.

## Front Yard Wood and Vinyl Fence Design Examples

Picket width and spacing may vary.

All picket tops shown may be used with any fence design. Additional picket tops may be considered.



## PROHIBITED

- Chain link fencing and barbed wire fencing.
- Fences erected outside of the homeowner's property lines.
- Fences that exceed 6 feet in height.
- Fence styles other than the ones illustrated in this section.
- Installation of fences on utility easement.



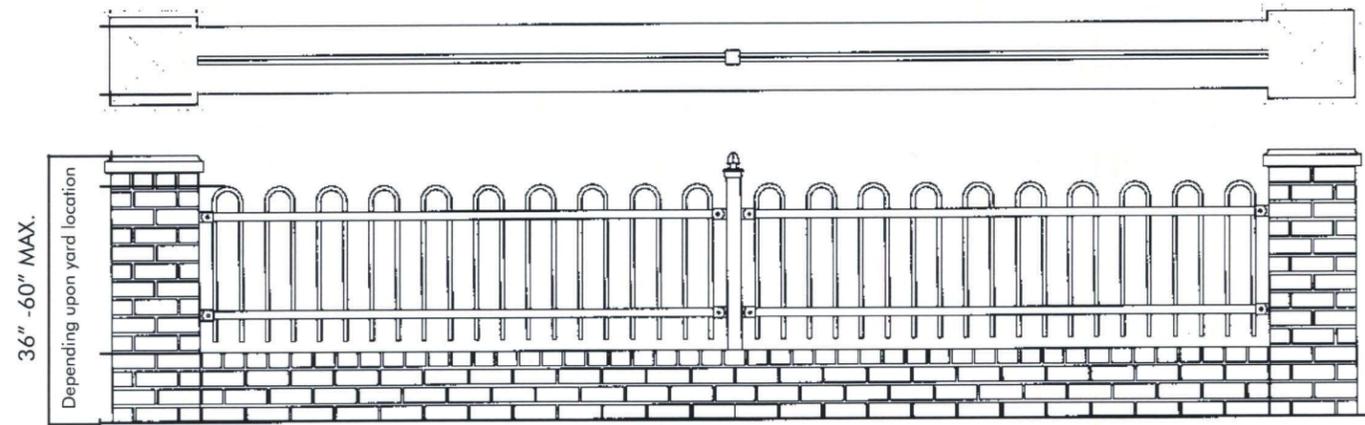
**NOTE: All details are illustrative to show design intent only, not for construction. All structural cross sections are to be reviewed by a certified structural engineer and shall be designed per City of Gaithersburg standard sections.**

# METAL PICKET FENCING - MULTIFAMILY & COMMERCIAL

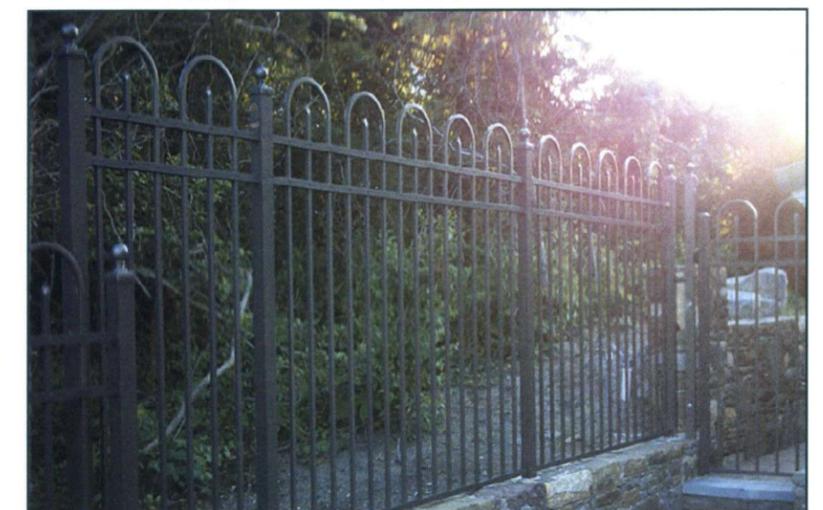
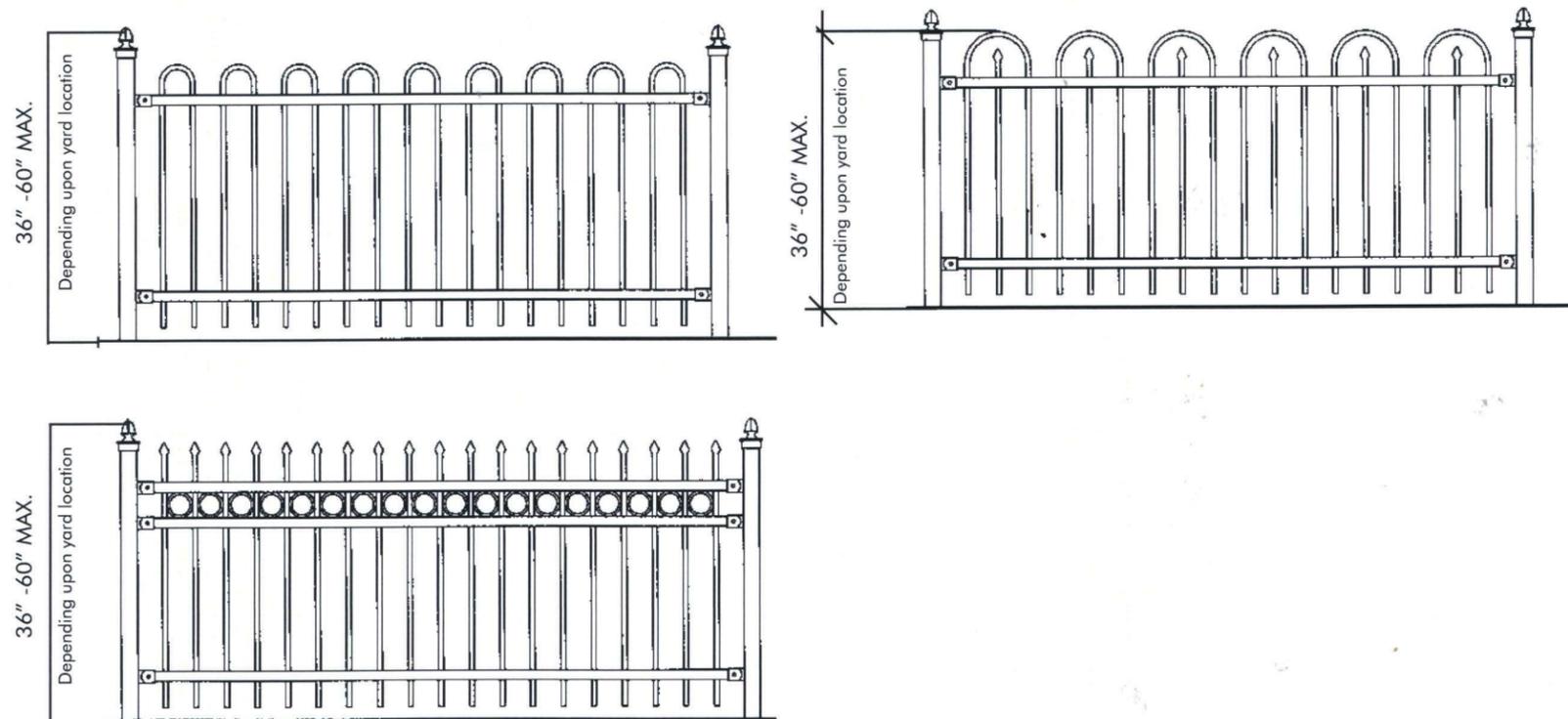
Fencing on a multifamily property or in Neighborhood One's commercial zone shall be metal picket fencing. Metal pickets shall be constructed of aluminum or iron and finished with black paint. The following metal picket fencing types are permitted in Crown Farm. Variations on the following designs will be considered.

Property corners must be established prior to the installation of fences. All fences must be installed within 2" from the adjoining lot so that encroachment does not occur. Gates shall match the design, material, and color of the associated fence.

## Metal Picket Fence with Masonry Base



## Metal Picket Fence



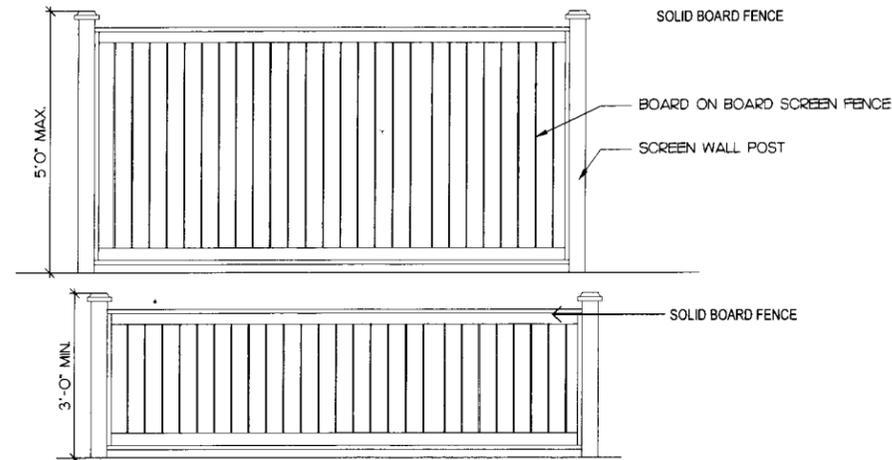
NOTE: All details are illustrative to show design intent only, not for construction. All structural cross sections are to be reviewed by a certified structural engineer and shall be designed per City of Gaithersburg standard sections.

# SCREENING

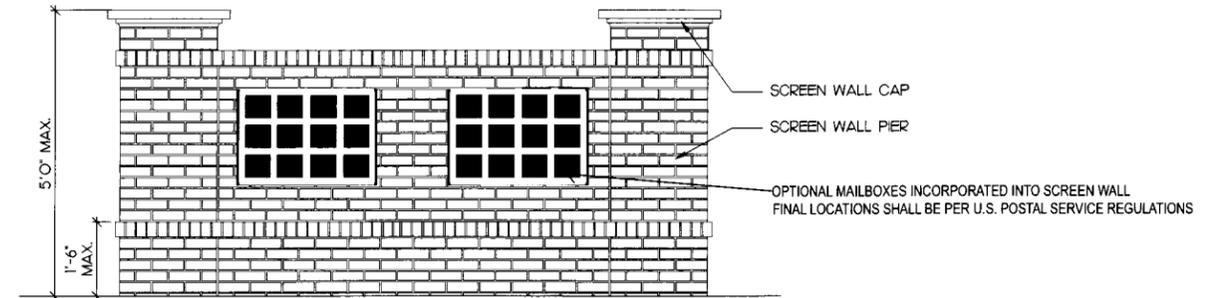
Screen fencing shall be either board-on-board, board-on-board with a masonry base, or entirely masonry. It must be a minimum of 36 inches and a maximum of 60 inches in height.

Material may be wood or vinyl.

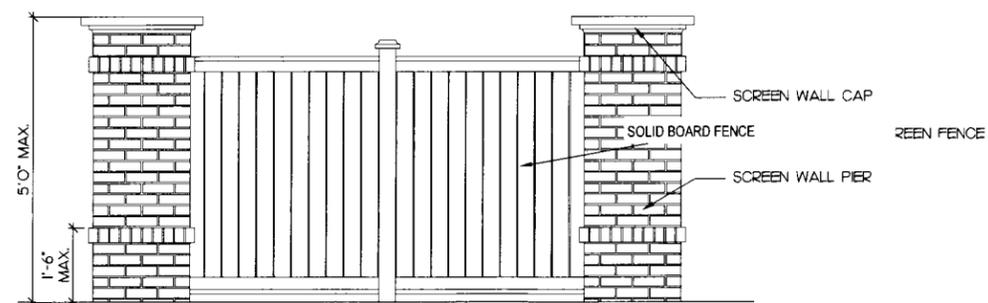
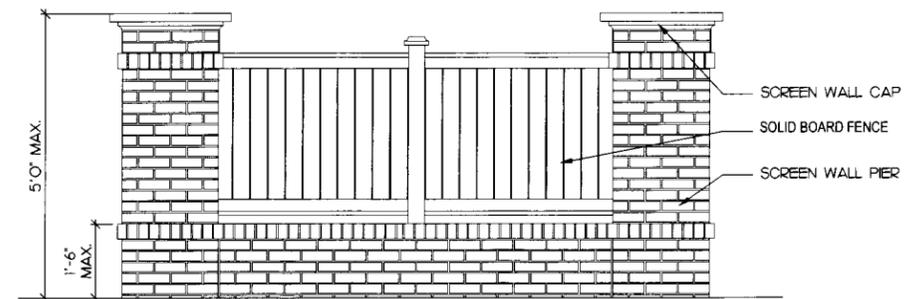
## Board on Board Screen Fence



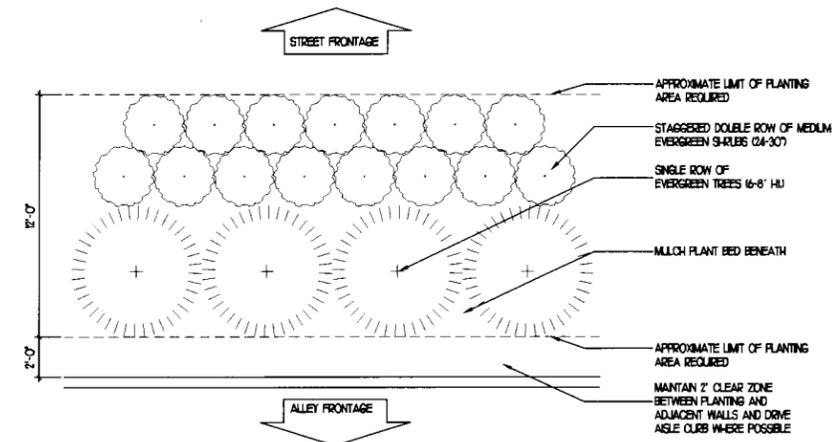
## Masonry Screen Wall



## Board on Board Screen Fence with Masonry Base



## Evergreen Shrub Screening



Architecture

6

# GENERAL BUILDING DESIGN GUIDELINES

Building design guidelines seek to create a distinct yet coherent architectural style that will foster a unique identity for Crown Farm and form the backdrop of a rich street level experience. These guidelines will significantly help distinguish the community, help define its “one-of-a-kind” character and eventually raise its value in the market place. The following set of underlying principles will be applied to each of the buildings, irrespective of its use and geography. Detailed design guidelines specific to each building type are recommended in the neighborhood section.

## 1. Articulate Massing and Facades

Promote a building design that helps animate and add interest in the overall public space experience via the interplay of light and shadow, opaque vs. transparent surfaces, texture, color and elevation depths.



## 2. Build in the Tradition of Simple Yet Elegant Designs

Building architecture and elevations promote a more contemporary nature through the use of simple unifying roof and window lines, and careful selection of materials. The building aesthetic should emerge from elevation components and building details rather than from mere ornamentation.



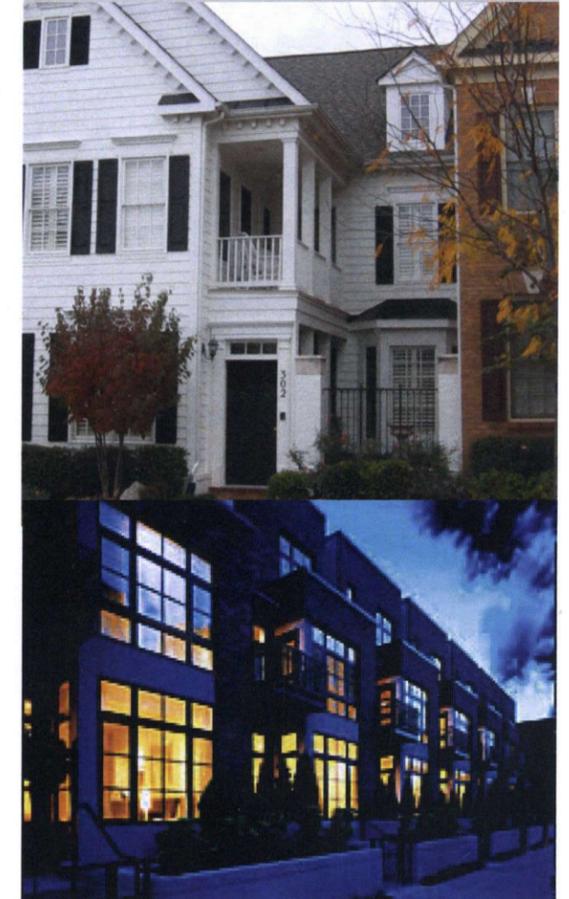
## 3. Use Traditional, High-Quality and Durable Materials Throughout the Community

Brick, stone, stucco, shingles, and cement fiber siding may be used in ways that reinforce the look of the architecture.



## 4. Embellish the Streets with Private Outdoor Spaces (Porches, Stoops, Balconies, Etc)

The relationship between the street and building facades is augmented by porches and balconies, which are deep enough to offer an outdoor retreat for the resident. Such spaces highlight street activity and offer a more interesting experience for the pedestrian.



Note: These images are examples for illustrative purposes only.

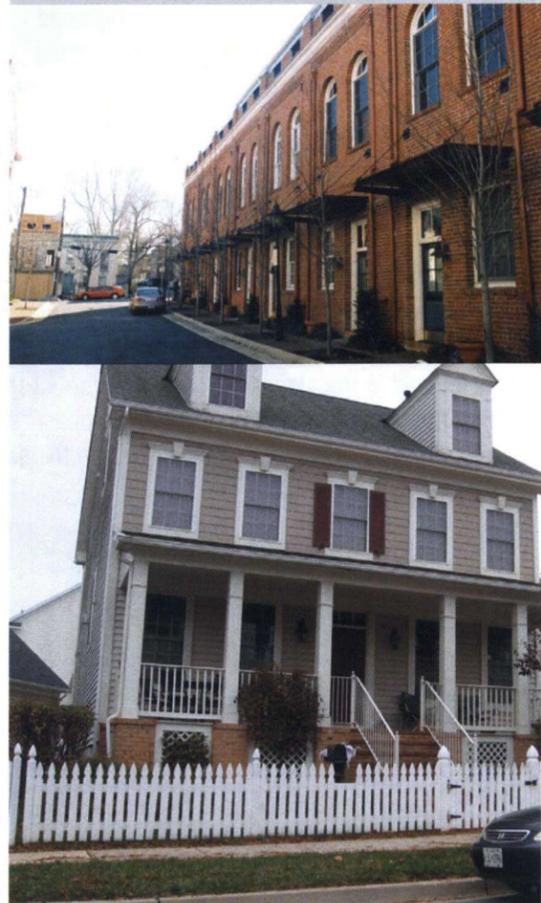
**5. Incorporate Shading Devices as a Unifying Design Feature**

Shading devices such as overhangs, trellises, balconies, and porches should be sensitively incorporated to reduce the heat gain, as well as function as architectural features that unify the look of the overall community.



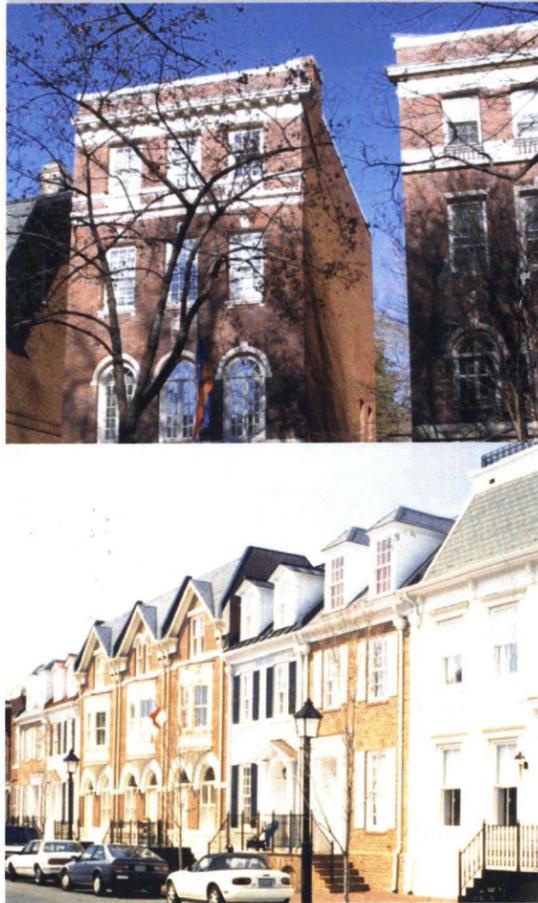
**6. Design Building Faces that Respond to Various Streets and Open Space Conditions**

All buildings and their faces shall adequately respond to all the open spaces and streets by incorporating architectural elements such as wrap-around porches, bay windows, chimneys, and pronounced doorways.



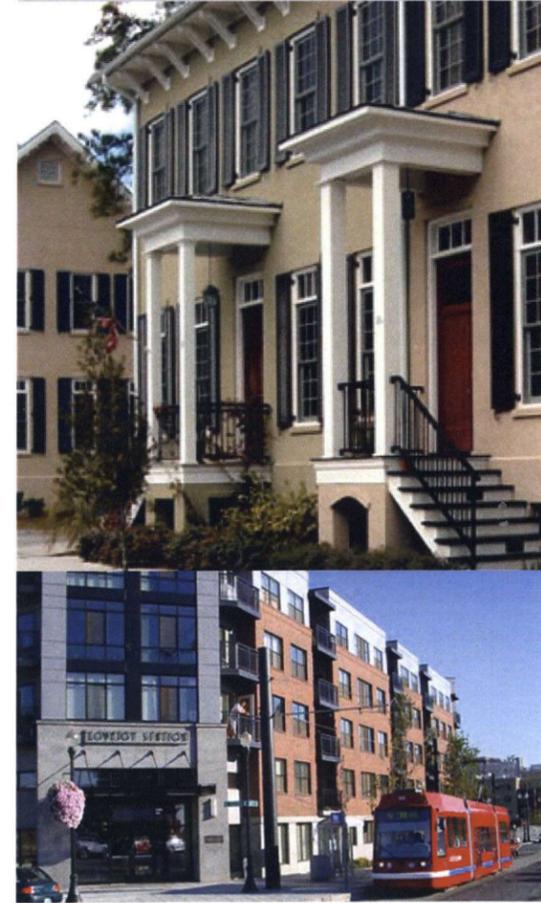
**7. Use Combinations of Roof Forms to Distinguish Neighborhood Character**

Identity and distinction are important features of the architecture at Crown Farm. By using varying roof forms such as gable, hip, flat, and pitched roofs we are able to add value and character to different neighborhoods.



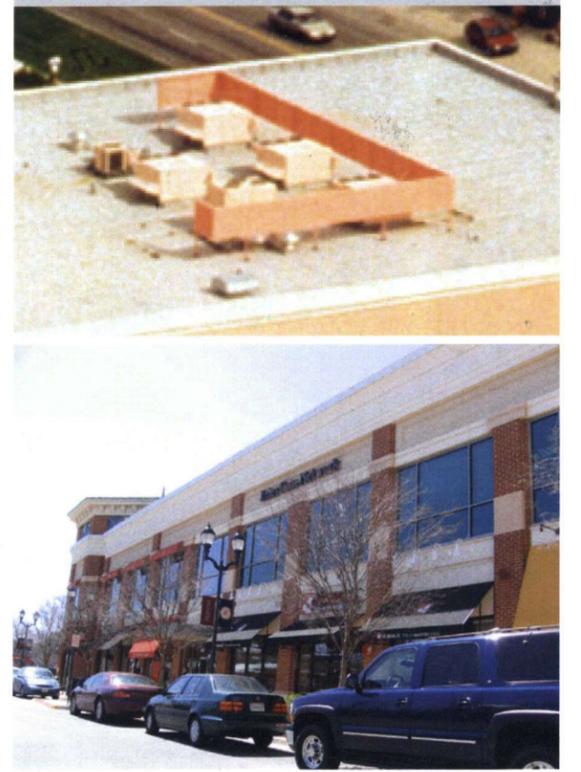
**8. Emphasize Main Entries of Buildings**

Primary building entrances should be easily identifiable from driveways and drop-offs.



**9. Screen Mechanical Units**

Mitigate the visual impacts of utilities, mechanical equipment, and other utilities that are visually obtrusive. Screen roof top mechanical units with architecturally integrated screening units or roof parapets, when possible. Thru wall mechanical units shall be thoughtfully designed into a building's facade, located in areas that minimize visual impact, and camouflaged with paint/materials that are similar in shade to the facade on which it is placed.



Note: These images are examples for illustrative purposes only.

# SINGLE FAMILY RESIDENTIAL DESIGN STANDARDS - NEIGHBORHOODS ONE AND TWO

## Variety

1. Each consecutive group of three (3) adjacent single family detached houses shall have distinct and different elevations with varied architectural projections, roof lines, and/or color. In addition, single family detached houses immediately adjacent to one another or directly across a public street from one another shall have distinct and different elevations.
2. No identical color schemes for single family detached houses shall be repeated within three consecutive lots.

## Material Treatments

### Single Family Detached Houses

1. Architectural design and exterior materials should be applied consistently on all sides of the structure. When using wood siding or masonry as a primary or accent material in the front, extend it down the sides, at least to an inside corner. Do not stop at an outside corner.

### Single Family Attached Houses

1. The townhouse located at the end of a row will be treated with a consistent material treatment on the front and side facades.
2. The first townhouse located at the alley entrances will have a consistent material treatment on the front, side and rear facades.

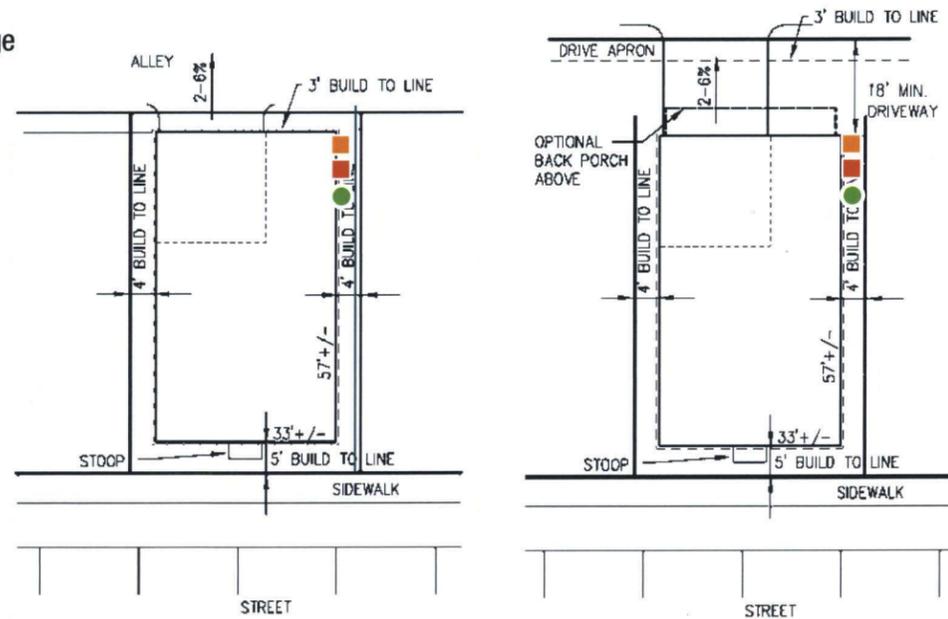
## Utilities and Mechanical Equipment

The visual and noise impacts of utilities, mechanical equipment, data transmission dishes, towers, and similar antennas and equipment shall be reasonably minimized by use of the following design and installation principles:

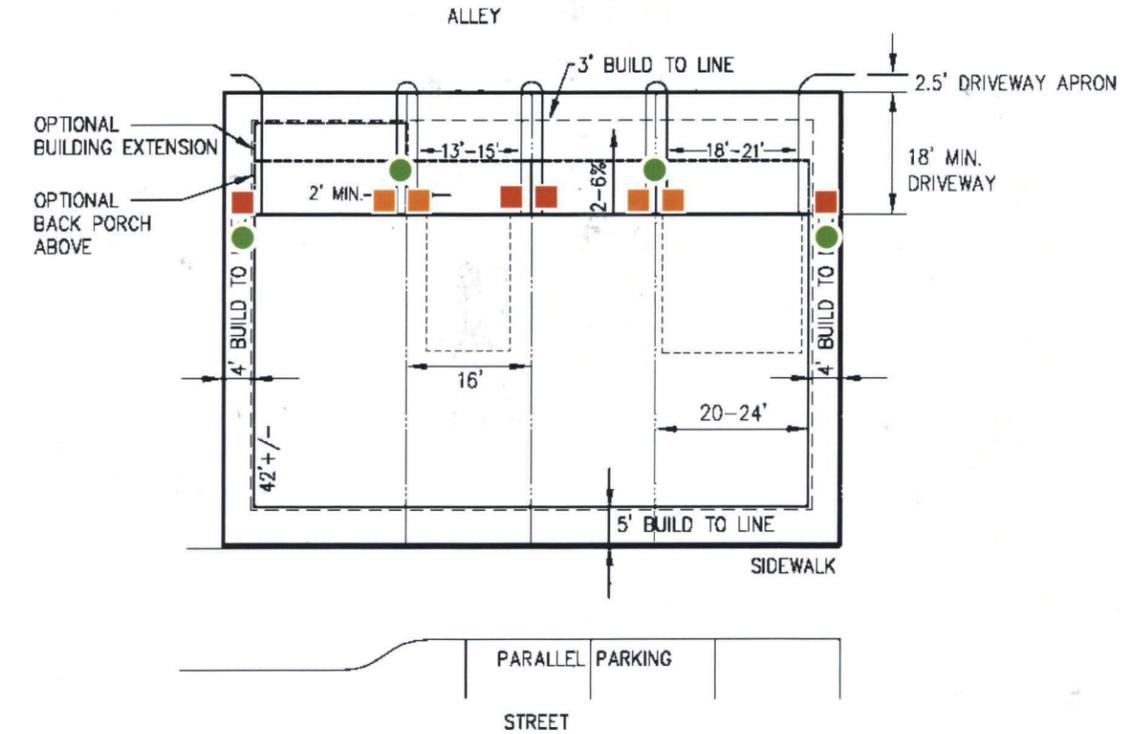
1. Install all permanent utility lines underground.
2. Utility locations shall be generally located to the rear of lots, except when situation dictates otherwise.
3. Locate transformers away from major pedestrian routes and outdoor seating areas, where possible.
4. Buffer all transformers, telecommunications devices, equipment switching boxes and other utility cabinets from street and pedestrian areas with landscaping or architectural screens, where possible.
5. Mechanical, electrical or other equipment, whether located on the top of buildings or thru-wall units, in the case of commercial and some residential structures, or ground mounted shall be located away from public view and/or screened from view in an attractive yet unobtrusive manner.
6. Screening or buffering of any equipment shall be by one or a combination of the following: berms, depressions, walls, fences and/or landscaping and/or integration with the architecture of the adjacent building(s).
7. Transformers, CATV, and Telephone Distribution, etc. to be located in alleyways, side yards and rear yards. HVAC equipment shall be located in rear yards or side yards. If such equipment is located in the side yards within 15 feet of the front facade of the building, adequate screening measures should be taken to ensure they are not visible from the street.

## Typical Utility Location Diagram

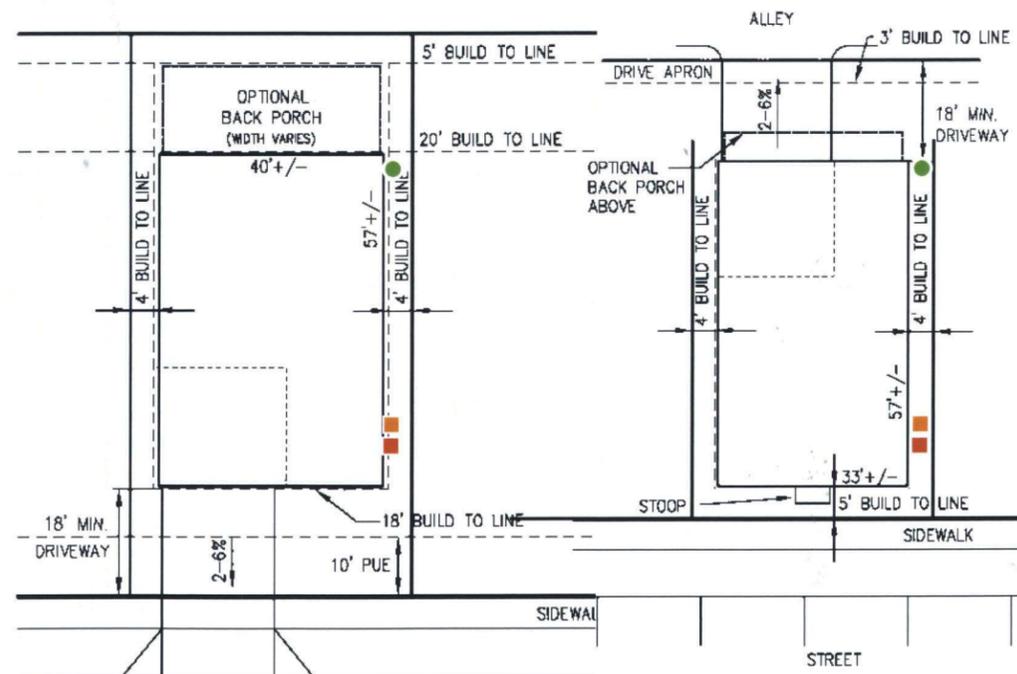
### Single Family House - Rear Loaded Garage



### Townhouse



### Single Family House - Front Loaded Garage



#### Legend

- HVAC
- Electricity Meter
- Gas Meter

Note: The locations of utility meters and HVAC units shown above is conceptual and for illustrative purposes only; the final location of these will be determined in conjunction with coordination with the utility companies and design of final architecture.

# SINGLE FAMILY RESIDENTIAL MATERIAL STANDARDS - NEIGHBORHOODS ONE AND TWO

## WALLS

Building walls shall be constructed of the following materials. When walls are constructed of more than one material, changes in material could be permitted along a horizontal or vertical line, and should reinforce a Base, Middle and Top for the building.

## BRICK

1. The brick could be coursed in common bond, Flemish Bond, herringbone, basket weave, or other decorative bond, or horizontal running bond. Bonding variations are encouraged.
2. A variety of traditional brick colors and modules are encouraged and painted brick is permitted.

## SIDING

1. Cementitious or fiber board siding or its equivalent is the prescribed siding material where brick and stone are not required.
2. Aluminum or Vinyl siding is not permitted. Smooth cut cedar shingles, wood clapboard siding and wood beaded siding products are permitted.
3. Siding joints will be caulked, painted, or per manufacturers installation instructions.
4. Siding could be lapped or Dutch-lapped. Exterior wood or other compatible material shingles are encouraged where appropriate.
5. There will be an appropriate-scaled size trim used with siding, depending on the building design.
6. Corners to terminate at corner boards.

## STONE

1. Stone shall be laid with predominantly rectilinear stones in a horizontal pattern.
2. Cast stone shall be permitted as sills, headers and accents.
3. Stone shall return a minimum of 12" at all outside corners, and at no time expose a thickness of the veneer.
4. Portions of stone walls shall terminate with appropriate sills, caps, or intersections with other building elements

## STUCCO

1. All stucco is to be smooth texture and uniform paint color.
2. Sonoborn shall be an acceptable alternative to authentic stucco.
3. EIFS is permitted for architectural elements as long as it meets code requirements and is located a minimum of 4 feet from the ground.
4. EIFS is prohibited as an alternative for a full stucco facade.

## DOORS

1. Doors (except storm doors) must be made of fiberglass, steel, or wood, and must be painted or stained. All doors will have glass, raised panels, or both.
2. Storm door windows and screens shall be aluminum or painted wood. Storm doors and screen doors are to be free of decorative trim, in full view, and be finished to match either the main door or the trim around them.
3. Garage doors must be made of wood, embossed hardwood, fiberglass, or wood veneer. Fenestration is permitted. Paneled doors and windows are recommended.
4. Garages facing alleys: Single garage doors are permissible.
5. Garages facing the street: Two-car garages are permitted to have a single door in addition to individual paired garage doors. No steel garage doors.
6. All garage doors shall be recessed from the exterior trim surrounding the garage opening.

## WINDOWS

1. All exterior elevations are required to have windows.
2. The windows must be single, double, triple-hung, casement, or fixed in decorative applications.
3. Windows should be square or rectangular in configuration and vertical in orientation. There could be circular, half-round, irregular, or elliptical accent windows.
4. Window lights are to be square or vertical in proportion.
5. Window frames will be of wood, vinyl-clad wood, metal, vinyl, PVC, or extruded aluminum.
6. Windows generally should not be closer than two feet to the corners of the building, unless the window wraps the corner as part of an architectural house style or element to be approved by the Planning Commission.
7. Skylights are to be located only on the backside of the roof ridge or on nearly flat roofs.
8. Gabled ends are permitted to have accent windows.
9. Openings, windows, and window sashes will be rectangular with a vertical or square proportion.
10. Window wells could require landscape screening, if it is visible from public right-of-way.
11. Shutters should be proportionately sized to the windows.
12. Efforts shall be made to avoid having windows facing each other on adjacent units.

## ENERGY

1. Roof mounted solar panels are permitted, but must not be visible on the home's front facade. These panels must adhere to HOA regulations.
2. Freestanding solar panels are permitted in rear yards, if and only if rear yards are not visible from any street frontage. Freestanding solar panels in front/side yards are prohibited.
3. Wind turbines are prohibited.

## ROOFS

There are two residential roof types – facades with sloped flat roofs and facades with pitched roofs (mansard, hip, or gable).

1. A parapet built per code will be used to edge any flat roof when used as an exterior deck and accessed from the interior of the building.
2. Pitched roof construction materials must be slate (black or dark gray), cedar shingles, asphalt shingles, dimensional composite shingles, non-reflective standing seam metal (green, brown, or black in color). Non-dimensional shingles are prohibited.
3. There must be simple roof configurations for units with pitched roofs. They will be in a gable, gambrel, mansard, or hip arrangement.
4. When used as a secondary roof set against the wall of the main building, shed roofs (roofs which pitch in one direction) are permissible.
5. Brackets, spandrels, finials, and other ornamentation are permitted.
6. Roof penetrations (vents, attic ventilators, turbines, flues etc.) shall be painted to match the color of the roof or flat black except those made of metal which could be left natural.

## GUTTERS AND DOWNSPOUTS

1. Gutters will be constructed of aluminum, galvanized metal, steel, or copper.
2. Copper gutters are permitted to retain their copper color, or weathered patina. Other materials must be pre-baked or powdered coated finished, color to be approved.
3. Downspouts encouraged to be at the rear of the building, unless required under special condition.

## **CHIMNEYS**

1. Chimney enclosures shall be brick, stone, stucco, or cementitious material.
2. Spark arrestors must be painted black, unadorned and non-ornamental.
3. Metal roof top flues should extend no higher than the minimum required by building code.
4. Chimneys should be integrated with the building and have material color compatible with the building architecture.

## **PORCHES**

1. Porch floors shall be pressured treated wood, composite, poured concrete, stone, and brick.
2. Porch foundations shall be masonry piers with framed wood lattice, wood boards or brick.
3. Porch railings shall be a single material such as wood, steel, vinyl or wrought iron.

## **STOOPS**

1. Masonry stoops shall be made of brick, stone or concrete. Metal stoops shall also be permitted. Wood stoops could be used at secondary entrances.

## **DECKS**

1. Deck floors shall be pressure treated wood or composite simulated wood.
2. Wood decking shall be sealed with an approved natural finish.
2. Deck railings shall be wood, vinyl clad wood or composite simulated wood.
3. Height of the handrail will be 42" minimum.
4. Decks are allowed only on ground level and/or second story at the rear of the building.
5. Enclosed deck is not allowed, but deck can be shaded with awning, trellis, or other shading devices.

## **ROOFTOP DECKS**

1. Rooftop deck floors shall be pressure treated wood or composite simulated wood.
2. Rooftop deck railings shall be wood, vinyl clad wood or composite simulated wood.
3. Height of the handrail will be 42" minimum.

## **BALCONIES**

1. Balcony floors shall be pressure treated wood or composite simulated wood.
2. Balcony railings shall be metal, wood, vinyl clad wood or composite simulated wood.
3. Height of the handrail will be 42" minimum.
4. Balconies must have finished undersides.

## **GARAGES**

1. Garages may be either detached or attached to the home.
2. The garage shall be designed as an integral part of the home and shall incorporate the design, materials and colors of the home.
3. Garage roof material and color shall match those of the dwelling.

## **ACCESSORY STRUCTURES**

1. All detached structures such as pavilions and/or sheds shall be of similar design and materials as the primary structure.
2. All accessory structures shall be placed in rear yards, and out of view from the street.
3. The size of accessory structures shall be of compatible size to the lot on which it will be placed.
4. Location of accessory structures shall not have an adverse impact on neighboring properties or impair the view of neighbors.

# NEIGHBORHOOD ONE GENERAL BUILDING DESIGN GUIDELINES

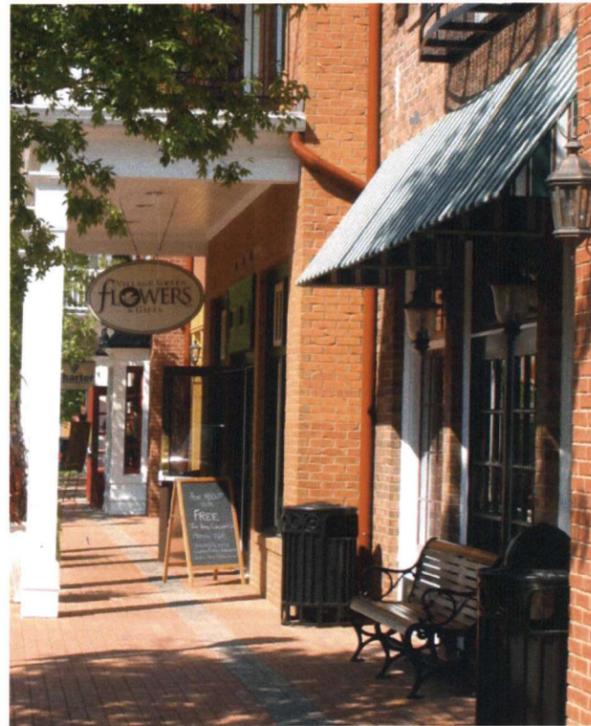
## BUILDING DISPOSITION

- Fronts of buildings should be sited close to and face the primary street edge.
- There shall be no minimum front, side, or rear setbacks, excluding single family attached homes.
- Maximum lot coverage shall not exceed ninety (90) percent.
- Buildings shall have their principal pedestrian entrances on their Front Line.



## BUILDING CONFIGURATION

- Awnings may encroach upon the public sidewalk into the pedestrian zone, but must not extend into the amenity zone.
- Extension of stoops will vary based on grade.
- Balconies may extend five (5) feet from building face.
- Bay, bow, or box windows may extend three (3) feet from building face.
- Docks and service areas shall be permitted on Front-ages.
- Building heights shall be limited to eight (8) stories.



## ENVIRONMENTAL STANDARDS

Prior to issuance of building permits for 40% of the Commercial/Retail Development to be constructed in Neighborhood 1, Crown Farm agrees to submit certification by a LEED accredited professional that said construction is likely to yield twenty (20) points on the LEED Rating System. As used in this section (Annexation Agreement, Paragraph 8(b)), means an individual who has passed the LEED Professional Accreditation Exam administered by the United States Green Building Council. (Crown Property Annexation Agreement).

# COMMERCIAL

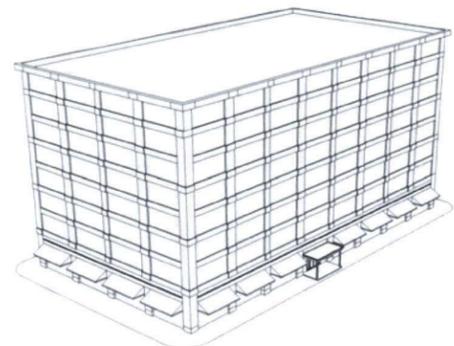
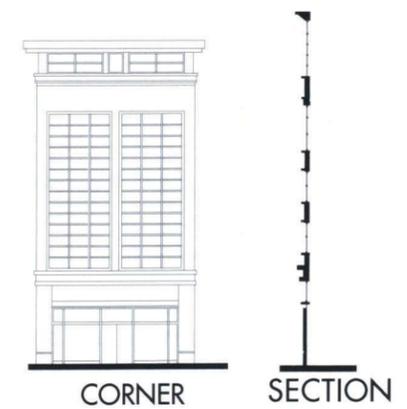
Crown Farm will offer an alternative to the monotonous design and single use of suburban office parks. Office space is anchored around the site's center, creating maximum visibility for the office tenants and retailers located below. These guidelines will ensure that the office buildings will contribute to the overall quality of the development.

## ENCOURAGED ELEMENTS

- Architectural projections such as: terraces, projections and bays.
- Storefronts provided in portions of all building street fronts.
- Combination of canopies, awnings and flat storefronts to create variety.
- A strong base that terminates at the building with well-defined second story uses that are separated by a cornice or other horizontal banding element.
- Varying window treatments and patterns.
- Integrated wall and roof elements that screen mechanical equipment.
- Flat roofing systems with tan riverbed gravel ballast.
- Sloped roofing of shingles, wood shakes simulated slate, or other materials.
- Building front walls of face brick, stone, pre-cast or wood, with masonry accents.
- Column surrounds of masonry, pre-cast concrete and/or cast stone.
- Solid, well-defined building piers that define and anchor end bays and building entries.
- Rear walls constructed with a combination of brick and concrete block. Blocks can be a combination of ground-face, split-face, and center-scored block.

## PROHIBITED ELEMENTS

- Long facades that have no vertical and/or horizontal articulation.
- Poorly defined base elements or long expanses that offer little relief to passerby.
- Building lobbies that have no awnings or shadowing elements.



# GROUND FLOOR COMMERCIAL

All of the buildings in the mixed-use portion of Crown Farm are envisioned to house commercial and restaurant uses on their ground floors.

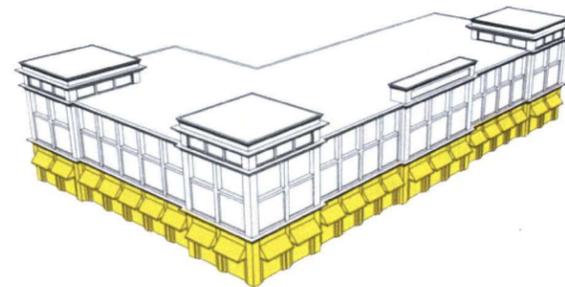
The architectural design of the commercial level should not be contingent on the overall building architecture. Retailers should have the freedom to express the uniqueness of their particular stores but are expected to tailor their designs to the overall design of the development.

## ENCOURAGED ELEMENTS

- Commercial space that changes in character between the upper stories and ground floor.
- Anchored storefronts at either end with a strong substantial pier to provide definition to the space.
- Storefronts provided in portions of all building frontage.
- Combination of canopies, awnings, projections and flat storefronts to create variety.
- Varying window treatments and patterns.
- Building front walls of face brick, stone, pre-cast or wood, with masonry accents.
- Column surrounds of masonry, pre-cast concrete and/or cast stone.
- Solid, well-defined building piers that define and anchor end bays and building entries.
- Flat roofing systems with tan riverbed gravel ballast.
- Sloped roofing of shingles, wood shakes simulated slate, or other materials.
- Rear walls constructed with a combination of brick and concrete block.

## PROHIBITED ELEMENTS

- Buildings that extend their upper floors to the ground floor level without accommodating commercial needs.
- Box signs with screened letters that are mounted flush to the façade.
- Storefronts that match a neighboring retailer in color and/or design.



Note: These images are for illustrative purposes only.

# FREESTANDING RETAIL

Stand alone commercial buildings may house restaurants as well as major commercial tenants and a few small rental or specialty shops.

These buildings are typically up to three stories in height. The design of these buildings usually relates to the character of the individual tenant.

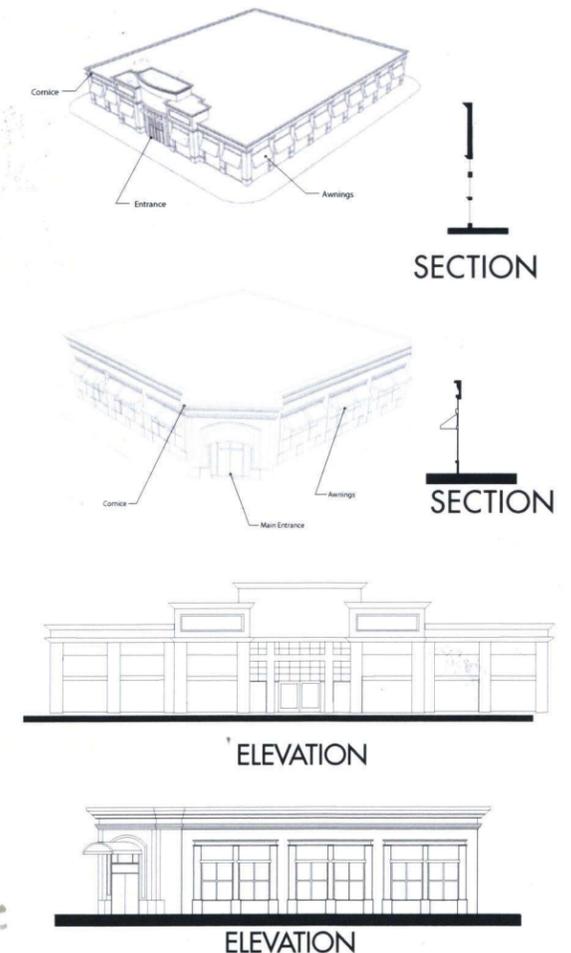
## ENCOURAGED ELEMENTS

- Maximize their vehicular view along Sam Eig Highway and Fields Road.
- Distinguishing roof lines and profiles that complement the base architecture.
- Architectural projections that enliven the facade and provide greater interest.
- Combination of canopies, awnings and flat storefronts to create variety.
- Varying window treatments and patterns.
- Well integrated wall and roof elements that screen mechanical equipment.
- Building front walls of face brick, stone, pre-cast or wood, with masonry accents.
- Column surrounds of masonry, pre-cast concrete and/or cast stone.
- Solid, well-defined building piers that define and anchor end bays and building entries.
- Flat roofing systems with tan riverbed gravel ballast.
- Sloped roofing of shingles, wood shakes simulated slate, or other materials.
- Rear walls constructed with a combination of brick and concrete block. Blocks can be a complement of ground-face, split-face, and center-scored block.



## PROHIBITED ELEMENTS

- Buildings that extend their upper floors to the ground floor level without accommodating commercial needs



# PARKING LOTS AND DECKS

Although surface parking spaces are minimal, careful attention should be paid to these spaces. Landscape should be incorporated into the parking areas to buffer them from surrounding neighborhoods and uses.

Surface parking areas will be well maintained with an appropriate amount of lighting to create a safe environment for parking patrons.

## STRUCTURED PARKING

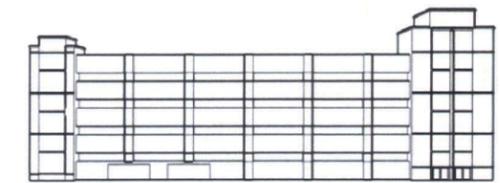
- Minimize exposed façade with landscaping screening techniques.
- Aesthetically designed stairs and elevator cores.
- Details to minimize building bulk and break up long façades.
- Compatible style with surrounding buildings.
- Primary access from external streets.
- Lighting (interior and exterior) designed to avoid glare and excessive brightness (See Lighting section).

## SURFACE PARKING

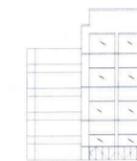
- Screening by walls, landscape berms, plant material, or a combination of all three, where practical.
- Evergreen shrubs to screen: bumpers, wheels and paving (max. height 30").
- Planted islands large enough to accommodate a deciduous tree of at least a 3 inch caliper.
- Appropriate landscaping on islands impacted by utilities.

## PROHIBITED

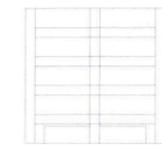
- Unadorned street-facing façades.
- Hardscape extended to building front.
- High pressure sodium lighting.
- Light fixtures that extend over 20' from the top of the garage.



ELEVATION



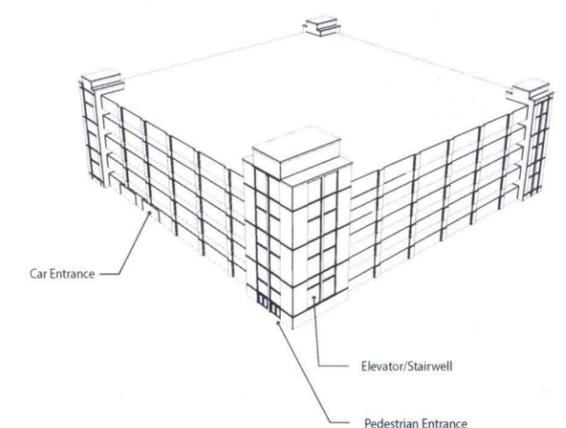
CORNER BAY



ENTRY BAY



SECTION



# MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

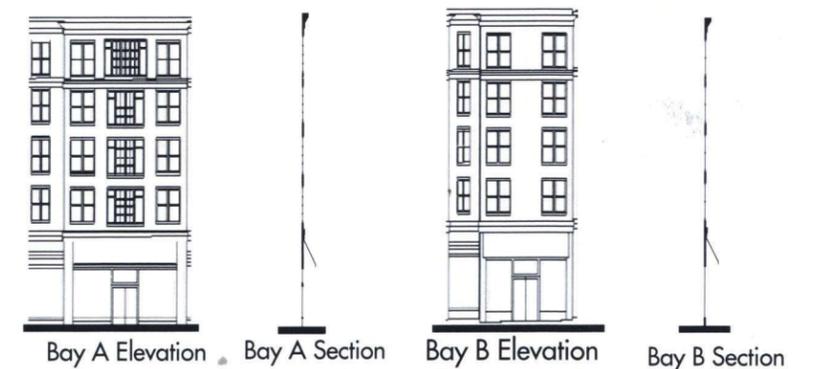


## EXTERIOR WALLS

- The public facades should be carefully articulated to provide pedestrian scaled architecture, and should be made of quality materials such as brick, stone, glass, mullions (metal or wood), pre-cast and wood.
- Each building should have a distinctive base, middle and top.
- Front door entries should be distinctive and enhance the façade.
- A minimum of 40 percent of linear horizontal dimension of the façade of each floor shall be windows and/or openings.
- Thru wall mechanical units shall be thoughtfully designed into a building's facade, located in areas that minimize visual impact, and camouflaged with paint/materials that are similar in shade to the facade on which it is placed.
- Glass shall not be heavily tinted or mirrored.
- Each building shall have some elements of brick or stone façades with walls that face onto a public street or sides or rears that are highly visible being similarly finished. Inclusion of a water table of stone with brick above (or brick with stone above) is encouraged.
- Other exterior walls may be of brick (brick veneer) material, wood siding, masonry siding, stone (cultured stone), cement material, or combinations thereof at the builder's discretion.
- Windows will receive finish molding and shutters.
- Exposed foundation walls above the typical water table may be of brick, stone, or concrete pressed with a pattern.
- Piers and columns may be of pre-cast concrete, brick, or simulated wood. All columns and piers made of simulated wood must be painted to match the trim of the main building. The appearance of one whole column may be achieved through the use of multiple columns. A minimum width of between 6" and 48" inches must be maintained for all piers and columns consistent with the column height and visual load such columns are carrying.
- Arches when used will have a distinctive thickness (on both the inside and outside surfaces) and width. All keystones will have sides radial to the arch.
- There will be a variety of different colors used on all buildings.

## BUILDING SITING AND SETBACKS

- Fronts of buildings should be sited at, and face, the primary street edge.
- There shall be no front or rear setbacks. All dimensions for front and rear building sitings are as shown on the Schematic Development Plan and finalized at the time of the final site plan approval, and shall not apply to bay windows, vestibules, oriels, entrances, balconies, steps, terraces, and covered or uncovered porches or decks.
- Boxes, bays and dormers should be used to break up the frontage along the street wall.



Note: These images are for illustrative purposes only.

# MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

## BUILDING MATERIALS

### BRICK

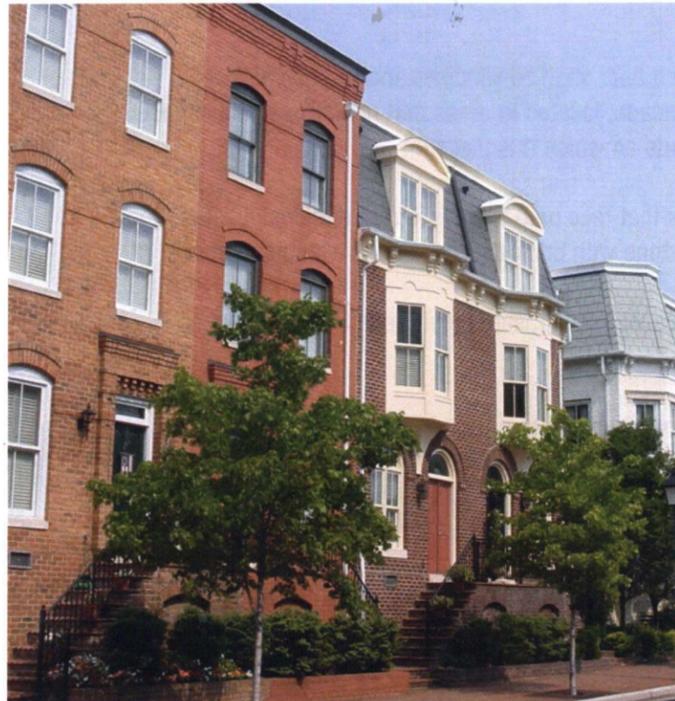
- Brick may be coursed in common bond, Flemish Bond, herringbone basket weave, or other decorative bond, or horizontal running bond. Bonding variations are encouraged.
- In situations of end-unit single-family attached dwellings with less than 4 sides of brick, or with a stone front façade only, the brick (or stone) in the side façade unless terminated by a porch or other similar condition.
- A variety of traditional brick colors are encouraged and painted brick is permitted. Molded brick is preferred to wire cut brick.
- Long-life cycle materials, such as brick, stone, stucco, and precast are encouraged in the front facades of the townhouses and low-rise residential buildings. Other materials such as fiber cement siding could also be used.

### SIDING

- Cement fiber board siding or its equivalent is the preferred siding material where brick, stone and wood are not required. Beaded siding products may be permitted with approval, to potentially include Southern beaded or Restoration Classic 45, Alcoa Beaded, Certainteed Beaded or Monogram, Wolverine Technologies Co., or equivalent.
- There will be no aluminum or vinyl products.
- Siding joints will be caulked, painted, or per manufacturers installation instructions.
- Siding will be arranged to the weather.
- Siding may be lapped or Dutch-lapped. Exterior shingles are encouraged where appropriate.
- There will be nominal size trim used with siding.
- Composite and recycled materials are permitted.

### ALTERNATIVE MATERIALS

- Other materials are acceptable if they are compatible with the urban context and have similar durability to the above materials. Examples include:
  - Metal
  - Wood
  - Clapboard
  - Fiber cement board clapboard
  - Synthetic stucco, or Sonoborn system



## WINDOWS AND SHUTTERS

- All exterior elevations are required to have windows.
- Windows should be recessed and with mullions (when appropriate to window style) to develop shadow lines.
- Windows must be single, double, triple-hung, or casement windows.
- Real, snap-in dividers, or grills between glass are permissible.
- Windows will be square or rectangular in configuration and vertical in orientation. There may be circular, half-round, irregular, or elliptical accent windows. Paired quarter-round windows may be used in pairs flanking another architectural feature.
- Window lites are to be square or vertical in proportion.
- Windows will be of wood, vinyl-clad wood, metal, vinyl, or extruded aluminum.
- Windows generally should not be closer than two feet to the corners of the building unless the window wraps the corner as part of an architectural style or element.
- A minimum 4-inch wide size trim is required on all walls constructed of siding surrounding all building openings.
- Gabled ends are permitted to have accent windows.
- Openings, windows, and window sashes will be rectangular with a vertical or square proportion.
- Non-reflective glass shall be used in all window openings.
- Windows may be operable.
- Skylights are to be located only on the backside of the roof ridge or on nearly flat roofs.

## SHUTTERS

- Shutters may be used for front and side windows.
- Shutters shall be wood or vinyl.
- Shutters should appear operable and should appear to be of sufficient size to cover the opening if both sides are closed.

# MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

## DOORS AND ENTRIES

- Entries should be distinctive and enhance the building façade.
- Entries shall be more monumental in design than their low-rise counterparts.
- Doors may be made of fiberglass with a wood print veneer, steel, or wood, and must be painted or stained. All doors will have glass, raised panels or both.
- Canopies, drop-offs, porches, projections, recessions, signs and other devices shall be used to frame and clearly identify residential entries.
- Individual building addresses should be visible from the street and not less than 10 inches in height.

## ROOFS

- Flat roofs are acceptable for all residential buildings.
- Pitched roofs, such as hip, mansard, gable or shed roofs, or parapets are required to be visible at the roof edge from ground-level.
- Roofing materials should be non-reflective, and muted colors shall be used.
- Roof construction materials on pitched roofs must be artificial or real slate (black or dark gray) or architectural shingles, or non-reflective standing seam metal. Copper standing seam roof shall not be permitted except as an architectural accent. Flat roofs should be permanent.
- An architectural cornice or similar roof treatment at a minimum of 2 feet in height (excluding residential balconies) must accompany any flat roof over an entry portico and porch. A parapet will be used to edge any flat roof when used as an exterior deck and accessed from the interior of the building.
- When used as a secondary roof set against the wall of the main building, shed roofs (roofs which pitch in one direction) are permissible.
- Brackets, spandrels, finials, and other ornamentation are permitted.



## GUTTERS AND FLASHING

- Gutters will be constructed of aluminum, galvanized metal, steel, or copper.
- Copper gutters are permitted to retain their copper color, or weathered patina. Other materials must be a pre-baked or power coated finished color.
- Gutters and downspouts shall be integrated into the design in terms of color, shape and location.
- Flashing and attic vents should not be visible from the ground and should be painted to match the roof, or clad in copper.

## ENERGY

- Multi-family residential building are encouraged to incorporate green roof materials and LED lighting where possible.

Note: These images are for illustrative purposes only.

# MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

## RETAINING WALLS

- Retaining walls shall be made of brick, stone, or masonry faced with brick or stone at all front yards and side yards facing a public street, sidewalk, or alley.
- Retaining walls not facing public streets may be of brick, stone, keystone, concrete.



## ANCILLARY STRUCTURES

- Trash enclosures and other ancillary structures shall be located away from the view of public streets.
- Trash enclosures and other ancillary structures shall be screened from view using walls or landscaping. Enclosure walls shall be constructed of brick, stone, or masonry fixed with brick or stone.
- Side ramps visible from the public street shall be architecturally compatible with design vocabulary of the building. Two sets of railing should be provided: a grab rail parallel to the ramp to assist the user and a level handrail to relate the addition to its context.
- Garage doors must be made of wood, embossed hardwood, steel, fiberglass, or wood veneer. Fenestration is permitted. Paneled doors and windows are recommended.
- Garage doors will be recessed from the outermost edge of the garage wall.



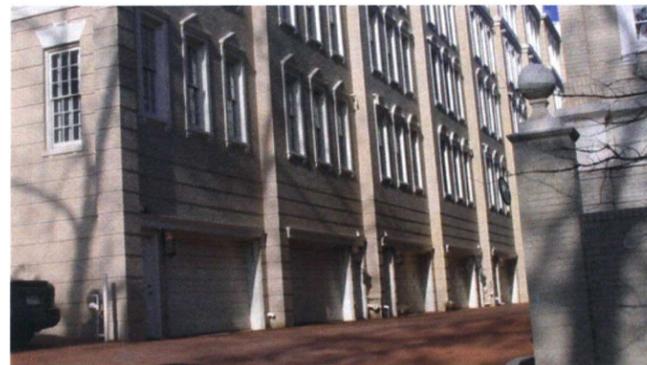
## DRIVEWAYS AND PARKING

- Driveways will be constructed of either concrete or asphalt in accordance with cross-sections on the approved Final Site Plan.
- Driveway and parking shall be a maximum grade of 6 percent.
- There shall be a minimum grade of 5 percent from the front building face to the top of the street transition.
- On-street parking shall be provided on most residential streets to reduce the speed of traffic and to provide visitor parking as shown on the final site plan.



## CURB CUTS AND SERVICING

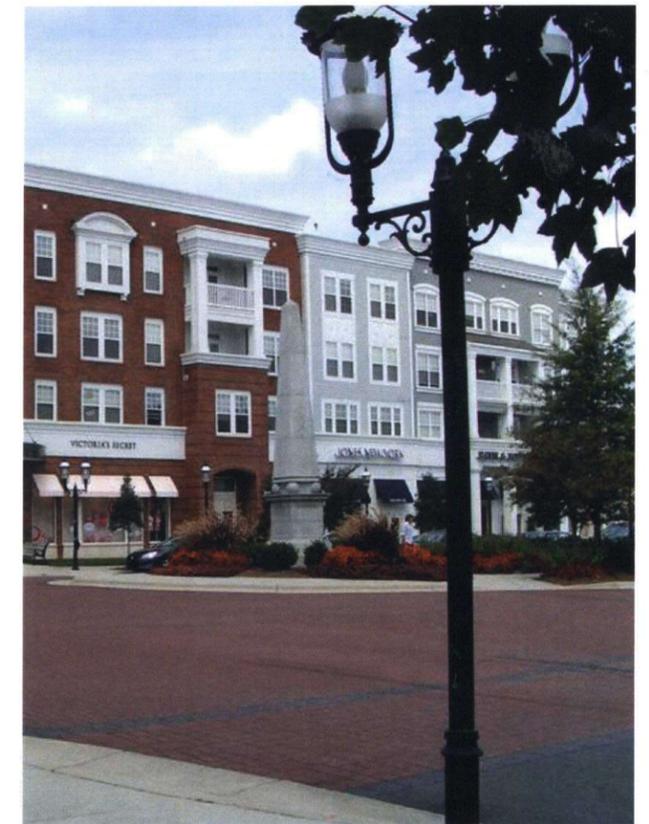
- Curb cuts shall be located and designed to minimize the intersection of vehicles and pedestrians on the sidewalk.
- Servicing and trash areas shall be located in the interior of blocks.
- Trash collection shall be accommodated in alleys where possible.
- Alleys should be screened from the pedestrian view with walls or landscaping as much as possible.



## COMMUNITY STREET AND SITE

### FURNITURE

- Street furnishings shall be of wood, recycled materials or metal with powder coating paint.
- Street furniture shall be placed at strategic locations such as bus stops, public plazas or greens, tot lots, recreation areas, and high pedestrian traffic areas as shown on the approved SDP Plan.
- Open spaces shall be planted to provide for seasonal interest, to create spaces resulting in an aesthetically pleasing environment.



Note: These images are for illustrative purposes only.

Lighting

7

# LIGHTING

## OVERVIEW

First and foremost, Crown Farm's Master Lighting Plan should serve practical functions. A complete lighting program should take into consideration the activities that will happen in designated areas, how visitors will enter the site and the effect that lighting intensity will have on these areas. Ultimately the lighting plan should transcend the practical and touch both visitors and residents on a deeper emotional, experiential level. This effect should be the lighting 'ethos' of Crown Farm — lighting that manifests itself both as the unifying theme for the community of Crown Farm and as the expression of its unique parts. In order for the two ends of this spectrum of expression to come together as a whole, lighting must be used as a multi-layered design tool with bold and subtle lighting effects throughout.

The color of light should be consistently warm and of high quality. Minimum quality criteria for lamp types are included in the body of this report. Thus, poor color rendering "orange" or "blue" lamp types should be prohibited.

There will be two or three bold, large-scale gestures in the overall lighting program. These gestures are intended to make a memorable lighting statement for observers from near and far, creating a sense of excitement and anticipation. Lighting should be integrated into architectural and landscape details wherever and whenever possible.

Layering of light is critical to the success of individual experiences. The lighted environment must bring interest and satisfaction at many scales.

## INTRODUCTION

Lighting color should be consistently warm and of the highest quality throughout Crown Farm. This light should be used as a tool to reinforce hierarchies and sequences of arrival, as well as to highlight public amenities. Although bolder lighting gestures will occur in the Mixed-Use Town Center, more subtle gestures will characterize the residential and park areas. Lighting will be integrated into architectural and landscape details wherever possible.

The style of luminaires will vary in the different components of the overall development. The residential fixtures will be a more traditional style luminaire, reminiscent of street lighting from the 30's and 40's. The Town Center will use a more contemporary luminaire that integrates better with the style of architecture and feel of modern retail design. It is best to choose fixtures that are versatile and that will allow Crown Farm's lighting to evolve with the development itself. The color and finish of these luminaires can change from district to district and provide visual distinction. Light poles should change in scale as necessary. Larger poles should be utilized on major streets or when adjacent to large-scale buildings. In contrast, narrow alleys, parks and residential streets should utilize a smaller light pole and softer lighting.

## LIGHTING DESIGN SCHEME

Lighting color should be consistently warm and of the highest quality throughout Crown Farm. This light should be used as a tool to reinforce hierarchies and sequences of arrival, as well as to highlight public amenities. Although bolder lighting gestures should occur in Neighborhood One, more subtle gestures should characterize the residential and park areas. Lighting should be integrated into architectural and landscape details wherever possible.

Luminaires will be selected for specific locations to provide varied lighting levels as needed for that particular usage:

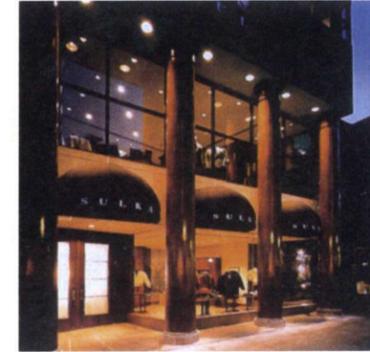
- Residential streets would use a lower-scale cut-off LED luminaire.
- Alleys would use a cut-off LED luminaire with lower light levels than adjacent streets.
- Intersections would use a higher-scale metal halide fixture for increased light levels.
- Pedestrian parks would use a glowing luminaire to give a higher perception of illumination.
- Commercial streets would use a contemporary style luminaire with cut-off optics to provide a higher light level for increased foot and street traffic.
- Higher volume, 4-lane streets with median would use a larger scale, two-headed pole fixture to provide more illumination along busier thoroughfares.

Although luminaire style should remain the same for each area, light poles should change in scale as necessary. Larger poles should be utilized on major streets or when adjacent to large-scale buildings. In contrast, narrow alleys, parks and residential streets should utilize a smaller light pole and softer lighting.

- Light pattern shields should be used to diminish inadvertent up lighting.
- Cobra head fixtures should not be used.
- For any building or project, exterior lighting should be compatible with and appropriate for the building architecture, materials and colors.
- Lighting should be designed and located to accommodate public safety without creating glare or high intensity.
- The use of wall sconces, lanterns or other lighting to delineate building entrance is encouraged.

## LIGHT EMITTING DIODE (LED) TECHNOLOGY

Where possible, utilization of LED technology is encouraged. LED luminaires would be utilized in the residential streets and alleys, where lower light levels are needed.



Note: These images are for illustrative purposes only.

# LIGHTING CHARACTER

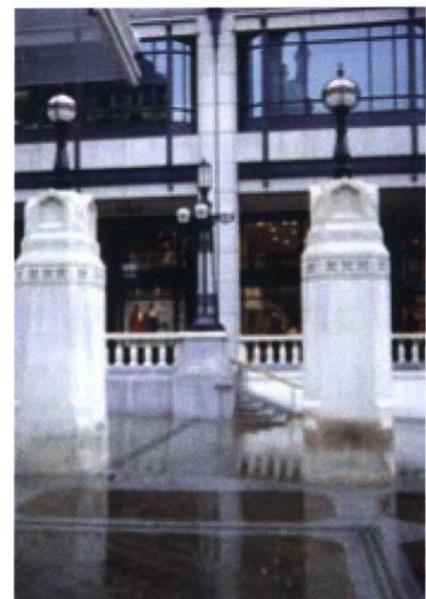
Discovery and nuance is a primary goal. The development of unique lighting elements is encouraged, yet pragmatic issues of durability and maintenance are paramount to the long-term success of Crown Farm. These factors must be considered at every level of design.

Just as the rhythm of life shifts from day to night, weekday to weekend, summer to winter, and from holiday to holiday, so will the dynamic of the light. This concept should be primary to the further development of lighting solutions for various portions of the project.

While character and street lighting equipment is decidedly historic in nature, the tenant and storefront lighting is encouraged to be more contemporary and playful, contributing to the variety and texture of experience.

As a simple measure of light incident onto a surface, foot-candles do not describe the complete three-dimensional luminous environment.

The following recommendations represent a conceptual approach to the lighting of Crown Farm. The concepts attempt to address the practical issues of illumination, providing opportunities for lighting gestures that will ultimately inform, articulate and reinforce the visual impressions of residents, office-workers and visitors alike.



Note: These images are for illustrative purposes only.

## LIGHT POLE AND FIXTURE TYPES

Poles, luminaires, and accessories shall comply with the Department of Public Works specifications.

Light fixtures should be selected to efficiently direct light to the desired area of the roadway and sidewalk. Light fixtures should enable a variety of light distributions to adapt to different street and sidewalk configurations while maintaining the same fixture appearance. The distribution type should be selected based on street and sidewalk width. Glare should be mitigated by selecting the proper lamp wattage and mounting fixtures at the appropriate height.

Sky glow is a consequence of several components of lighting: light directed to the sky from fixtures and light reflected off the ground. Light trespassing is light that enters an area where it is not wanted, such as street light entering a residential property. Both sky glow and light trespass can be irritating and detrimental to the environment.

Sky glow should be mitigated by selecting dark sky friendly lighting fixtures that direct most of the light downward.

## FOOT CANDLES

As a simple measure of light incident onto a surface, foot-candles do not describe the complete three-dimensional luminous environment. When used properly, light level goals can help ensure that basic good practice fundamentals have been achieved in the design process.

The following recommendations represent a conceptual approach to the lighting of the Crown Farm. The concepts attempt to address the practical issues of illumination, while providing opportunities for the emotional and experiential lighting gestures that will ultimately inform, articulate, and reinforce the visual impressions of the on-looker, resident and visitor of Crown Farm.

## LOCATION AND SPACING

Street lighting poles should be located on the sidewalk close to the curb on the curb side edge, or centered within the amenity zone. Light poles should be coordinated with other streetscape elements. Utility equipment above and below ground, such as pull boxes and underground trenches should be coordinated when locating lighting fixtures. Lighting from building facades or landscape illumination will help fill in gaps in the sidewalk lighting to create a rich, varied texture.

Light fixtures should not be located next to tree canopies that may block the light. When determining tree type, anticipated height and diameter of the tree canopy should be considered relative to lighting fixture height and spacing based on light level and uniformity requirements. Appropriate distance between the tree and light fixture depends upon the type of tree and type of light fixture. If blocking the light output of the fixture cannot be avoided due to existing locations of the light fixtures and trees, additional light fixtures should be considered.

# LIGHTING

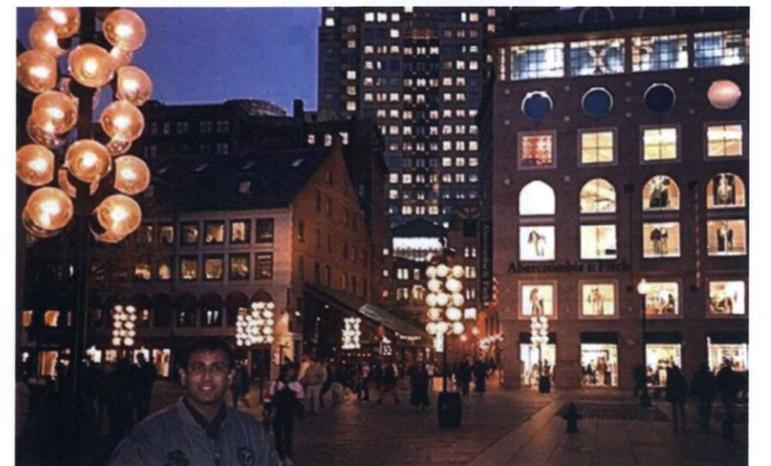
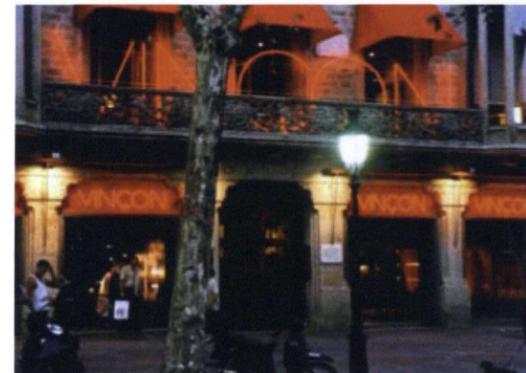
## NEIGHBORHOOD ONE

As Crown Farm's premiere destination, the Neighborhood One will be lively in character. The lighting for this neighborhood should convey a sense of excitement and contribute to the overall streetscape character. Visitors and residents will be charmed by its traditional flavor, yet intrigued by its modern details. Luminaires within the center should be contemporary in style, and mounted below tree canopies in order to eliminate hot spots and unfriendly shadows. Texture is created through the use of various sources of illumination (street, facade and landscape lighting).

## NEIGHBORHOOD ONE MULTI FAMILY BUILDINGS & SINGLE FAMILY ATTACHED HOMES

Residents in Neighborhood One's multi-family buildings and single family attached homes want to take full advantage of its convenient location, central to beautiful paths and trails as well as the center's shopping and entertainment venues.

Reflectors should be installed to ensure that light shines only onto the street and does not intrude upon homes or multifamily units.



Note: These images are for illustrative purposes only.

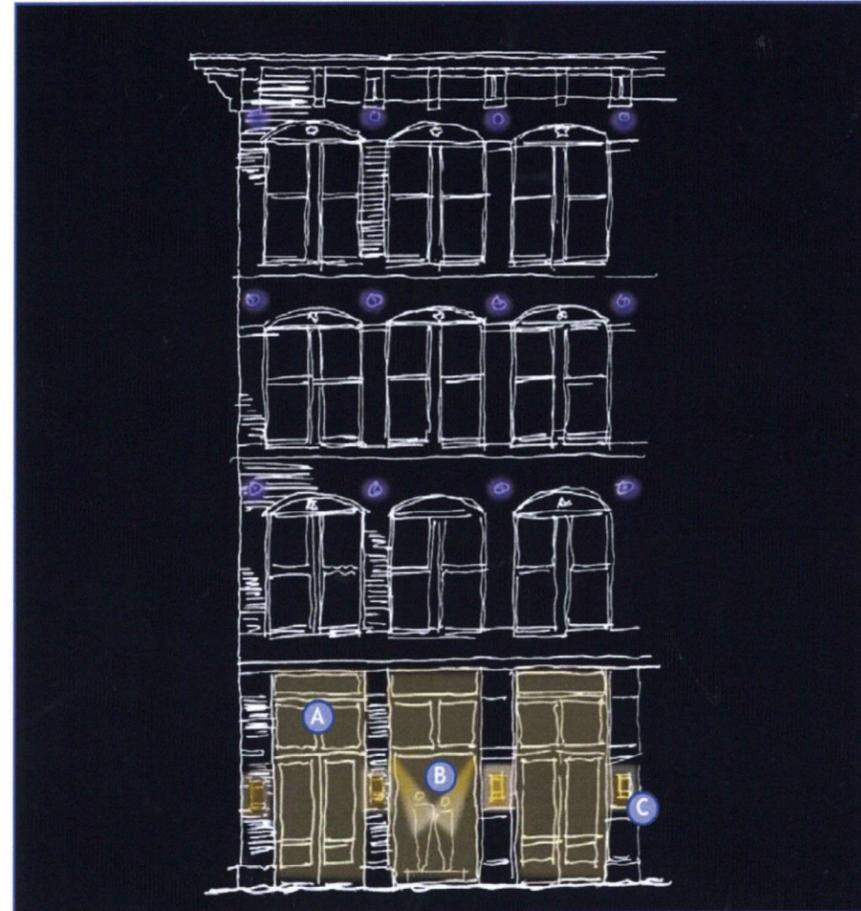
# BUILDING LIGHTING

Where streetscape lighting does the double duty of both safety and atmospheric lighting, building and storefront lighting is focused solely on attracting attention and expressing a signature style.

- Layers of light are necessary to create a successful and dynamic presence.
- Multi-story expressions are most effective in conveying a strong message.
- Strong, featured emphasis on corners and vias is encouraged.
- Canopies at various scales are excellent opportunities for dynamic lighting character.
- Washes of light, points of light, coves, and lanterns are available to create a signature style.

There is an opportunity to establish a large-scale gesture that would incorporate every building facade into a unique, signature expression for Crown Farm. This element could be energized only on weekends and through the inclusion of controls, they could be made to animate or change color on certain holidays.

Not all building facades need to be illuminated or equally illuminated as others. This creates a more realistic, varied texture to the facade illumination, as if the development evolved over time.



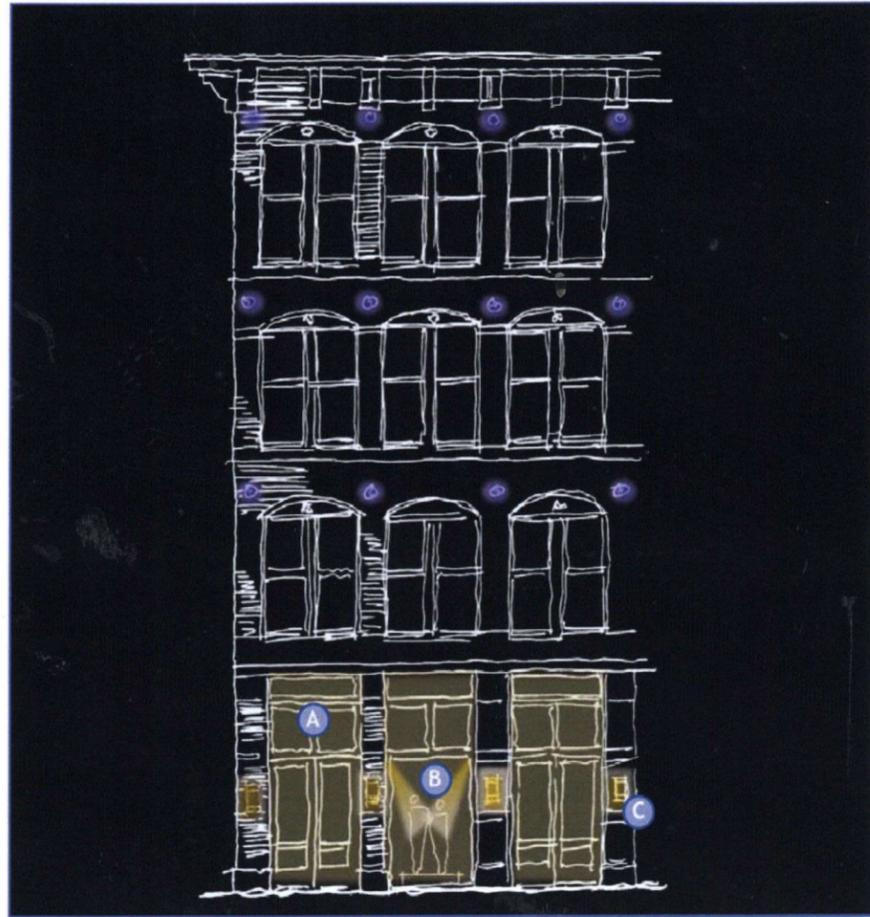
## Key

- A** Washing walls (vertical lighting) and ceilings creates a sense of glowing storefronts
- B** Providing lighted visual elements in storefronts creates excitement and interest – begins to define task
- C** Simple masonry piers can be articulated with decorative lighting fixtures. Architectural lighting effects, such as grazing from a recessed uplight, can be lost on architectural elements that are not expressed or heavily differentiated from the rest of the facade.



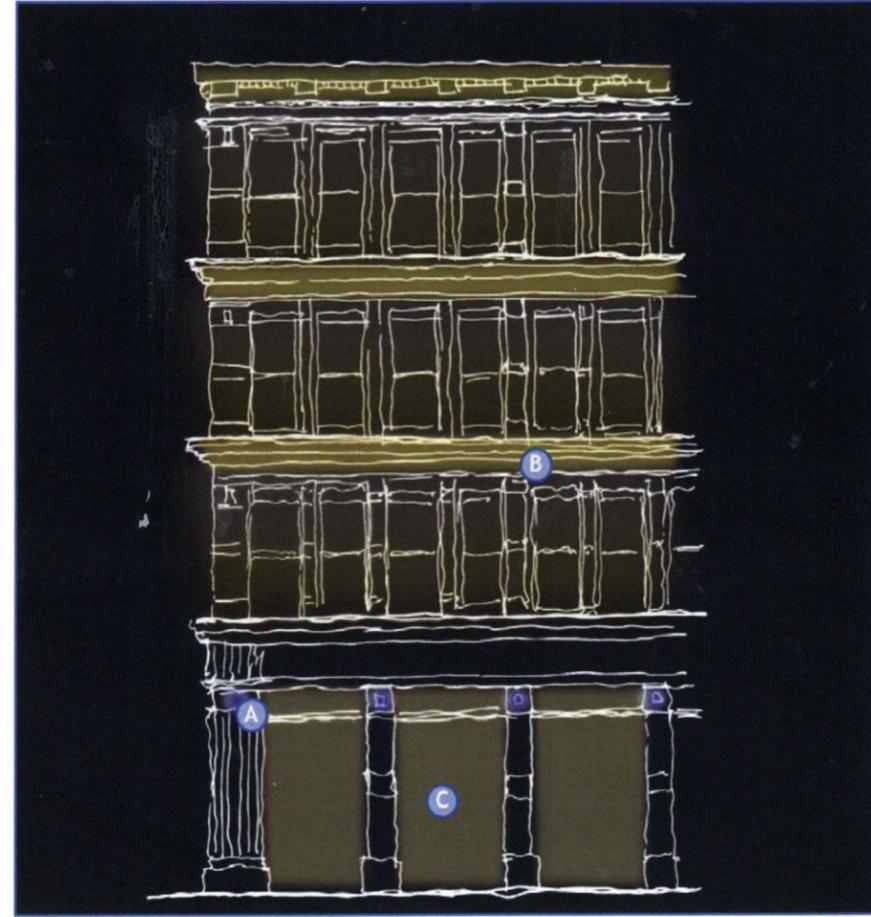
## Key

- A** Deep recesses surrounding piers and columns area good opportunity for uplighting. In this case, narrow beam uplights stress verticality.
- B** Translucent canopies can be back lighted to become a glowing element; however, lighting equipment shall be hidden from view.
- C** Employ interior lighting techniques which create lighting effect at the street level.



Key

- A Washing walls (vertical lighting) and ceilings creates a sense of glowing storefronts
- B Providing lighted visual elements in storefronts creates excitement and interest – begins to define task
- C Simple masonry piers can be articulated with decorative lighting fixtures. Architectural lighting effects, such as grazing from a recessed uplight, can be lost on architectural elements that are not expressed or heavily differentiated from the rest of the facade.



Key

- A Building accents could become integrated lighting elements that create a district-wide graphic. Consider direct or indirect lighting with LED or fiber optic.
- B Deep, expressed cornices provide an opportunity for dramatic lighting effects. They provide a location for the mounting of linear lighting sources to illuminate the cornice above.
- C Employ interior lighting techniques which create lighting effect at the street level.



Key

- A Large, vertical banners or blade signs can be uplighted for dramatic effect
- B Glass and steel canopies provide an opportunity for integrated up and down lighting
- C Large building entrances can be identified with decorative luminaires

# Storefront Guidelines

# 8

# STOREFRONT DESIGN GUIDELINES

## STOREFRONT ZONE

A Storefront Zone has been identified as an area available for shop owners to extend their merchandising past the building plane without obstructing the pedestrian pathway. The storefront zone is the six feet (6') of sidewalk closest to the storefront.

### THE STOREFRONT ZONE SHALL:

- Be occupied by constructed protrusions, such as bay windows or doors that open to the sidewalk.
- Include semipermanent options such as benches, pots with flowers or shrubs. These "extras" shall reflect the quality and feel of the shop or restaurant.
- Selectively utilize banners and small awnings with samplings of the color palette from the upper floors. This technique is effective in creating visual interest above 18 feet, which often fails to attract pedestrian attention along a "Main Street" condition.

#### PERMITTED

banners, small awnings, flower boxes, planters, benches, sculpture, bay windows, blade signs, merchandising displays

#### PROHIBITED

Sidewalk clutter, unmaintained street



Note: These images are for illustrative purposes only.

## ANATOMY OF A STOREFRONT



- |                   |               |
|-------------------|---------------|
| ① STOREFRONT ZONE | ⑤ SIGNAGE     |
| ② PEDESTRIAN ZONE | ⑥ WINDOWS     |
| ③ AMENITY ZONE    | ⑦ DOORS/ENTRY |
| ④ MATERIALS/COLOR | ⑧ AWNINGS     |
|                   | ⑨ LIGHTING    |

# STOREFRONT DESIGN GUIDELINES



## COLOR & MATERIALS

Each restaurant and shop will be provided with the maximum opportunity to uniquely display its merchandise in order to attract passing customers. Flexibility and variety in storefront colors is also an important element of a great retail environment. Colors are essential to creating a unique and exciting streetscape.

The choice of colored materials or paint is very important, when designing a storefront. Colors should be complimentary and reflect the store's unique personality.

### PERMITTED

unique color palettes, wood, metal, stone, cast stone, concrete, plaster; opaque, smoked, and reflective glass should be used for accent elements

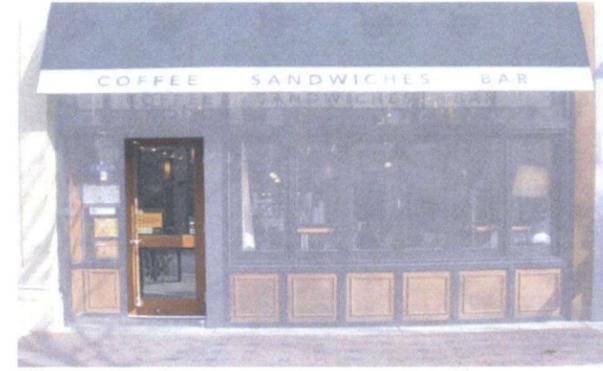
### PROHIBITED

use of too many colors on an individual storefront; conflicting color schemes on adjacent storefronts; use of same color on adjacent storefronts; softwoods, EIFS, pressure treated lumber; small display/showcase windows; blank walls

## STOREFRONT COLORS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Colors shall be used to tie all parts of the storefront's architecture together.
- Generally, muted colors are more appropriate for large areas and backgrounds while bright colors should be considered for accents.
- The color scheme of the storefront should take into consideration the color of the upper levels of building as well as with adjacent storefronts.
- The tenant coordinator will be responsible for approving all paint palettes.

Note: These images are for illustrative purposes only.



## DOORS AND FRAMES

The entry to a shop or restaurant is the most important part of any storefront, as it sets the tone for a patron's experience upon entering the establishment. The door or entryway connects the store to the sidewalk and is responsible for preparing customers for what lies inside. A door's shape, size, style and weight should be considered.

## STOREFRONT DOORS AND FRAMES SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Restaurants shall use their doors to connect with outdoor seating areas.
- Recessed doors are encouraged, as they provide shelter for passing pedestrians.
- Doors with a high percentage of glass are encouraged in order to increase visibility into the store's interior.
- All doors must conform to ADA regulations.
- Doors should be compatible with and complementary to the storefront's design.
- The primary entrance should be clearly marked, while side entrances should be as close to the primary street as possible.

### PERMITTED

large windows, clear glass, maximum visibility, recessed doorways

### PROHIBITED

adhesive window film, tinted glass, plexiglass, overly decorative doors



# STOREFRONT DESIGN GUIDELINES



## WINDOWS

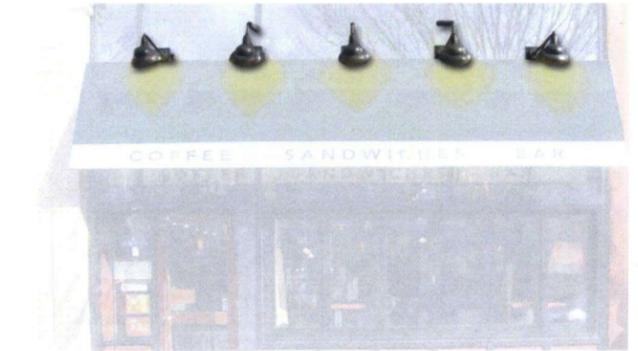
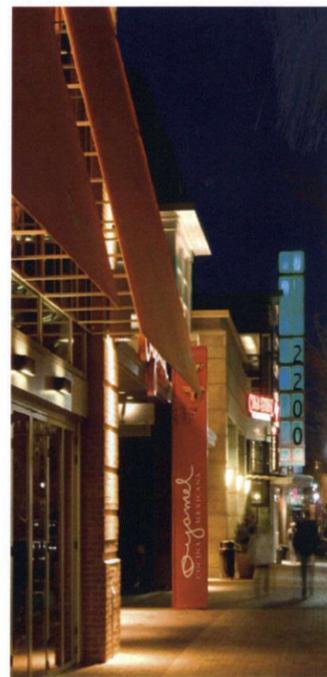
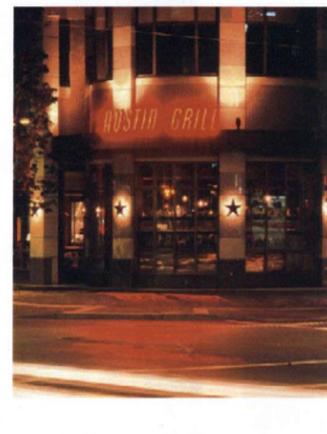
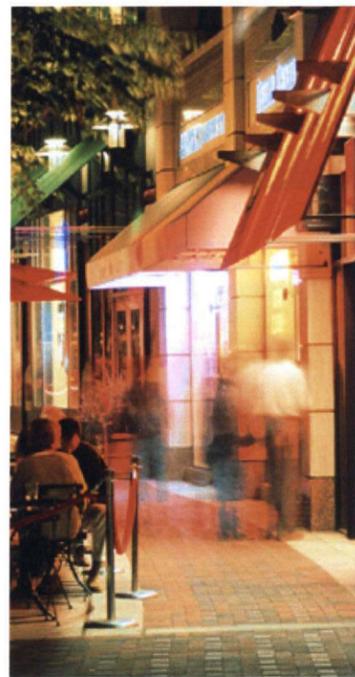
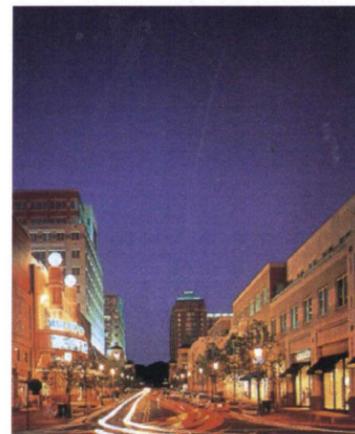
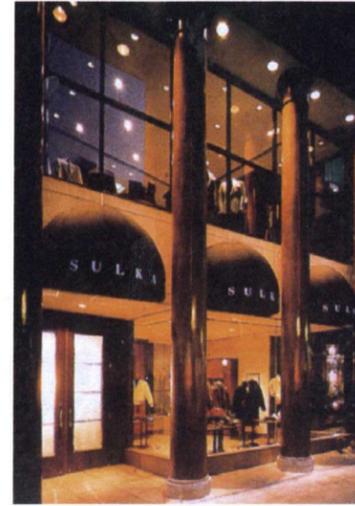
Windows provide an opportunity for shop owners and restaurateurs to merchandise to passing pedestrians and motorists. They shall be used to display products and services, as well as to enliven the sidewalk with light, character and color.

STOREFRONT WINDOWS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Storefront glazing should be at least 60%. The more glass a storefront has, the more effectively merchandise can be displayed.
- Windows must not be any closer than twelve (12) inches to from ground.
- Windows should be designed for energy conservation.
- Light quality, Low- e- rated glass is recommended to minimize discoloring of merchandise.
- Large display windows establish a visual connection to the interior. They shall be flush with the window frame or slightly recessed (6 to 12 inches).
- Certain shops, such as jewelry stores or establishments with heightened security concerns, will be permitted to incorporate smaller display windows at the discretion of the tenant coordinator.

**PERMITTED**  
large glass panes with mullions

**PROHIBITED**  
low visibility into storefront



## LIGHTING

Lighting helps define the storefront's character, contributes to the safety of the streetscape, animates the streets of Crown Farm, prolongs street life after business hours, and increases pedestrian safety.

STOREFRONT LIGHTING SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Storefront facades, recessed doorways, outdoor spaces, parking areas, and passageways must be lit at all times.
- Sign lighting, including flat mounted signs, blade and banner signs, must be lit with concealed lighting, or from above with lights pointing down.
- Internal window light fixtures should be located and angled to ensure that they spotlight the tenant's merchandise, minimizing distracting reflections on the storefront windows.
- Halo-illuminated or face illuminated pan channel letters, are permitted as part of the store's identification sign.

**PERMITTED**  
concealed lighting, down lighting, internal window lighting past hours of operation, mounted pedestrian lighting, lighting that becomes signage

**PROHIBITED**  
storefront windows that are dark before 8 pm

Note: These images are for illustrative purposes only.

# STOREFRONT DESIGN GUIDELINES



## AWNINGS

An awning emphasizes the shop or restaurant's entrance, provides shade and may carry part of the tenant's image. They add texture to streetscape, enhance interest and introduce variety to the building facade, while protecting storefront displays from sun exposure.

### AWNINGS SHOULD BE CHOSEN, BASED ON THE FOLLOWING CRITERIA:

- Materials must be durable, fire and fade resistant.
- Retractable awnings work best with traditional storefronts, while fixed awnings are more appropriate for more modern storefronts.
- Because of the desire for visual variety on the street, the use of the same awning across several storefronts is strongly discouraged.
- Awnings should project two to five (2-5') feet from the building facade.
- So that they will not interfere with pedestrians, awnings should be mounted above display windows and below cornice or second story window sills.
- Awnings must be at least eight (8') feet above the sidewalk, at the lowest point of the awning.
- The structural supports of the awning should be finished to match or complement the awning fabric.

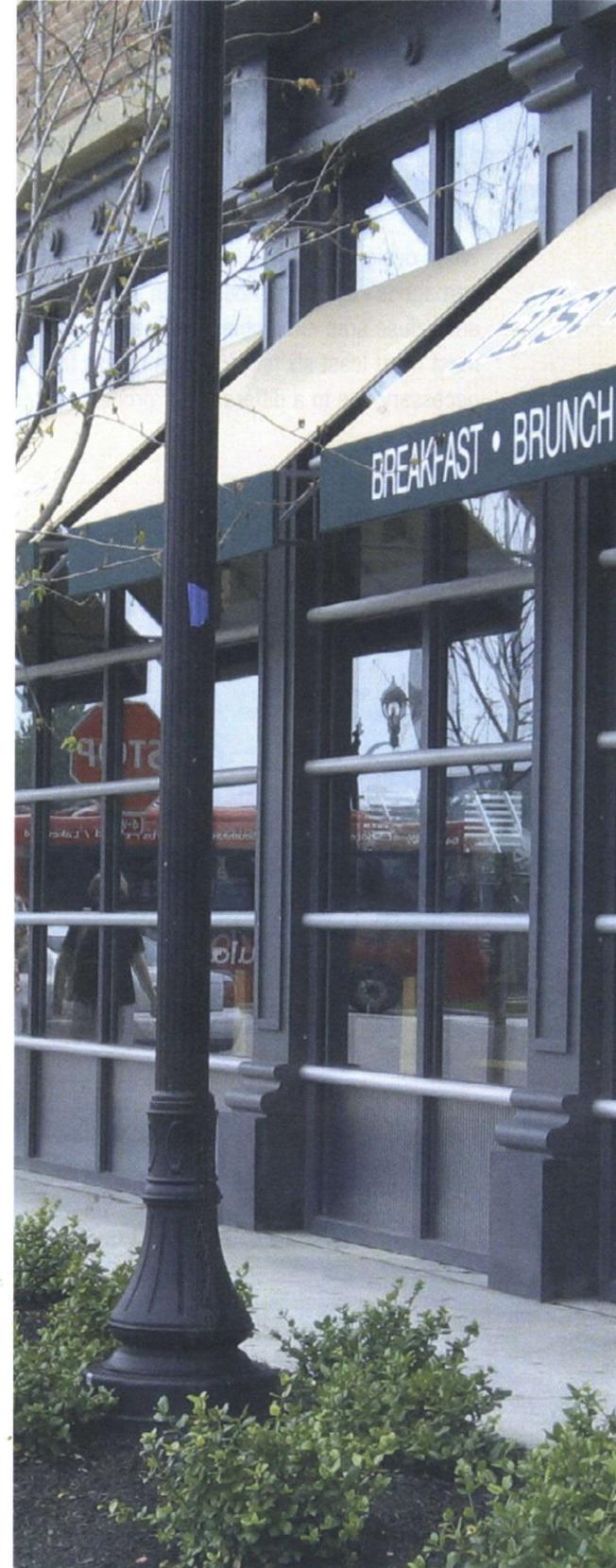
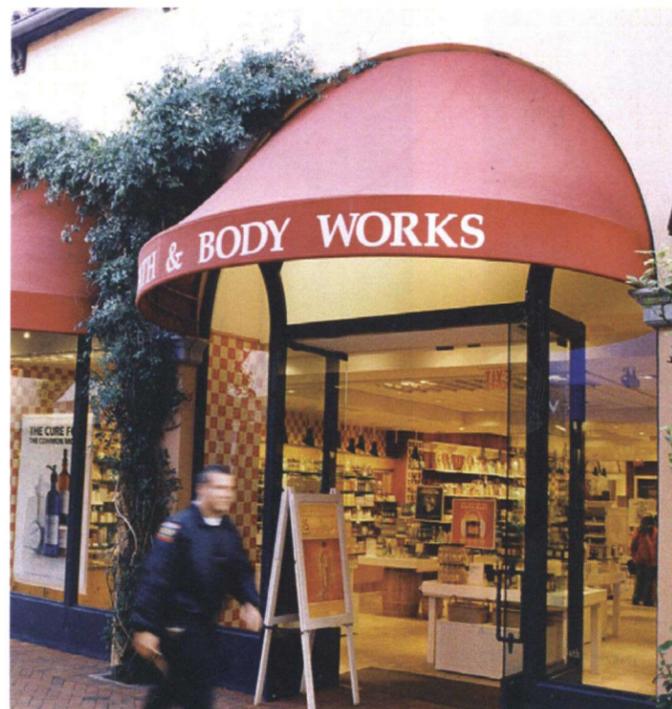


### PERMITTED

canvas, retractable awnings, wood, and metal materials in a variety of sizes and shapes among stores

### PROHIBITED

vinyl, same awning across several storefronts



Note: These images are for illustrative purposes only.

# STOREFRONT DESIGN GUIDELINES

## PAD STOREFRONT GUIDELINES

Due to the larger footprint of pad sites and a tenant's ability to have a storefront design wrap around multiple sides of a building, pad tenants need to take a slightly different approach to their storefront design in order to maximize visibility and functionality.

- When designing pad buildings, service areas must be included to ensure that trash, refuse and garbage is kept hidden behind an exterior masonry walled area. The masonry walls of such a trash and refuse area must shield this area from the direct view of any adjacent property, and such walls must be at least six feet (6') high unless the Planning Commission determines that a higher wall is necessary due to a difference of property elevations. In no case shall a wall in excess of 10 feet be required.

Pad tenants must submit all building, signage and storefront designs to Crown Farm ownership. Plans must be approved before pad construction may begin.



# STOREFRONT SIGNAGE GUIDELINES

Storefront signage should reflect the retailers style and creativity while utilizing high quality materials and complimenting the overall storefront design. Each component of storefront signage contributes to the overall look and character of the storefront which contributes to the overall feel of the streetscape.

STOREFRONT SIGNAGE MAY CONSIST OF THE FOLLOWING COMPONENTS:

- Identity Sign
- Canopy/Marquee Signs
- Wall Mounted Signs
- Awning Signs
- Projecting Signs
- Window Signs
- Plaque Signs
- Menu Boards
- Banner Signs



Note: These images are for illustrative purposes only.

# STOREFRONT SIGNAGE DESIGN GUIDELINES

Storefront signage is the single most important element of any retailer's storefront design. A successful storefront signage program is one that layers various elements on top of one another to create visual interest and a recognizable brand character.

In order to prevent retailers from over-signing their storefronts, which would have a negative impact on any storefront design, the sum of all sign area erected on any storefront face may not exceed the maximum allowable signage area. Storefront signage will only be permitted on facades that have street frontage.

Retailers with more than one street frontage are granted more signage.

## CALCULATING THE MAXIMUM ALLOWABLE SIGNAGE AREA OF A STOREFRONT

All storefronts within Crown Farm may contain anywhere from one to seven pieces of signage. Once the maximum allowable signage area is calculated, it may be distributed among the following sign types:

- Canopy Sign
- Projecting Sign
- Sidewalk Sign
- Banner Signs
- Awning Sign
- Window Sign
- Wall Mounted sign

### Inline Retailers:

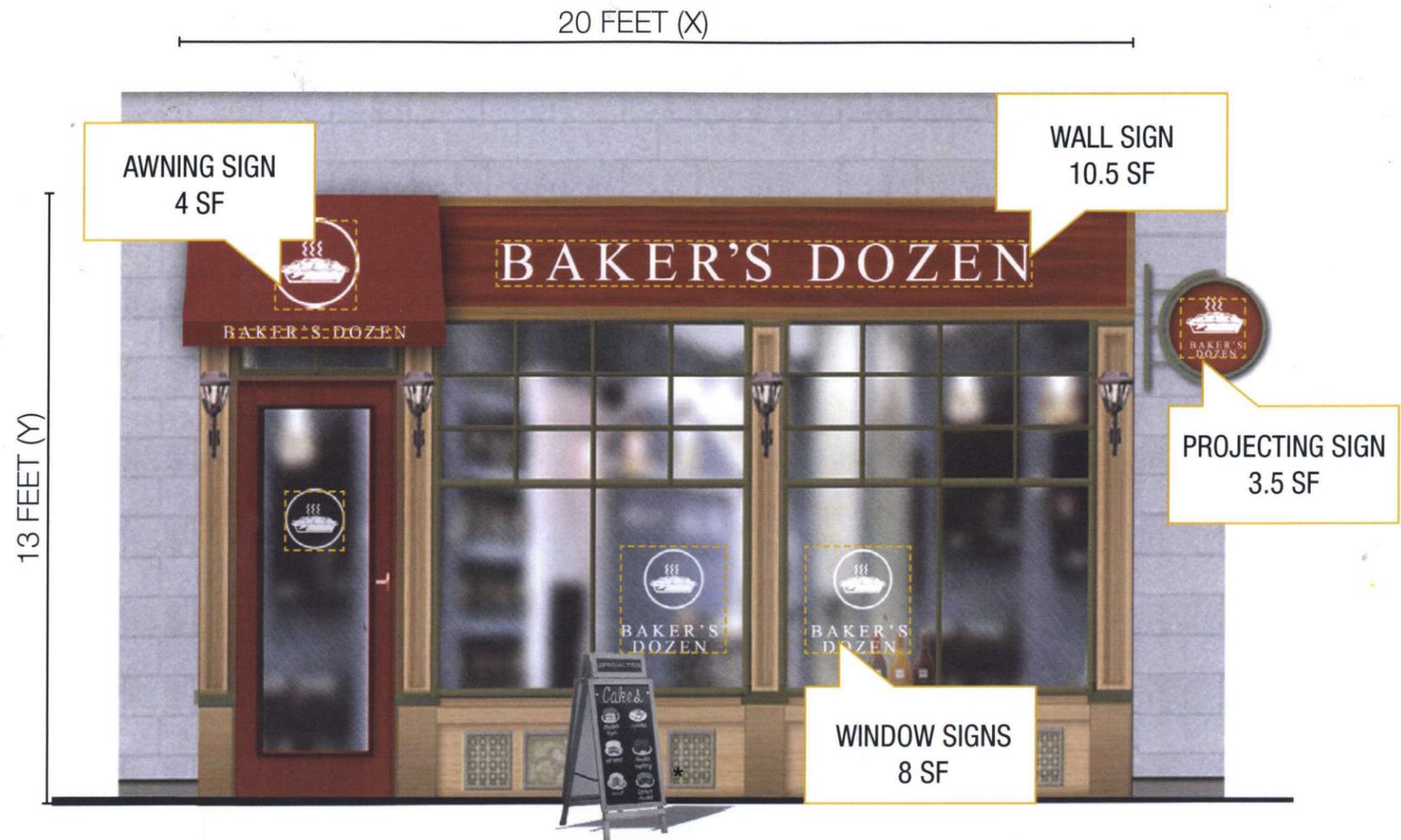
To calculate the Maximum Allowable Signage for a storefront:

1. Calculate the storefront area (Z). Storefront width(X) x Storefront height(Y)=Z
2. Multiply the storefront area by 10 percent. Z x .10 = Maximum Allowable Signage
3. No maximum allowable signage shall exceed 200 Square Feet.
4. No maximum allowable signage may be less than 25 Square Feet.

### Retailers with more than one frontage (PAD TENANTS INCLUDING GROCERY):

Retailers with more than one street frontage are granted more signage. To calculate a gross Maximum Allowable Signage for this type of tenant:

1. Calculate the storefront area (Z) for each frontage. Storefront width(X) x Storefront height(Y)=Z
2. Multiply each storefront area by 10 percent (.10). Z x .10 = Maximum Allowable Signage
3. Add the Maximum Allowable Signage area for each frontage together.
4. The gross Maximum Allowable Signage area may be distributed in any combination of signs among the storefront facades with street frontage.



1. WIDTH(X) X HEIGHT(Y) = STOREFRONT AREA (Z) 20FT X 13FT = 260 SQ FT
2. MAXIMUM ALLOWABLE SIGNAGE = 260 SQ FT X .10 = 26 SQ FT

AWNING SIGN		WINDOW SIGN		WALL SIGN		PROJECTING SIGN		PROJECTING SIGN
4 SF	+	8	+	10.5 SF	+	3.5 SF	=	26 SF APPLIED SIGNAGE

The Maximum Allowable Signage for the storefront may be distributed to various types of signage. The sum of each storefront's signage elements, (window signage, projecting signage, identity signage, etc.) may NOT exceed 200 square feet for inline retailers. Retailers are not required to max out their signage allowance.

Please note that sidewalk signs should not be included in this computation.

# STOREFRONT SIGNAGE DESIGN GUIDELINES

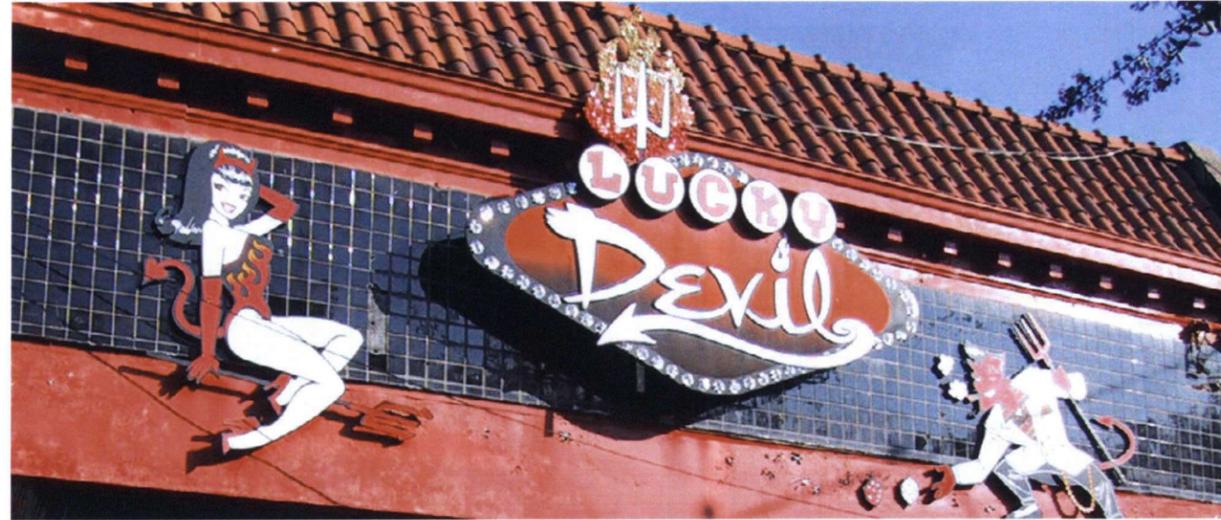


## WALL MOUNTED SIGNS

Wall mounted signs are a predominant signage feature of retail/restaurant tenants. This sign should be easily read, or appropriate size, and include the store's logo and appropriate typeface. This sign should be made of high quality materials that can withstand all weather conditions. Appropriate measures should be taken to ensure that all signage is clean and clearly visible at all times.

Wall-Mounted Signs and must adhere to the following technical regulations:

- Shall be securely fixed to the building or structure.
- May not project more than twelve inches (12") from the building or structure.
- Must be placed so that it does not obscure windows, doors or decorative building elements.
- Lettering shall be a minimum of ten inches (10") high, but no taller than forty inches (40"), to ensure readability.
- Individually illuminated (LED or Neon) channel letters with an acrylic face are permitted.
- Internally illuminated box signs are not permitted.
- Internally illuminated signs are permitted within 20' of street edge.
- May not exceed the maximum allowable signage area (see page 86.)
- Icon signs are permitted.



Note: These images are for illustrative purposes only.

# STOREFRONT SIGNAGE DESIGN GUIDELINES



## CANOPY/MARQUEE SIGNS

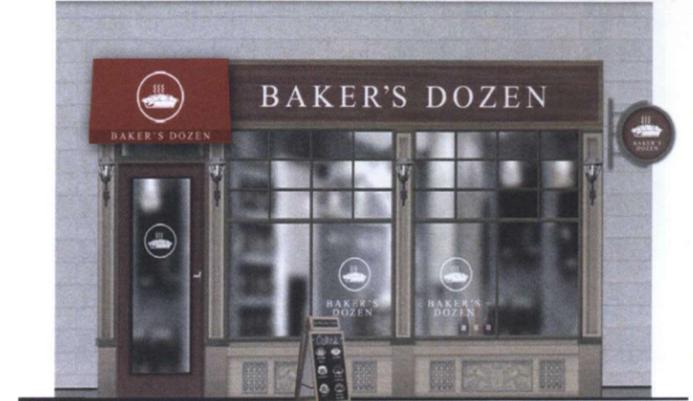
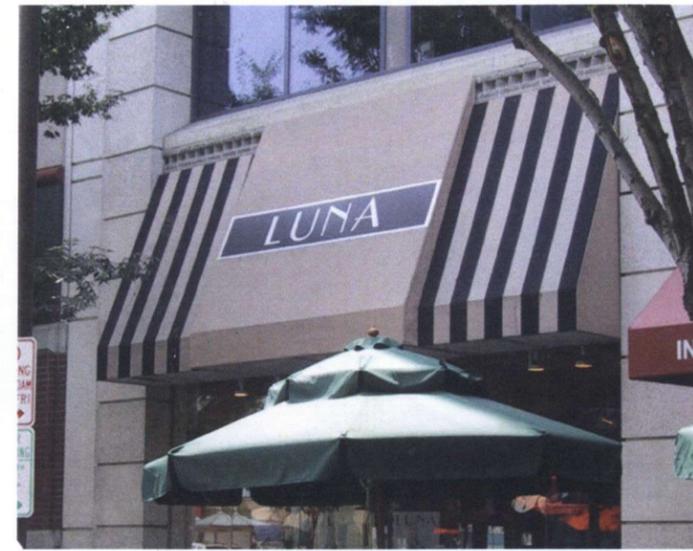
If canopy/marquee signs are used, they should be made of the highest quality materials and be designed to withstand all weather conditions. These signs must be permanently affixed to the building and be architecturally designed and fastened.

### CANOPY/MARQUEE SIGNS MUST ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- The text area on a canopy or marquee sign shall not exceed an area equal to 25% of the face area of the canopy/marquee itself.

Example: If the canopy/marquee is 10 linear feet wide, then the actual letters that make up the text of the signage may not exceed 2.5 square feet.

- Graphic striping, patterns or color bands on the face of a building, canopy, marquee or architectural projection shall not be included in the computation of sign copy area
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.
- Marquee signs may project into public R.O.W.



## AWNING SIGNS

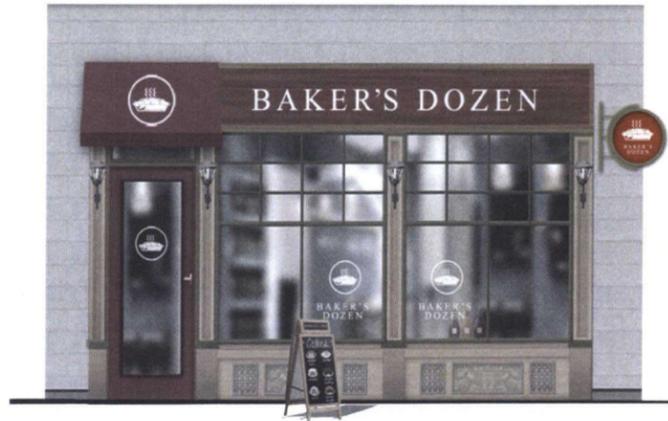
An awning emphasizes the shop or restaurant's entrance, provides shade and may include part of the tenant's image. They add texture to streetscape, interest and variety to the building facade, while protecting storefront displays from sun exposure.

### AWNING SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- The copy area of awning signs shall not exceed an area equal to 40% of the background area of the awning.
- Signage can be placed anywhere on the awning, including the valence area.
- Neither the background color of an awning, graphic treatment or embellishment, such as striping, patterns or valences, shall be included in the computation of sign area.
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.

Note: These images are for illustrative purposes only.

# STOREFRONT SIGNAGE DESIGN GUIDELINES

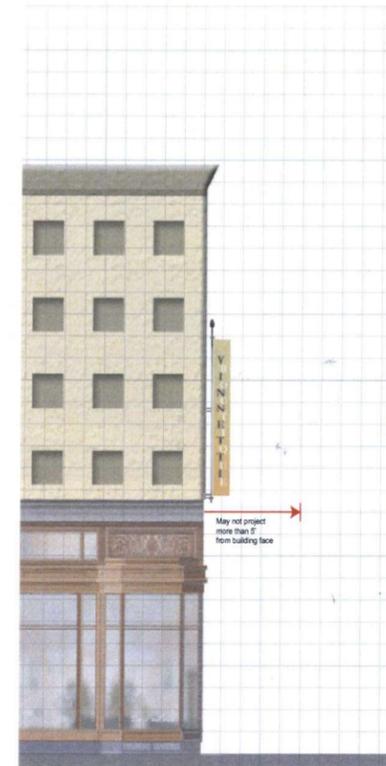
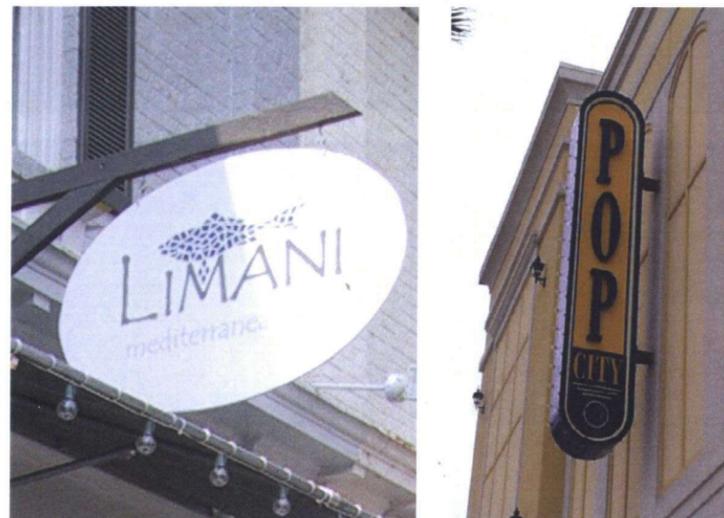
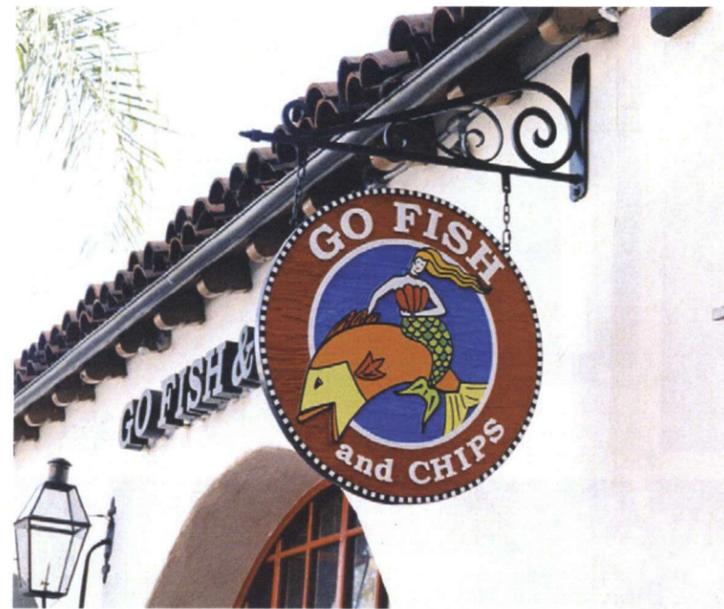


## PROJECTING SIGNS

Storefront signage takes on many forms. A popular signage option is the use of projecting signage. This signage is permanently affixed to the storefront and can easily be seen by pedestrians on the sidewalk and by passing cars.

### PROJECTING SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Signs may not extend vertically above the sign height line of the facade upon which it is mounted.
- Projecting signs may not project more than forty-two (42") from the building.
- Signs shall maintain a minimum vertical distance of eight (8') feet above any sidewalk.
- Lettering shall be a minimum of four inches (4") high, but no taller than thirty inches (30"), to ensure readability.
- May not exceed the maximum allowable signage area.
- Projecting signs are permitted beneath awnings.



## BANNER SIGNS

Banner signage is an effective way to unify the look and character of all floors of a building. These signs can be seen from great distances and provides a target for visitor's navigating through the development.

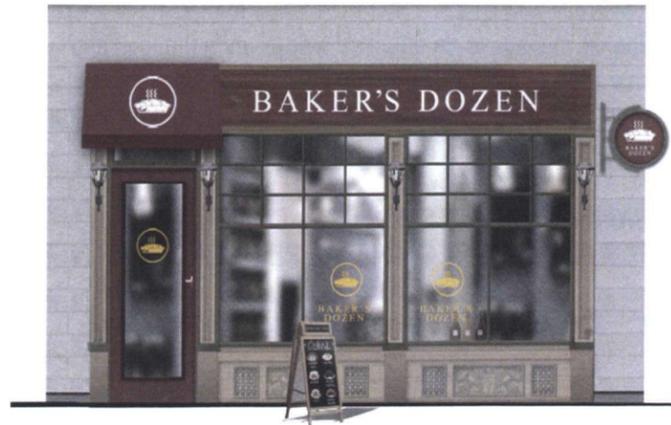
### BANNER SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Only selected retailers may utilize banner signs.
- All banner signs must be approved by Ownership.
- Banner Signs may not project more than three feet (3') from the building facade.
- Multiple banners may be hung from any one storefront.
- Banners shall be safely secured to a wall or roof by metal couplings or fittings.
- Banner Signs may not cover windows or doors.
- Banner Signs may only be used on upper floors of buildings. No banner signs will be permitted on the ground floor.
- Lettering shall be a minimum of ten inches (10") high, but no taller than thirty inches (30"), to ensure readability.
- Banner material MUST be made of durable exterior materials, excluding vinyl. Suggested materials are mesh and metal (engineered to withstand windy conditions.)
- Banner signs may be displayed permanently as long as they are maintained regularly to ensure colors have not faded and that installation is secure.



Note: These images are for illustrative purposes only.

# STOREFRONT SIGNAGE DESIGN GUIDELINES

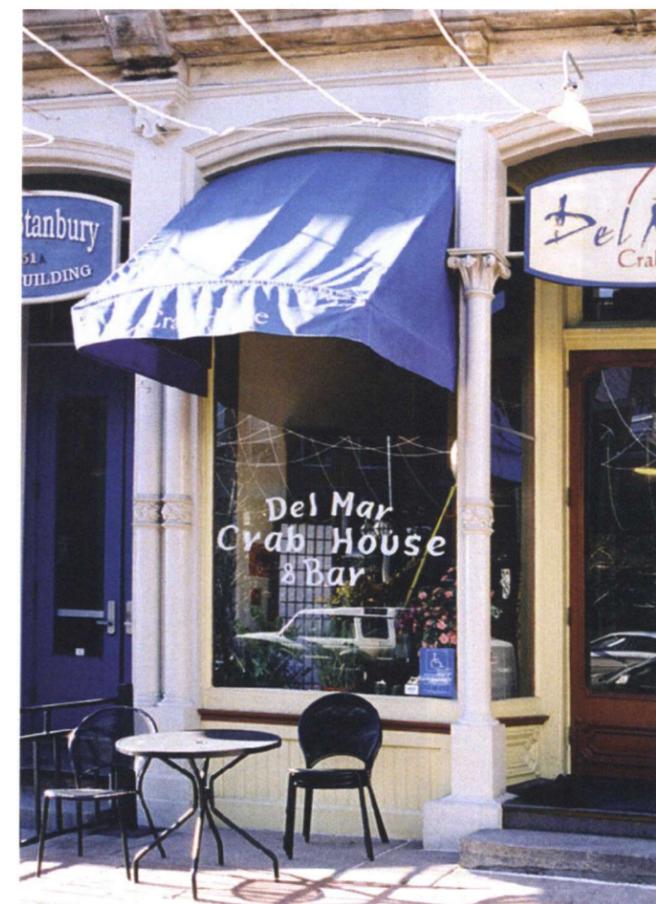


## WINDOW SIGNAGE

Window signage enhances the storefront by reiterating the style and overall character of the store. Window signage is a great opportunity for the shop owner to reinforce their brand identity.

### WINDOW SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- Painted window signs must be maintained at all times.
- Glass etching is the preferred method for window signage.
- May not cover more than fifteen percent (15%) of a storefront's window area.



## FREESTANDING SIDEWALK SIGNS

Sidewalk signs are an ideal way to notify pedestrians of store promotions and daily specials. Although they are temporary and may only be displayed in the storefront zone, sidewalk signs are a popular marketing choice among store owners.

### SIDEWALK SIGNS SHOULD ADHERE TO THE FOLLOWING TECHNICAL REGULATIONS:

- One sidewalk sign per business can be displayed in the Storefront Zone.
- Sidewalk signs shall be made of durable materials such as wood, aluminum, metals, fiber glass, tile, MDO, or other similar materials.
- Sidewalk signs shall not be illuminated.
- Sidewalk signs shall be no larger than six square feet.
- All sidewalk signs shall be taken in at the close of business.



Note: These images are for illustrative purposes only.

## LEASING SIGNAGE

Vacant, dark, bare storefronts during initial lease up and throughout the life of the Crown Farm development are prohibited. Dark spaces convey the wrong message to consumers, residents, and the community at large, creating the notion that the streetscape character is cold and unwelcoming, driving potential consumers away. During initial lease up and intermittent tenant turnover, all unleased spaces shall utilize full-length graphics as a place holder for what may be to come. These full-length graphics should be used creatively to echo a development wide marketing campaign or to illustrate a faux storefront. These graphics are important to create continuity along the façade during this transitional time.

- Graphics should not repeat along three consecutive storefront windows/spaces.
- Any graphics placed on the exterior of retail spaces shall be made of outdoor vinyl and adhered to a durable substrate (provided retail windows or plywood.)
- Graphics should completely cover the void space behind the façade and eliminate views within.
- Consideration must be taken to still allow access to the retail space.
- Although varied, all vacant storefront designs should be of similar voice and sentiment.



Wayfinding

9

# WAYFINDING

Within Crown Farm, iconic elements and signage should:

- Provide project identity
- Create a sense of arrival
- Create a path for navigation throughout the project
- Identify special venues
- Enhance the spirit and character of the project

Crown Farm will have common threads that weave zones together through the expression of landscape, hardscape and light fixtures. In conjunction with these other design elements, the signage and graphics will support Crown Farm's identity as a special place.

A wayfinding program is essential to the success of Crown Farm, taking into account the way a visitor will navigate through the project. From entering to parking, a successful plan will take the guess work out of navigation and seamlessly guide the visitor through the site. Wayfinding elements will not only provide navigational information, but will echo the style and design intention of the site itself; creating a cohesive identity.

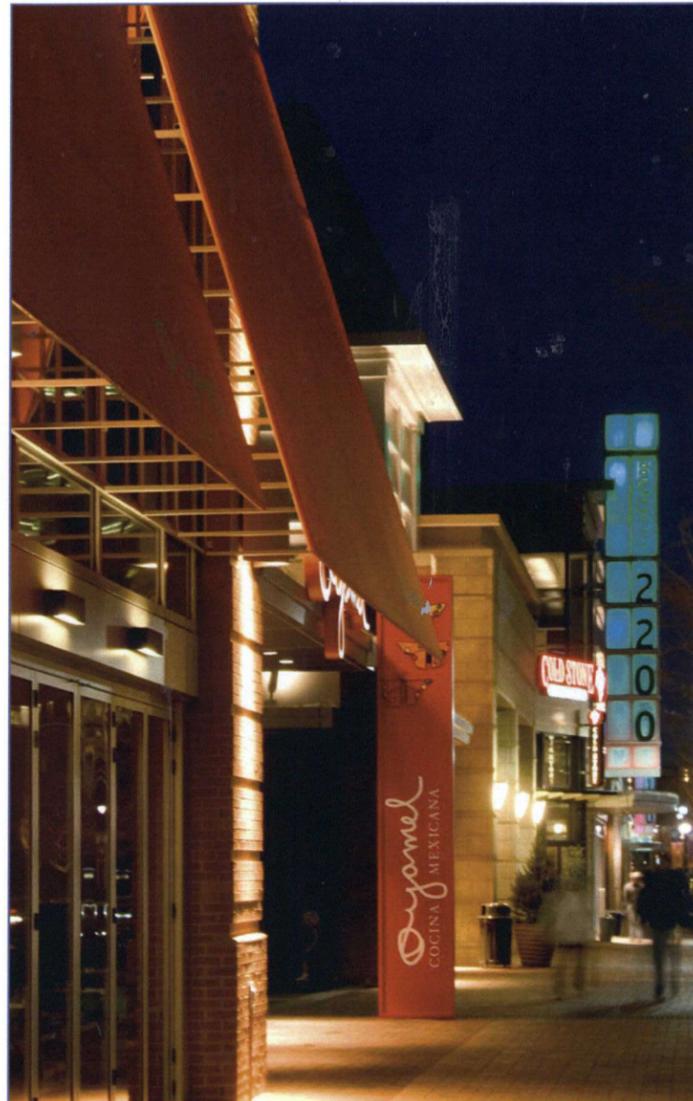
## DESIGN

Signage should maintain a uniform design integrity throughout Crown Farm to establish and reinforce the brand identity. The design should utilize the recommended materials, colors and finishes that have been uniquely selected for this community.

The signage will support the overall character, feel and personality of the built environment, using appropriate internal and/or external illumination to heighten legibility and presence.

To ensure maximum daytime and nighttime legibility, care must be taken to ensure that signage has the appropriate contrast between typography, background, colors and finishes. Sans serif typography should be utilized for clear vehicular and pedestrian reading.

Signage should be sensitively placed to enhance presence and provide clear sight lines to tenant signage and other desired views.



## QUALITY

Materials, lighting, finishes and fasteners should be of the highest quality. They should be resistant to all weather conditions, oxidation, corrosive action, de-lamination, fading, chipping and scratching.

Structural engineering, adequate foundations and/or mounting structures for all sign components should meet all load and wind requirements and site conditions.

## SERVICE

Signage should be designed and engineered for ease of exterior and interior maintenance, including bulb changes, refreshing graphic content, replacing sign face materials and repairing any and all electrical issues.

## COMPLIANCE

Signage should meet or exceed requirements of all applicable sign codes and ADA regulations for clearance, character, proportion, height and finishes.

# WAYFINDING PLAN



-  GATEWAY ELEMENT
-  DIRECTIONAL
-  PUBLIC PARKING
-  LANDMARK
-  BIKE PATH
-  TRAIL

Note: This is an illustrative plan and does not depict the final plan conditions. The details of the plan is subject to change. This diagram is schematic and does not represent specific light locations, types, quantities levels or values.

# WAYFINDING - SIGN TYPES

## PRIMARY ENTRY SIGNAGE

This element should be a large-scale element that serves as a major icon, welcoming visitors when they arrive at Crown Farm. It should be readable from the major roads in order to key the viewer in on what exists on that site. It should capture the viewer's attention and serve as an icon that communicates Crown Farm's brand.

The Primary Entry signage may have both the project's branded iconic element and the name "Crown Farm", depending upon the size and location of this element.

Identity signs may be no higher than 15 feet and may not exceed 350 feet of face surface area per side. No more than seven Primary Identification Signs may be used for the site. Flanking signs on either side of a drive or road entry is permitted.

Primary entry signs must sit on a stone, masonry, or precast base. The vertical portion of the sign may be masonry, stone, metal or another comparable material that is visually consistent with the character of Crown Farm. Internally illuminated box signs are NOT permitted. Letters or logos may be halo illuminated or face illuminated pan channel letters. Signage elements may also be externally illuminated from ground-mounted lights.

## SECONDARY ENTRY SIGNAGE

Secondary District Identity signs support the message established by the Primary District Identity. These elements may populate secondary roadways that lead to and exist within Crown Farm. These elements are subtler in expression and scale. They are intended to be read from the automobile while being of appropriate scale to the pedestrian.

Secondary Entry Signage should serve as a cue to the visitor that he/she has arrived at a special district, and yet still maintain a connection with the development as a whole. Secondary entry signs may be no higher than 10 feet and may not exceed 20 square feet in area per sign face. These signs may flank all entries into the Crown Farm Town Center or residential neighborhoods.

Identity signs must sit on a stone or masonry base. The vertical portion of the sign may be masonry, stone, or another material consistent with the character of the specific project. Internally illuminated box signs are not permitted. Letters or logos may be halo illuminated or face illuminated pan channel letters. Signage elements can be externally illuminated from ground-mounted lights.

## DIRECTIONAL SIGNAGE

Directional Signs will be located at major decision points along Crown Farm's street network and provide continued directional reinforcement.

Directional signage shall not exceed 12 square feet of surface area. Signs can either be mounted on poles or adhered to masonry pillars and placed in the median or along the sidewalk. No signs shall conflict with the public right of way.

## PEDESTRIAN DIRECTORIES

Pedestrian directories provide location maps and listings of retail tenants, restaurants, and other major elements of the Town Center. These signs shall be located in areas that are solely used by pedestrians and may not exceed 18 square feet of surface area.

Pedestrian Directories may be mounted on poles or designed with a masonry base.

## BANNERS OR PAGEANTRY

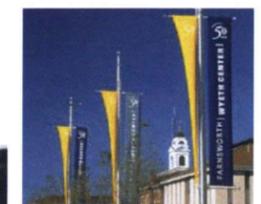
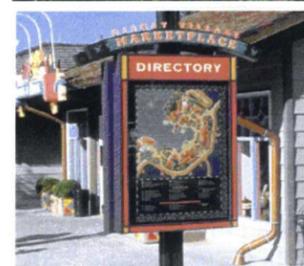
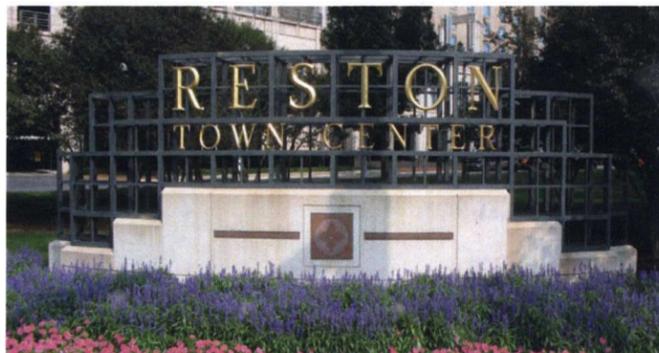
Banners or pageantry add a level of color, pattern and texture that supports Crown Farm's identity. The banners can be used as a community-wide graphic or could be used to support a special event. These elements may be attached to existing light poles or be part of a custom fabricated program. Banners would serve as part of a graphic program that would celebrate Crown Farm's residents, shops and character.

The developer and/or management company will be responsible for the maintenance, removal, and installation of these banners.

## PARKING IDENTIFICATION

A signage system should be installed for both surface parking lots and parking structures identifying parking opportunities and entry points.

A community-wide parking signage system must be developed to identify and direct users to the proper garages and surface lots. A unique "P" should be designed to act as the logo for parking. Directional information to parking and specific garages will be integrated into the directional signage system. Each garage will have specific signage at the vehicular entrance to the garage.



Note: These images are for illustrative purposes only.



CITY OF GAITHERSBURG

## Development Team



## Consultant Team

