

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.
 The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

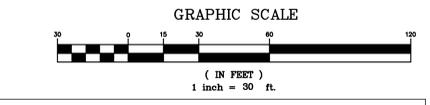
- NOTES:**
1. Curbs, gutters, sidewalks, and paving shall be installed in such a manner as to provide positive drainage of all areas so there is no accumulation of surface water.
 2. All perimeters, paving edges and islands shall be curbed.
 3. All Paving, Storm Drain, Utilities and Improvements on this Parcel are Private and the Maintenance to be the Responsibility of the Owner.
 4. The maximum permitted grade on lot is 3:1. The Contractor must adjust any slope as necessary to meet Existing Grade.
 5. All building heights measured from Main Lobby at Area One = 425.0
 6. Calculation of Gross Floor Area does not include Penthouse Mechanical Area or Uninhabitable Cellars.

CITY OF GAITHERSBURG MAYOR & COUNCIL
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON
 APPLICATION NO. SDP XXXX WAS GRANTED
 SCHEMATIC DEVELOPMENT PLAN APPROVAL
 BY RESOLUTION WITH () CONDITIONS.
 DATE BY

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE SEAPPROVED BY THE MAYOR & CITY COUNCIL.



Professional Certification:

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016

Stephen E. Crum

REVISIONS	DWN	CK	CK	APP	NO	DATE	REVISIONS	DWN	CK	CK	APP
B	6/08/15						Submit Pre-Application to City / Garage C				
A	4/19/15						Submit Pre-Application to City / Garage C				

MHG Macris, Hendricks & Glascock, P.A.
 Engineers • Planners
 Landscape Architects • Surveyors

9220 Wightman Road, Suite 120
 Montgomery Village, Maryland
 20886-1279

Phone: 301.670.0840
 Fax: 301.948.0693
 www.mhga.com



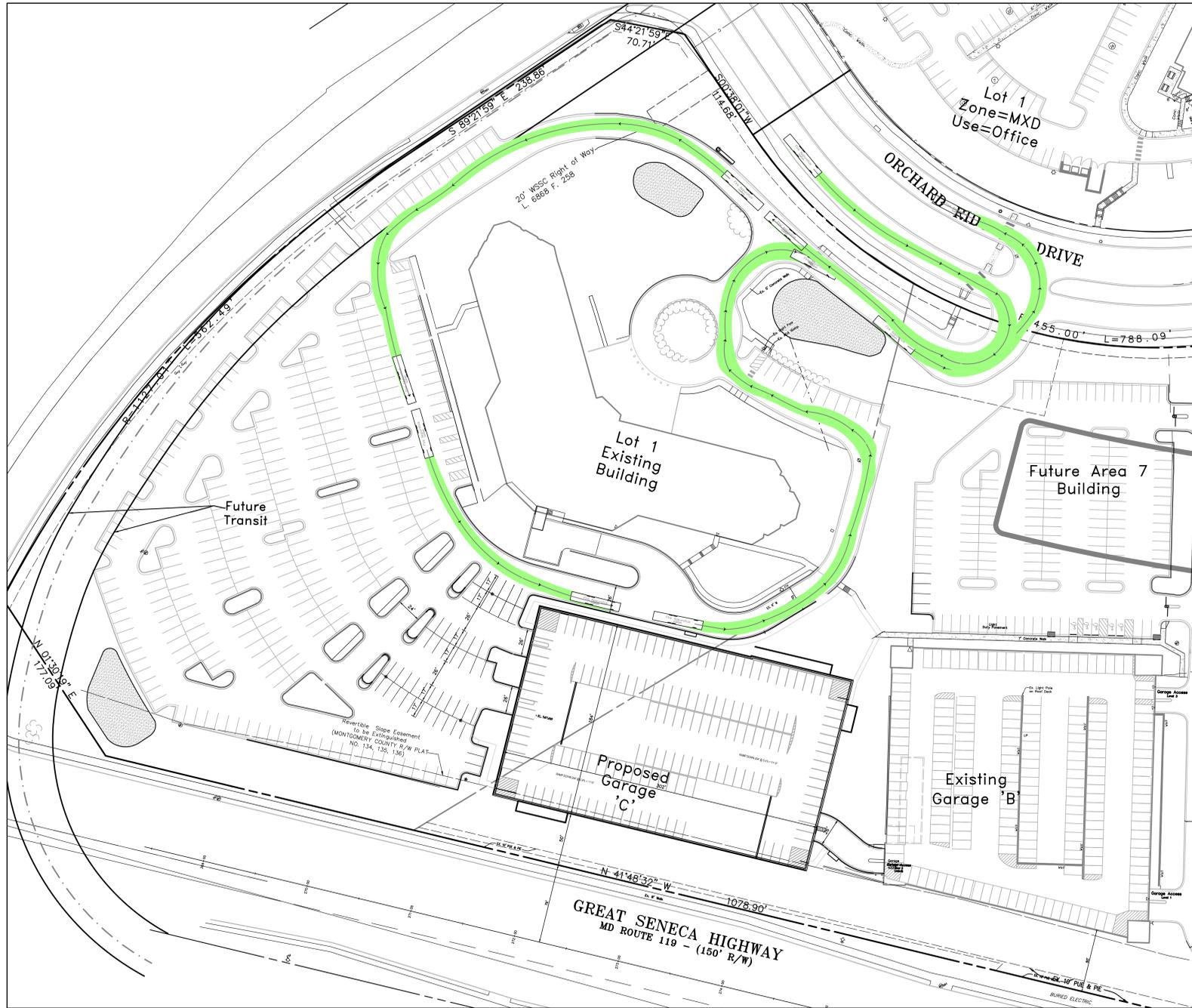
RESERVED FOR P.E. STAMP

NOTICE: THIS DRAWING HAS NOT BEEN PUBLISHED AND IS THE SOLE PROPERTY OF MEDIMMUNE, INC. AND IS LOANED TO THE BORROWER FOR HIS CONFIDENTIAL USE ONLY, AND IN CONSIDERATION OF THE LOAN OF THIS DRAWING, THE BORROWER PROMISES AND AGREES TO RETURN IT UPON REQUEST AND AGREES THAT IT SHALL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS FURNISHED.

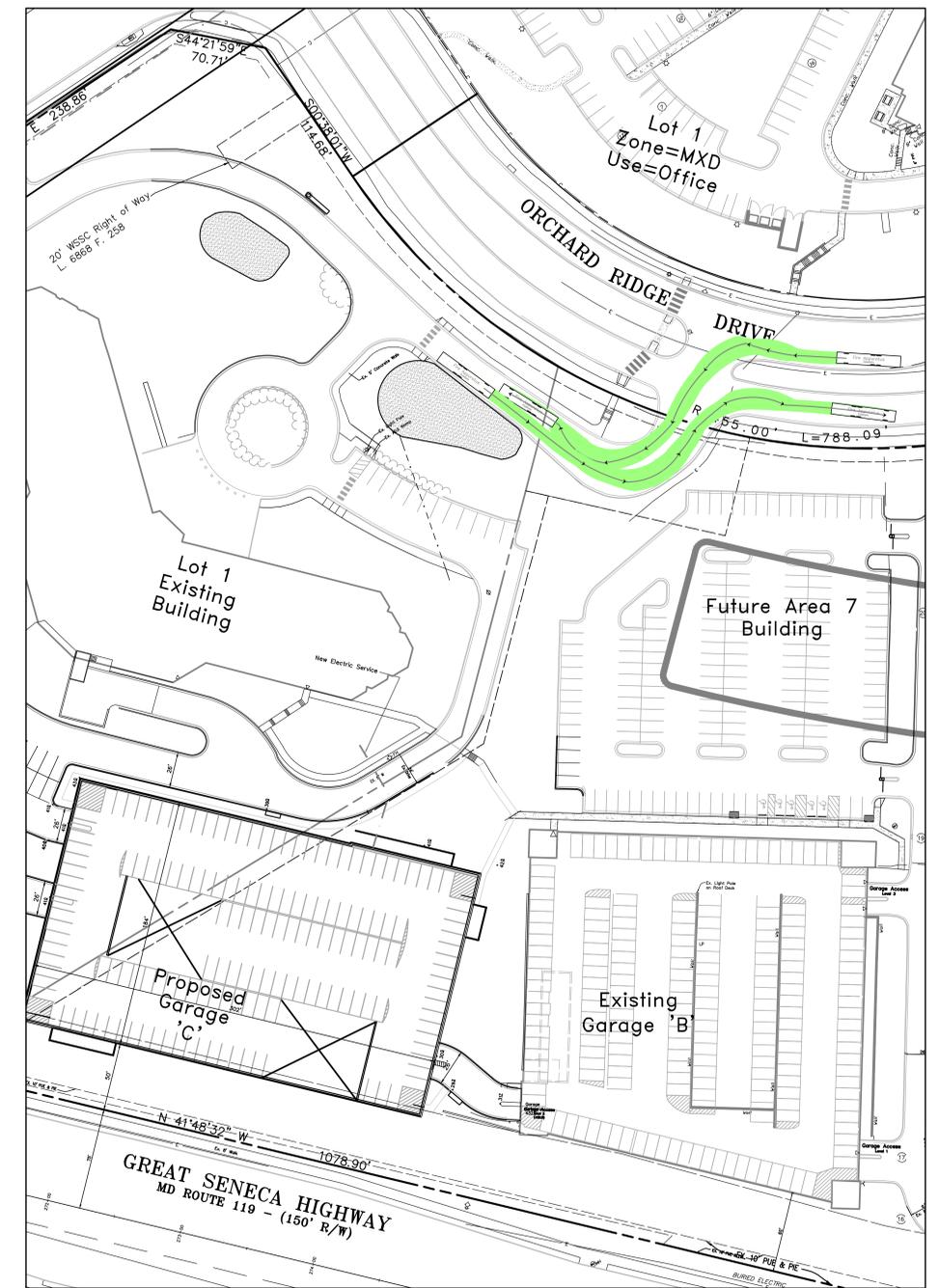
MEDIMMUNE, INC.
 QUINCE ORCHARD PARK - The Ridges

CIVIL
 SCHEMATIC DEVELOPMENT PLAN
 CONCEPT UTILITY PLAN

SCALE: 1"=30'
 DATE: 06/18/15
 DRAWN BY: BJD
 APPROVED:
 MEDIMMUNE, INC. DRAWING NO.: 500-000-C305
 REV: B



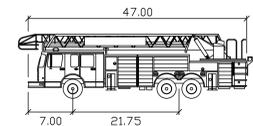
FIRE TRUCK ACCESS PATH-1
(Right In/ Left Out)



FIRE TRUCK ACCESS PATH-2
(Left In/ Right Out)

NOTES:

1. Curbs, gutters, sidewalks, and paving shall be installed in such a manner as to provide positive drainage of all areas so there is no accumulation of surface water.
2. All perimeters, paving edges and islands shall be curbed.
3. All Paving, Storm Drain, Utilities and Improvements on this Parcel are Private and the Maintenance to be the Responsibility of the Owner.
4. The maximum permitted grade on lot is 3:1. The Contractor must adjust any slope as necessary to meet Existing Grade.
5. All building heights measured from Main Lobby at Area One = 425Q
6. Calculation of Gross Floor Area does not include Penthouse Mechanical Area or Uninhabitable Cellars.



AT29 - Germantown
 Width : 8.25
 Track : 8.25
 Lock to Lock Time : 3.0
 Steering Angle : 33.2

Joint Hearing - MCC & PC
 SDP-7059-2015
 Exhibit #12

Professional Certification:
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016
 Stephen E. Crum

NO.	DATE	REVISIONS	DWN	CK	APP
C	06/19/15	Submit SDP to City / Garage C			
B	6/08/15	Submit Pre-Application to City / Garage C			
A	4/19/15	Submit Pre-Application to City / Garage C			

MHG Macris, Hendricks & Glascock, P.A.
 Engineers • Planners
 Landscape Architects • Surveyors
 9220 Wightman Road, Suite 120
 Montgomery Village, Maryland
 20886-1279
 Phone 301.670.0840
 Fax 301.948.0893
 www.mhgap.com



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MEDIMMUNE, INC.
 QUINCE ORCHARD PARK - The Ridges
 LOTS 1 AND 6
 CIVIL
 VEHICLE CIRCULATION PLAN

SCALE: 1"=120'
 DATE: 06/18/15
 DRAWN BY: BJD
 APPROVED:
 MEDIMMUNE, INC. DRAWING NO.:
 500-000-C306
 REV: C



Legend
 ⇄ Vehicular Traffic Circulation

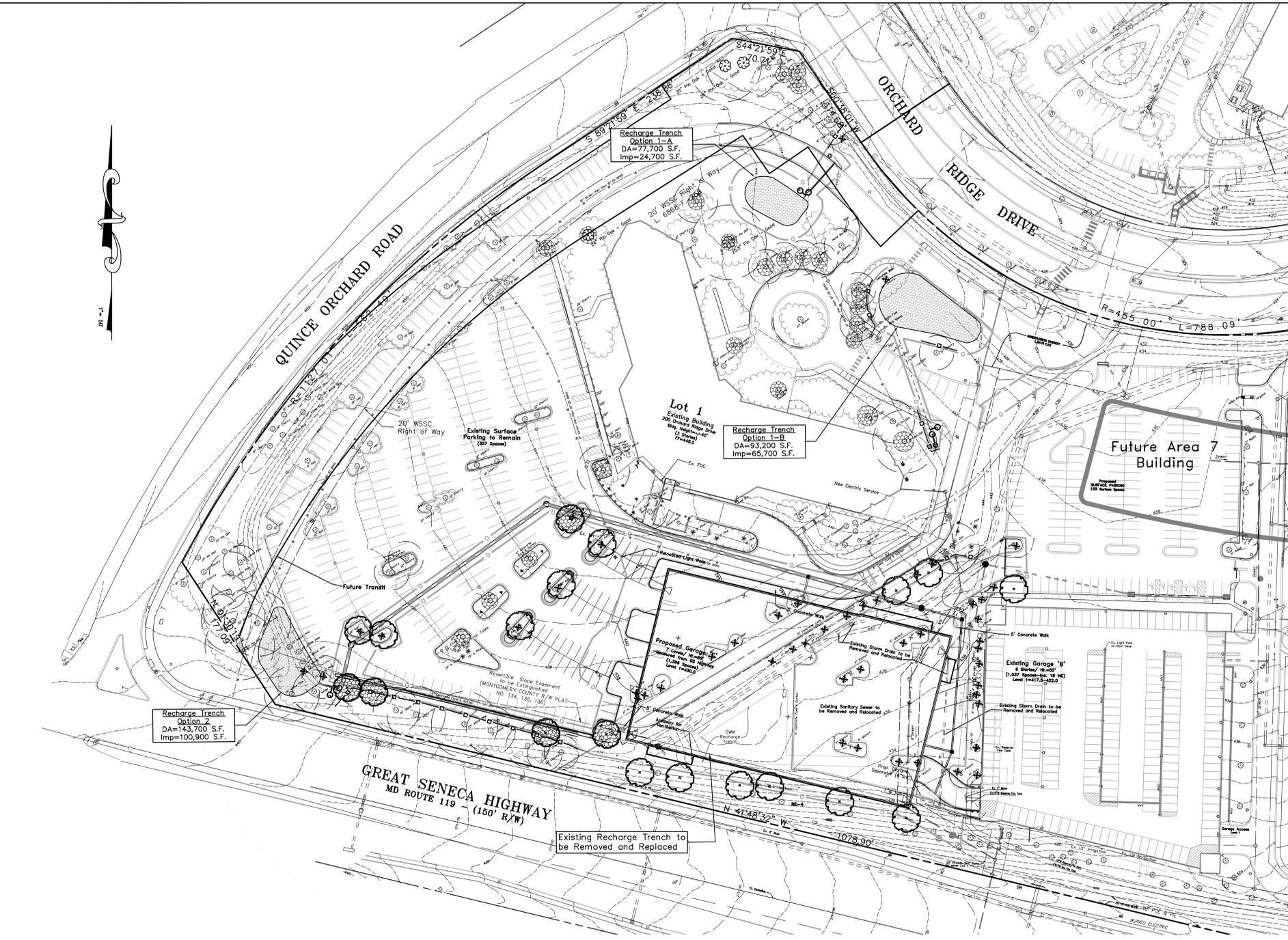
100' 0 100' 200' 300'
 SCALE: 1" = 100'

MedImmune Garage C
 Gaithersburg, Maryland

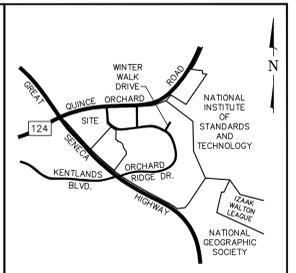
Traffic Circulation Plan

Joint Hearing - MCC & PC
 SDP-7059-2015
 Exhibit #13

PREPARED BY
URS
 HUNT VALLEY, MARYLAND



Legend	
EXISTING	PROPOSED
	Paving
	Curb & Gutter
	Sign
	Utility Pole
	Lamp Post
	Post or Ballard
	Light
	Electric
	Overhead Wires
	Sanitary Sewer
	Storm Drain
	Water Line
	Fire Hydrant
	Gas
	Telephone
	Cable
	Buildings
	Concrete
	Spot Elevation
	Contour
	Tree Canopy
	Property Boundary
	Tree
	Significant Tree
	Critical Root Zone
	Limits of Disturbance
	Tree Protection Fence & Root Pruning
	Canopy Coverage Credit
	Shade Tree
	Tree to be Removed



VICINITY MAP
SCALE 1" = 2,000'
COPYRIGHT 1994 BY ADC OF ALEXANDRIA, INC.
PERMITTED USE NO. 2018133

FOREST CONSERVATION WORKSHEET		5-Aug-02					
NET TRACT AREA:							
A. Total tract area ...		9.08					
B. Land dedication acres (parks, county facility, etc.) ...		0.00					
C. Land dedication for roads or utilities (not being constructed by this plan) ...		0.00					
D. Area to remain in commercial agricultural production/use ...		0.00					
E. Other deductions (specify) ...		0.00					
F. Net Tract Area		9.08					
LAND USE CATEGORY: (from Trees Technical Manual) Input the number "1" under the appropriate land use, limit to only one entry.							
	ARA	MDR	IDA	HDR	MPD	CIA	
	0	0	0	0	0	1	
G. Afforestation Threshold ...		15%	x F =				1.36
H. Conservation Threshold ...		15%	x F =				1.36
EXISTING FOREST COVER:							
I. Existing forest cover ...							0.00
J. Area of forest above afforestation threshold ...							0.00
K. Area of forest above conservation threshold ...							0.00
BREAK EVEN POINT:							
L. Forest retention above threshold with no mitigation ...							0.00
M. Clearing permitted without mitigation ...							0.00
PROPOSED FOREST CLEARING:							
N. Total area of forest to be cleared ...							0.00
O. Total area of forest to be retained ...							0.00
PLANTING REQUIREMENTS:							
P. Reforestation for clearing above conservation threshold ...							0.00
Q. Reforestation for clearing below conservation threshold ...							0.00
R. Credit for retention above conservation threshold ...							0.00
S. Total reforestation required ...							0.00
T. Total afforestation required ...							1.36
U. Credit for canopy coverage ...							0.48
V. Total reforestation and afforestation required ...							0.88

CANOPY COVERAGE CREDIT			
QTY	COMMON NAME	COVERAGE PER TREE (SF)	TOTAL COVERAGE (SF)
SHADE TREES			
9	Pin Oak (existing)	700	6,300
2	Honey Locust (existing)	700	1,400
8	Little Leaf Linden (existing)	700	5,600
4	Green Ash (existing)	700	2,800
5	Proposed shade	1000	5,000
TOTAL CANOPY COVERAGE CREDIT			21,100 sf / 0.48 ac

Canopy Coverage Credit applied to Afforestation Credits are calculated as outlined on page 21 of the City of Gaithersburg Tree Manual, with specific canopy sizes as indicated in Appendix B.
See Landscape Plan for complete Plant Schedule

NOTES:
LOT 1:
1.36 ACRE AFFORESTATION REQUIRED
0.48 ACRE OF CANOPY COVERAGE CREDIT
0.88 ACRE TO BE MET VIA FEE-IN-LIEU

LOT 6:
0.30 ACRE OF CANOPY CREDIT WAS USED BUT NOT DEFINED.
INDIVIDUAL TREES REMOVED ON LOT 6 THAT WERE PLANTED AS PART OF LOT 6 FCP AND LANDSCAPE PLAN WILL BE ACCOUNTED FOR AND REPLACED ON FFCP.

OWNER
MEDIMMUNE, Inc.
One Medimmune Way
Gaithersburg, MD
Phone: 301-398-5527
Contact: Erik Morrison
Associate Director Master Planning

ARCHITECT
Desmond Design Management
8220 Wighman Road, Suite 120
Montgomery Village, Maryland
Phone: (703) 448-1190
Contact: John Judge, P.E.

Call "Miss Utility" at 1-800-257-7777,
48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 35A of the Montgomery County Code.

QUALIFIED PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND CITY FOREST CONSERVATION LEGISLATION.
6/19/15
FRANK C. JOHNSON
RECOGNIZED AS QUALIFIED PROFESSIONAL BY MD. DEPT. OF NATURAL RESOURCES
COMAR 08.19.06.01

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #15

REVISIONS	DWN	CK	CK	APP	NO	DATE	REVISIONS	DWN	CK	CK	APP
B 06/19/15							Submit SDP to City / Garage C				
A 4/19/15							Submit Pre-Application to City / Garage C				

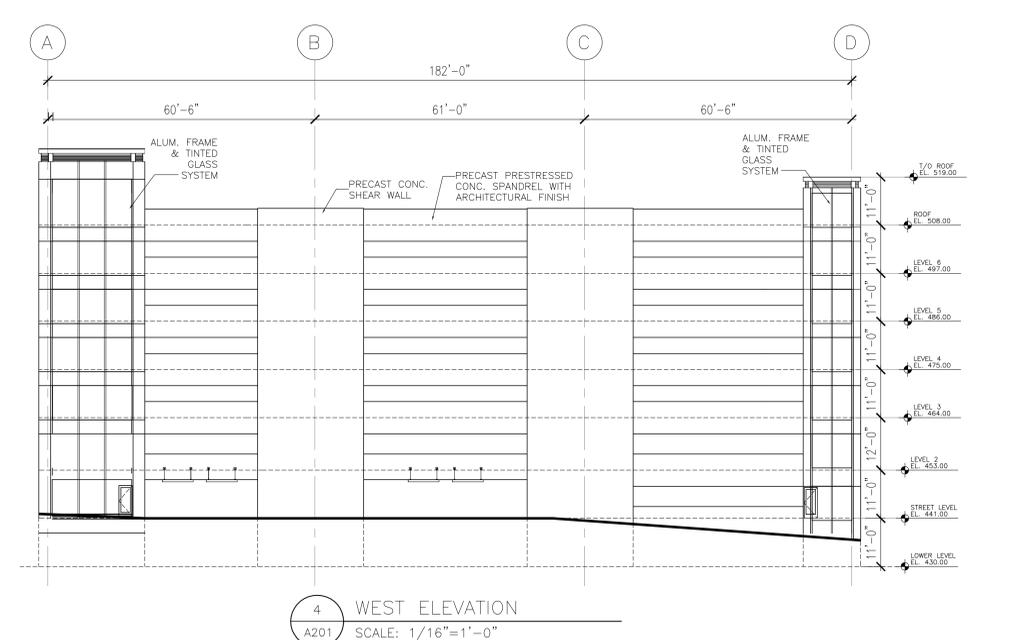
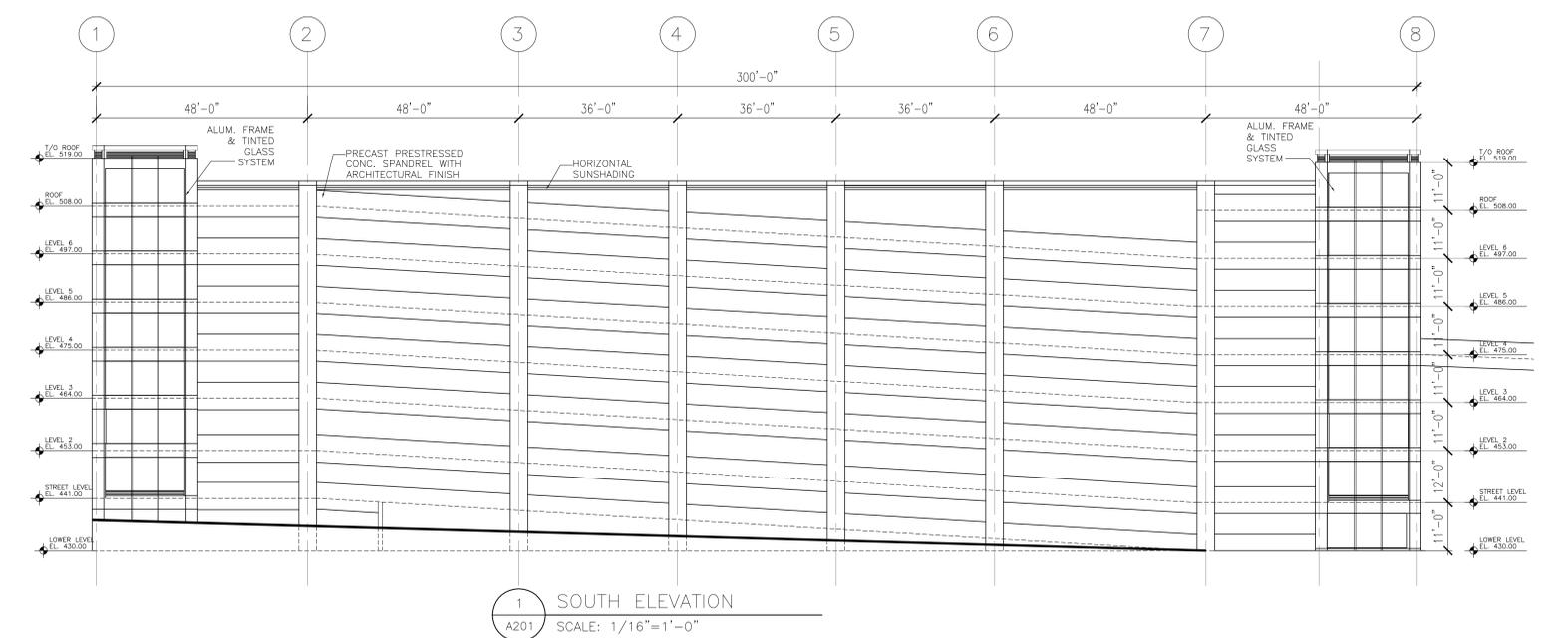
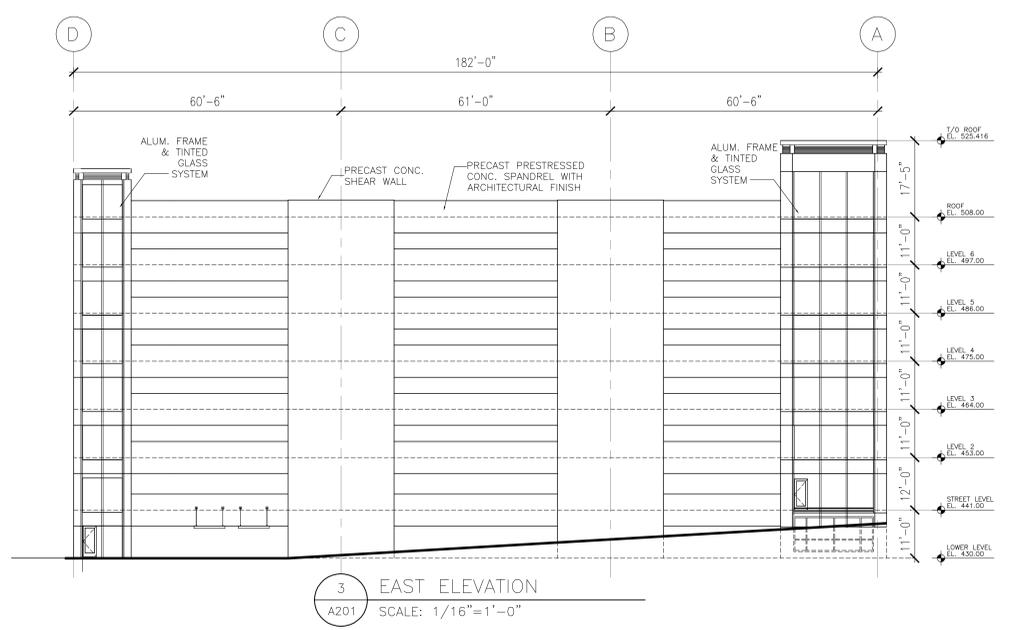
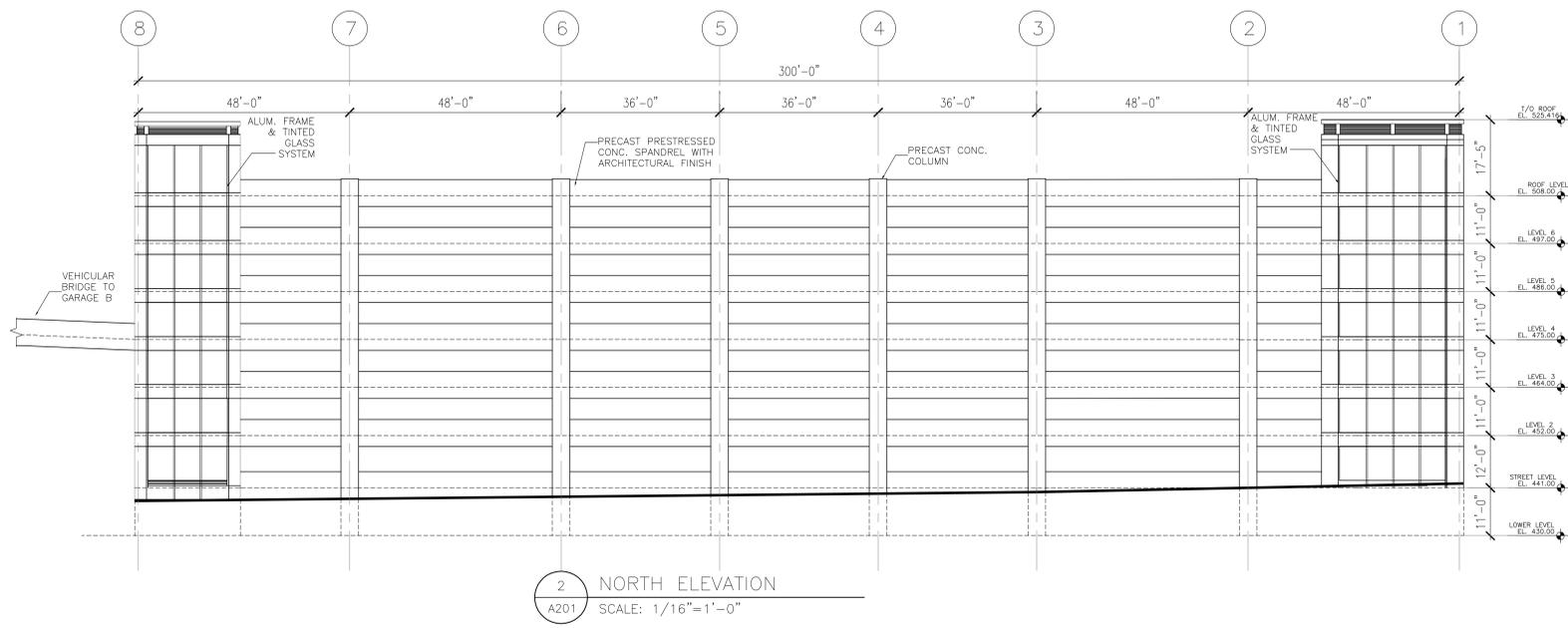
MHG Macris, Hendricks & Glascock, P.A.
Engineers ■ Planners
Landscape Architects ■ Surveyors
9220 Wighman Road, Suite 120
Montgomery Village, Maryland 20886-1279
Phone: 301.670.0840
Fax: 301.948.0693
www.mhgpa.com



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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
SCHEMATIC DEVELOPMENT PLAN
PRELIMINARY FOREST CONSERVATION PLAN

SCALE: 1"=50'	DATE: 06/19/15
DRAWN BY: FCJ	APPROVED:
MEDIMMUNE, INC. DRAWING NO.: 500-000-C320	REV: B



Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #16

NOTE
1. OTHER MATERIALS MAY BE ADDED
PENDING REVIEW & DIRECTION FROM
THE OWNER.

NO.	DESCRIPTION	DATE

DRAWING TITLE

A 201

ELEVATIONS

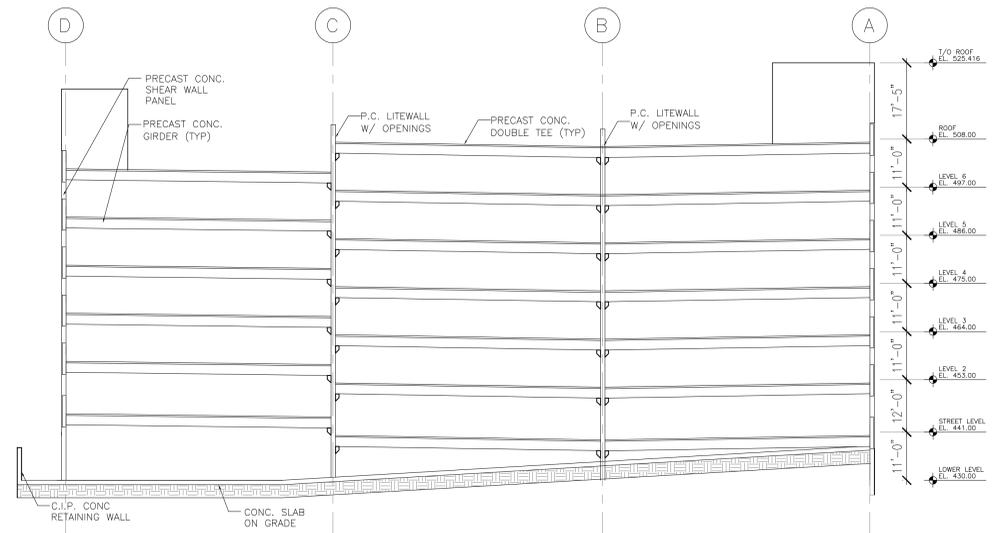
SCALE: AS NOTED
DATE: APRIL 28, 2015

PROJECT NO. 30-15105

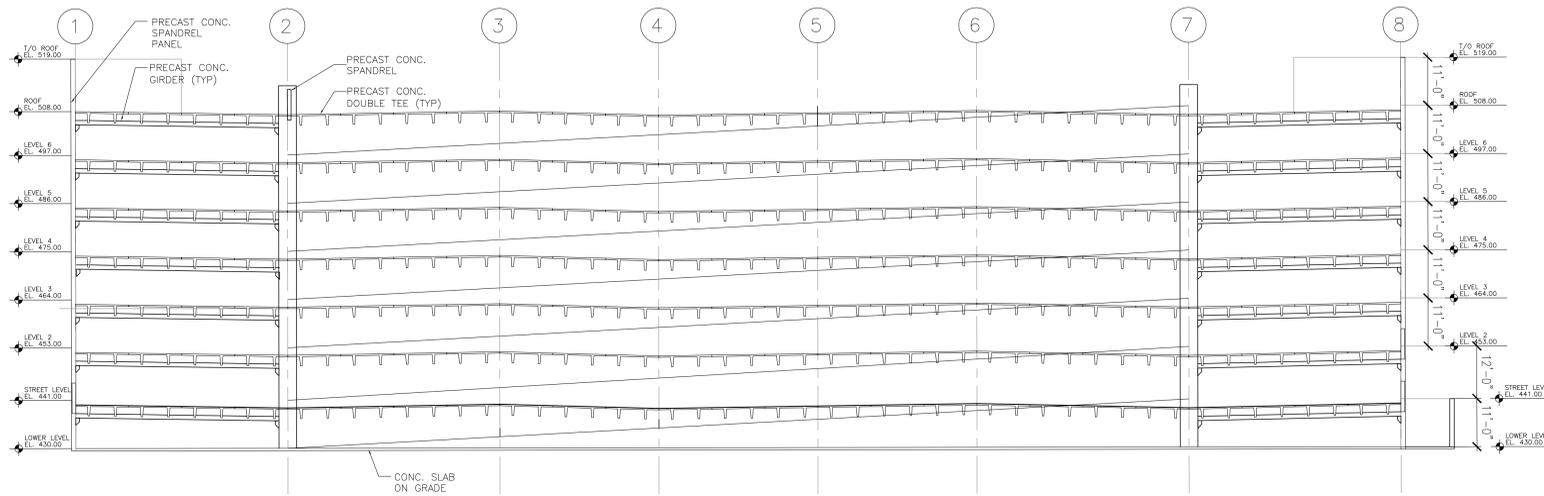
DESIGN	DRAWN	CHKD.
JJ	IM	JJ



1 BUILDING SECTION
A401 SCALE: 1/16"=1'-0"



3 BUILDING SECTION
A401 SCALE: 1/16"=1'-0"



2 BUILDING SECTION
A401 SCALE: 1/16"=1'-0"

GARAGE C
FOR
MEDIMMUNE
GAITHERSBURG, MD

ISSUE

NO.	DESCRIPTION	DATE

NO. DESCRIPTION DATE

DRAWING TITLE

A 301

DRAWING NO.
BUILDING
SECTIONS

SCALE: AS NOTED

DATE: APRIL 28, 2015

PROJECT NO. 30-15105

DESIGN DRAWN CHKD.

JJ IM JJ

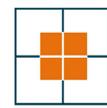
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GARAGE C
MEDIMMUNE, INC.
QUINCE ORCHARD PARK GAITHERSBURG, MARYLAND
SCHEMATIC DESIGN SUBMISSION
JUNE 8, 2015

DESMAN
Design Management

ARCHITECT/ ENGINEER

8000 WESTPARK DRIVE, SUITE 610
MCLEAN, VIRGINIA 22102
TELEPHONE: (703) 448-1190

 **MHG**

CIVIL ENGINEER

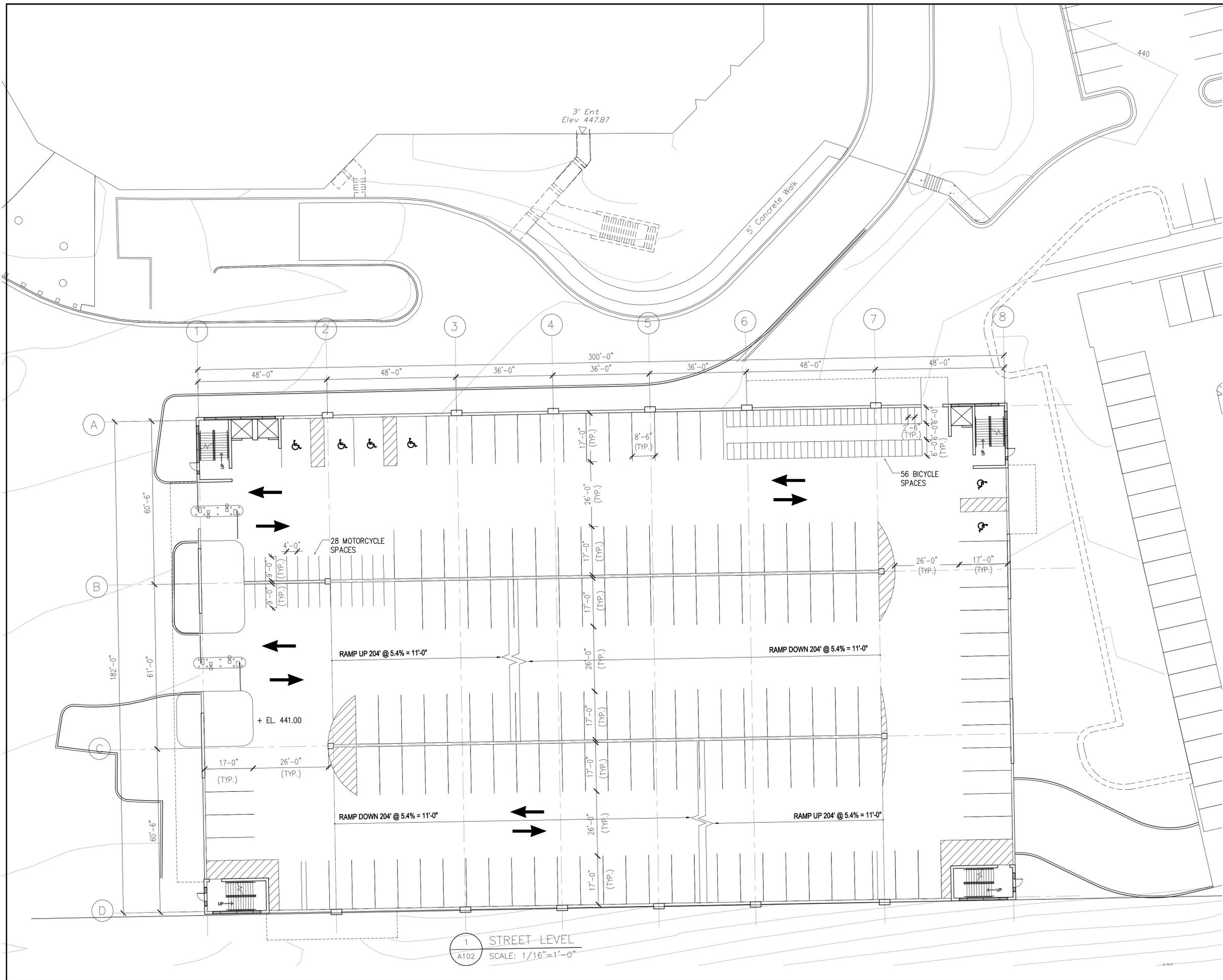
9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MARYLAND 20886
TELEPHONE: (301) 670-0840

 **Leach Wallace Associates, Inc.**
Consulting Engineers

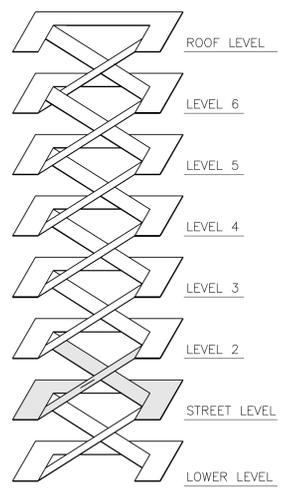
M.E.P. ENGINEER

6522 MEADOWBRIDGE ROAD
ELKRIDGE MARYLAND 21075
TELEPHONE: (410) 579-8100

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #17



GARAGE C
FOR
MEDIMMUNE
GAITHERSBURG, MD

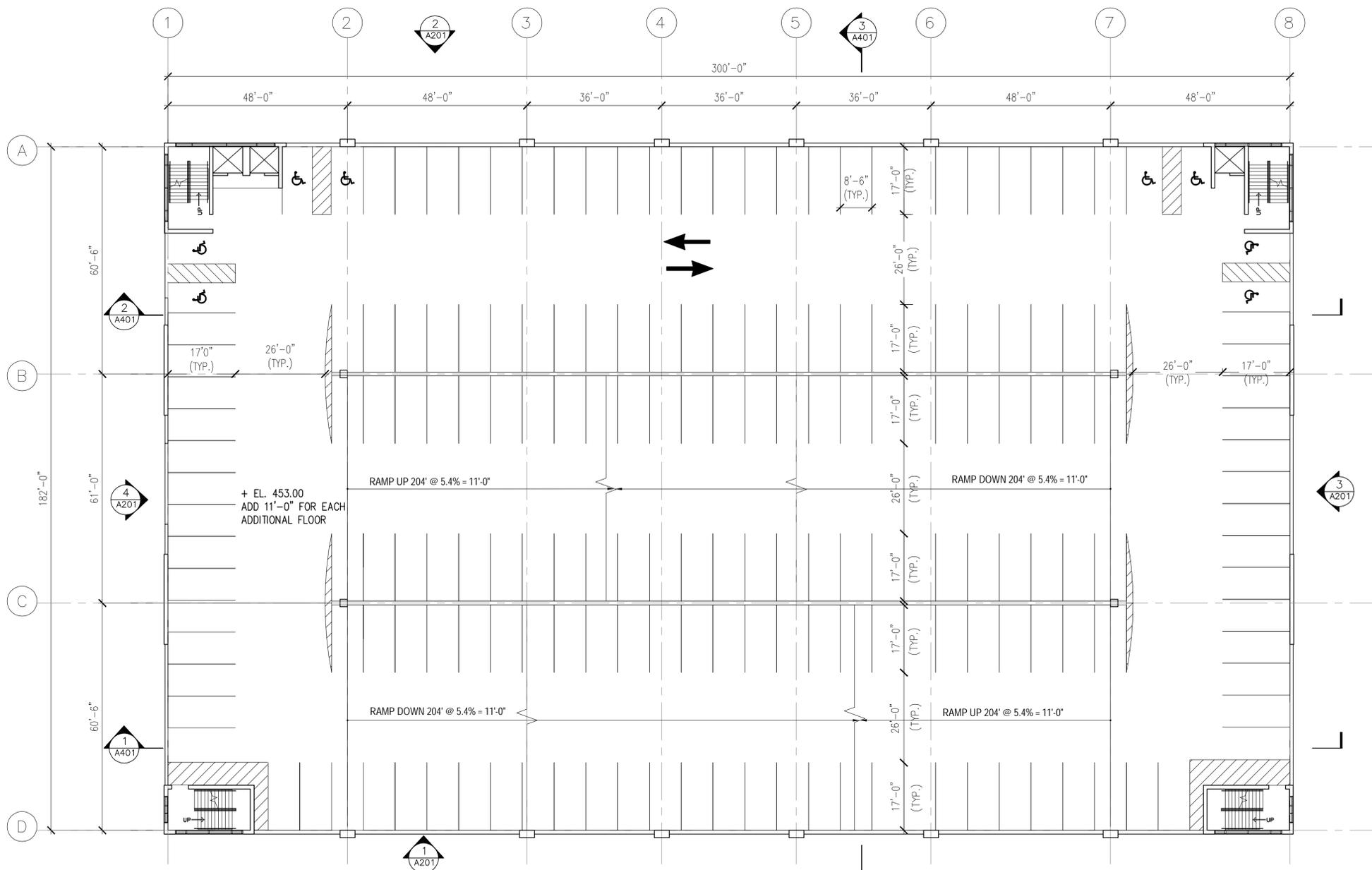


ISSUE		
NO.	DESCRIPTION	DATE

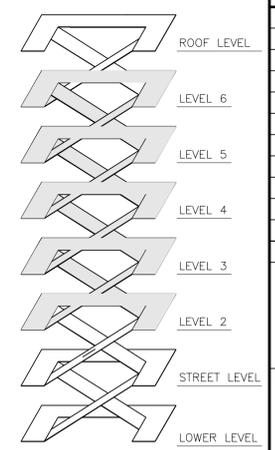
DRAWING TITLE: A102		
DRAWING NO.		
STREET LEVEL PLAN		
SCALE: AS NOTED		
DATE: APRIL 28, 2015		
PROJECT NO.: 30-15105		
DES. JU	DRWN. IM	CKD. JU

1 STREET LEVEL
A102 SCALE: 1/16"=1'-0"

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1 TYPICAL LEVEL PLAN
A103 SCALE: 1/16"=1'-0"



ISSUE		
NO.	DESCRIPTION	DATE

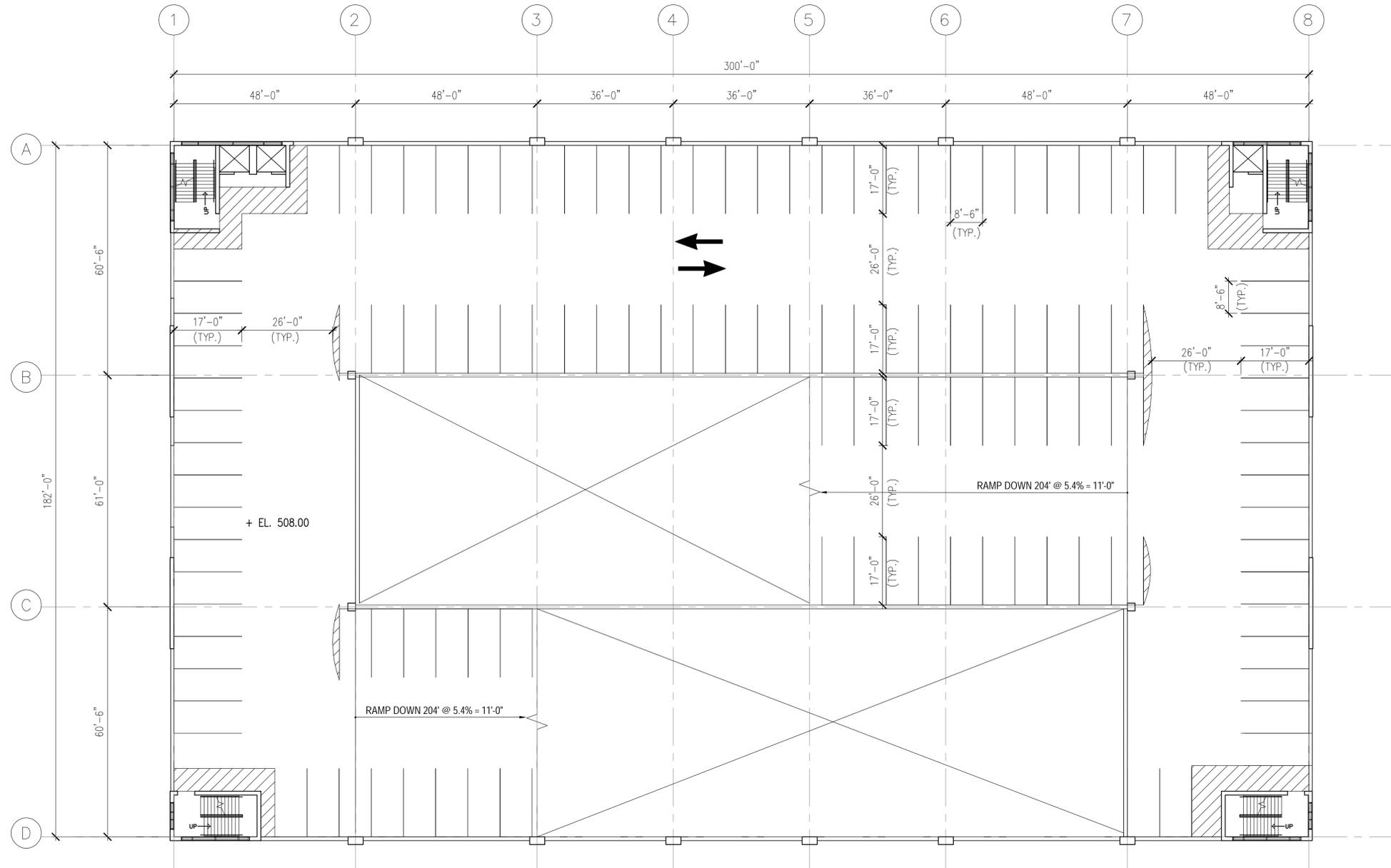
DRAWING NO. **A103**
TYPICAL LEVEL
PLAN

SCALE: AS NOTED
DATE: APRIL 28, 2015
PROJECT NO: 30-15105

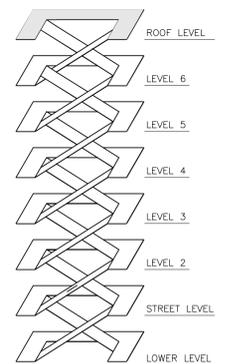
DES.	DRWN.	CKD.
JJ	IM	JJ



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1 ROOF LEVEL PLAN
A104 SCALE: 1/16"=1'-0"



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ISSUE

NO.	DESCRIPTION	DATE

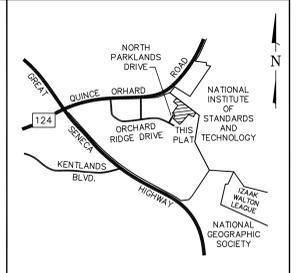
DRAWING TITLE:

A104

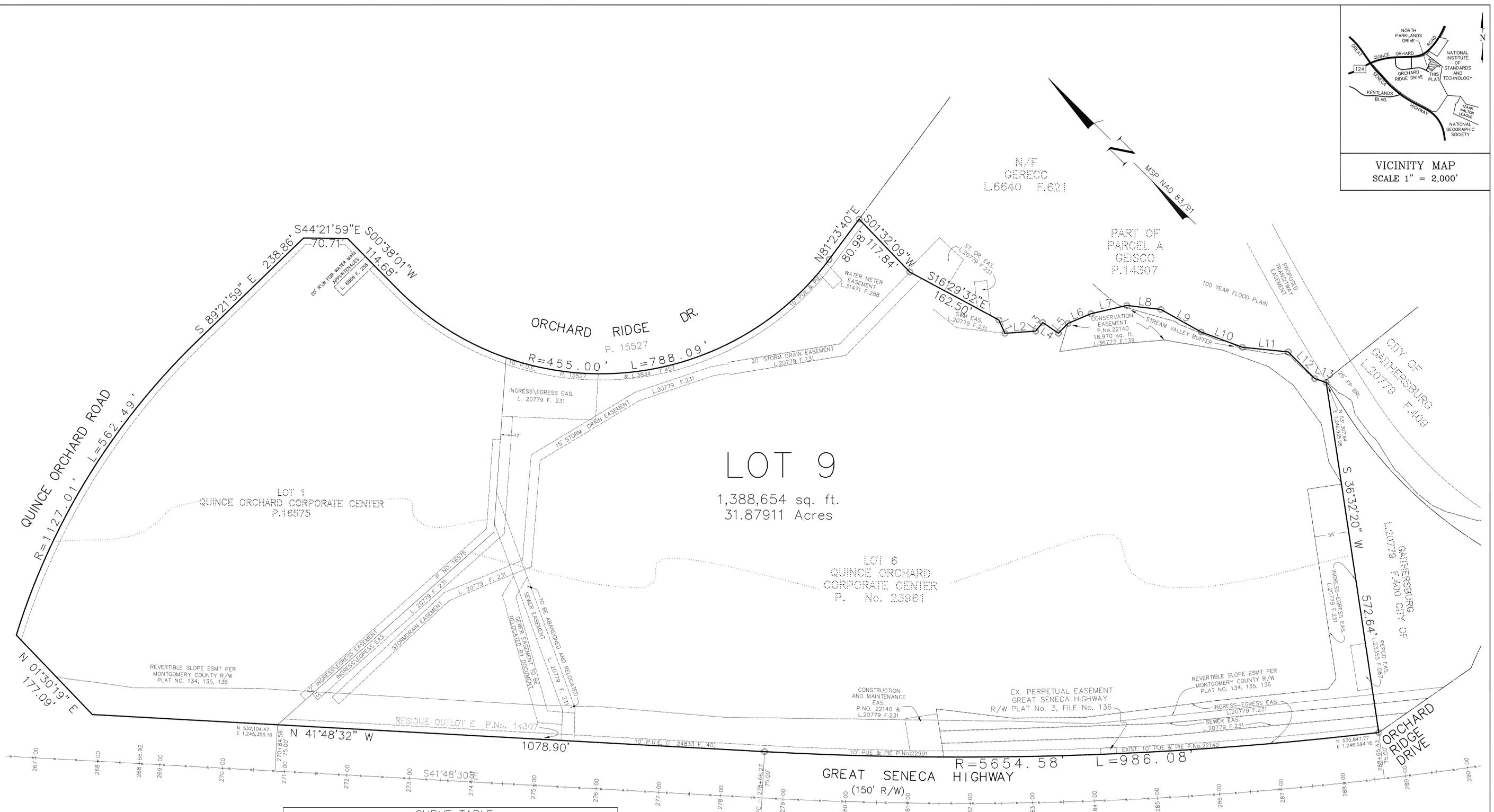
DRAWING NO.
ROOF LEVEL PLAN

SCALE: AS NOTED
DATE: APRIL 28, 2015

PROJECT NO: 30-15105
DES: DRWN: CKD:
JU IM JU



VICINITY MAP
SCALE 1" = 2,000'



CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C1	5654.58'	986.08'	9°59'30"	494.29'	S 46°48'15" E	984.83'
C2	455.00'	788.09'	73°02'52"	336.98'	S 62°04'54" E	541.59'

LINE	BEARING	DISTANCE
L1	S 20°32'01" W	23.63'
L2	S 49°02'26" E	49.28'
L3	N 84°20'13" E	17.93'
L4	S 101°8'06" E	30.95'
L5	N 88°55'54" E	22.28'
L6	S 68°01'57" E	40.00'
L7	S 58°00'52" E	59.03'
L8	S 38°12'45" E	54.96'
L9	S 15°30'32" E	73.93'
L10	S 24°30'28" E	70.71'
L11	S 39°08'07" E	73.80'
L12	S 00°28'20" W	60.48'
L13	S 26°14'52" E	19.47'

SURVEYOR'S CERTIFICATE

I certify to the best of my knowledge and belief that the boundary shown hereon is correct based on existing deeds and plats recorded among the Land Records of Montgomery County, Maryland, subject to change upon completion of a final survey. Topography from sources noted hereon.

Date: _____
 Macris, Hendricks, & Glascock, P.A.
 By: Barry E. Hoyle
 Professional Land Surveyor
 Maryland Reg. No. 21135

NO.	DATE	DESCRIPTION	BY



CITY OF GAITHERSBURG MAYOR & COUNCIL
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____ WAS GRANTED SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION _____ WITH SEVEN (7) CONDITIONS. DATE _____ BY _____

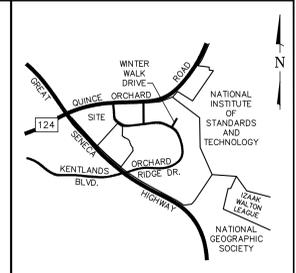
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

SCHEMATIC DEVELOPMENT PLAN
 Preliminary Subdivision Plan - Lot 9
QUINCE ORCHARD CORPORATE CENTER
 THE RIDGES - MEDIMMUNE HEADQUARTERS
 City of Gaithersburg MARYLAND

MHG Macris, Hendricks & Glascock, P.A. Engineers • Planners Landscape Architects • Surveyors 9220 Wightman Road, Suite 120 Montgomery Village, Maryland 20886-1279	Proj. Mgr. MHG	Designer MHG
	Date 6/8/15	Scale 1"=60'
Project No. 89-157	Sheet 5 of 5	

Joint Hearing - MCC & PC
 SDP-7059-2015
 Exhibit #18

MATCHLINE SHEET 2



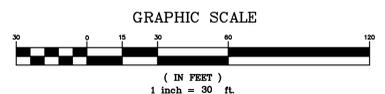
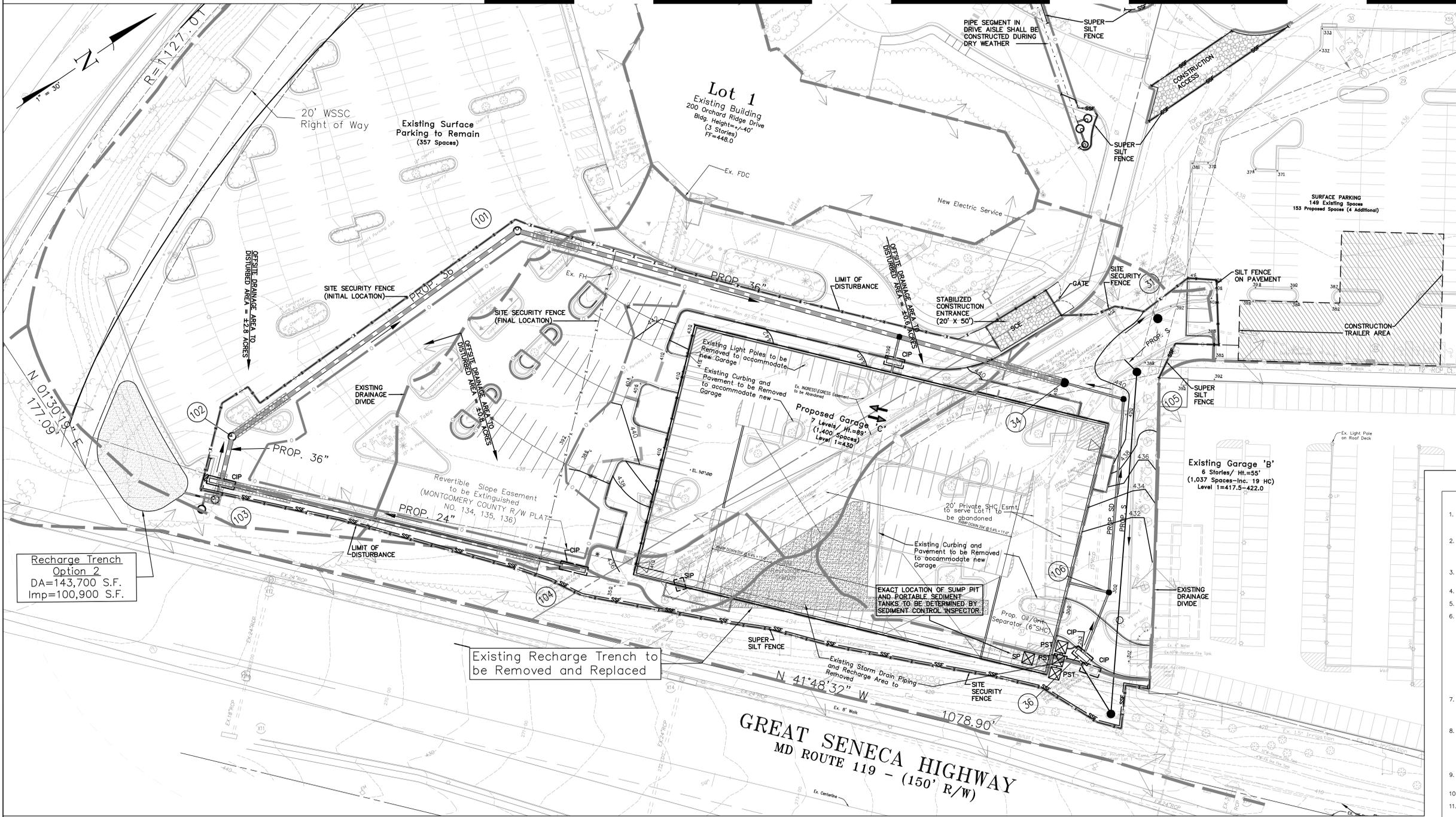
VICINITY MAP
SCALE 1" = 2,000'
COPYRIGHT 1994 BY ADC OF ALEXANDRIA, INC.
PERMITTED USE NO. 20192133

SESC LEGEND

- 440 — Existing Contour
- 440 — Proposed Contour
- Limits of Disturbance
- Existing Drainage Divide
- Proposed Drainage Divide
- Stabilized Construction Entrance
- CIP Curb Inlet Protection
- SIP Standard Inlet Protection
- SSF Super Silt Fence
- SFOP SFOP Silt Fence on Pavement
- SP Sump Pit
- PST Portable Sediment Tank
- X Site Security Fence

EXCESS SPOILS FROM BUILDING EXCAVATION SHALL BE STORED AND CONTROLLED WITHIN LIMITS OF DISTURBANCE AT MEDIMMUNE CHILDRENS CENTER SITE SHOWN ON SEDIMENT EROSION CONTROL CONCEPT AND PRELIMINARY SESC PLAN, APPLICATION NO. SEC-6906-2015 APPROVED ON APRIL 1, 2015.

- SEQUENCE OF CONSTRUCTION
- Call the City of Gaithersburg Sediment Control Inspector at 301-258-6370 and arrange a pre-construction meeting (minimum 48 hours advance notice is required).
 - Establish the limits of disturbance, and install and implement all forest conservation measures as indicated on the approved Forest Conservation Plan. Must obtain City inspection and approval prior to any clearing.
 - Install stabilized construction entrance, super silt fence and inlet protection as shown.
 - Begin grading.
 - Begin sewer construction.
 - Begin storm drain construction.
 - Construct storm drain in parking lot and drive aisles under dry weather conditions. Stabilize disturbed areas at the end of each workday.
 - At storm drain structure #34, permanently block and seal orifice from existing 15" RCP before removing the pipe and tributary storm drain.
 - At the inspector's discretion, remove inlet protection from ex. storm drain inlets to be removed. Once proposed inlets are installed, provide inlet protection as shown.
 - Install sump pit and portable sediment tanks.
 - Note: Portable sediment tanks shall be discharged to storm drain Str. #36 or other storm drain structure approved by inspector.
 - Begin excavation and construction necessary for Garage C.
 - Note: Spoils from excavation shall be stored and controlled within limits of disturbance at Medimmune Childrens Center site shown on Sediment Erosion Control Concept and Preliminary SESC Plan, Application No. SEC-6906-2015 approved on April 1, 2015.
 - Relocate site security fence to final location after exterior building facade elements are complete.
 - Begin final paving and associated improvements.
 - As various areas are brought to final grade, place topsoil, sod/seed on grassed areas, in conformance with these plans and the "Standard Erosion & Sediment Control Notes."
 - Upon completion and permanent site stabilization, all sediment control structures shall be removed with the written approval of the Sediment Control Inspector.



Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016
Stephen E. Crum

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #19

OWNER
MEDIMMUNE, Inc.
One Medimmune Way
Gaithersburg, MD
Phone: 301-398-5527
Contact: Erik Morrison
Associate Director Master Planning

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
SEDIMENT EROSION CONTROL
APPLICATION NO. _____
CONCEPT PLAN PRELIMINARY PLAN
APPROVAL DATE: _____, 2015
BY: _____

NO.	DATE	APP.	CK.	CK.	DWN.	REVISIONS

MHG Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone 301.670.0840
Fax 301.948.0693
www.mhgapa.com



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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
CIVIL
CONCEPT AND PRELIMINARY
SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'
DATE: 6/8/15
DRAWN BY: JDS
APPROVED: _____
MEDIMMUNE, INC. DRAWING NO.: 500-000-C330
REV.: A

- The permittee shall notify the City Inspector at 301-258-5330, 48 hours before commencing any land disturbing activity and shall be required to hold a pre-construction meeting between himself or his representative, and authorized representatives of the City.
- The permittee must obtain inspection and approval by Planning and Code Enforcement at the following points:
 - At the required pre-construction meeting.
 - Following installation of sediment control measures and prior to any other land disturbing activity.
 - During the installation of a sediment basin or stormwater management structure at the required inspection points (see Inspection Checklist on plan). Notification prior to commencing construction is mandatory.
 - Prior to removal or modification of any sediment control devices.
 - Prior to final acceptance.

- All erosion control measures are to be constructed and maintained in accordance with applicable published standards and specifications and the most current "Maryland Standards and Specifications for Soil Erosion and Sediment Control".
- The permittee shall construct all erosion and sediment control measures per the approved plan and construction sequence, shall have them inspected by the City Inspector prior to beginning any other land disturbing activities, shall ensure that all runoff from disturbed areas is directed to the sediment control devices, and shall not remove any erosion or sediment control measures without prior permission from the City Inspector.
- Any request for changes to the approved sediment control plan or sequence of construction must be submitted to the Sediment Control Inspector and approved before implementing changes. Major changes will require a plan revision.
- The permittee shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.

- The permittee shall inspect daily and maintain continuously in effective operating condition all erosion and sediment control measures until such times as they are removed with prior permission from Department of Planning and Code Enforcement.
- All sediment basins, trap embankments, swales, perimeter dikes and permanent slopes steeper or equal to 3:1 shall be stabilized with sod, seed and anchored straw mulch, or other approved stabilization measures, within three (3) calendar days of establishment. All areas disturbed outside of the perimeter sediment control system must be stabilized and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization. Restabilization or overseeding will be required, if necessary.
- The permittee shall apply sod, seed and anchored straw mulch, or other approved stabilization measures to all disturbed areas within 7 calendar days after stripping and grading activities have ceased on that area. Maintenance shall be performed as necessary to ensure continued stabilization. Active construction areas, such as borrow or stockpile areas, roadway improvements, and areas within 50 feet of a building under construction may be exempted from this requirement, provided that erosion and sediment control measures are installed and maintained to protect those areas.

- Prior to removal of sediment control measures the permittee shall stabilize all contributory disturbed areas using sod or an approved permanent seed mixture with required soil amendments and an approved anchored mulch. Wood fiber mulch may only be used in seeding season when the slope does not exceed 10% to promote sheet flow drainage. Areas brought to finished grade during the seeding season shall be permanently stabilized within 7 calendar days of establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, an approved temporary seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of such property shall be completed prior to the following April 15.
- The site work, materials, approved SC and SWM plans and any required test reports shall be available at the site for inspection by duly authorized officials of the City of Gaithersburg.
- Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing mechanical devices to lower the water downslope without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it are fully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Mechanical devices must be provided at points of concentrated flow where erosion is likely to occur.

- Permanent swales or other points of concentrated water flow shall be stabilized with sod or seed with approved erosion control matting or by other approved stabilization measures.
- Temporary sediment control devices shall be removed, with permission of the City Inspector, within (30) calendar days following establishment of permanent stabilization in all contributory drainage areas. If establishment is not full and uniform as determined by the Sediment Control Inspector, overseeding will be required. Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period as well.

- No permanent cut or fill slope with a gradient steeper than 3:1 will be permitted in lawn maintenance areas. A slope gradient of up to 2:1 will be permitted in areas that are not to be maintained provided that those areas are indicated on the erosion and sediment control plan with a low-maintenance ground cover specified for permanent stabilization. Slope gradients steeper than 2:1 will not be permitted with vegetative stabilization.
- The permittee shall install a splashblock at the bottom of each downspout unless the downspout is connected by a drain line to an acceptable outlet.

- All water pumped from excavation during construction shall be pumped either to sediment tanks and/or sediment traps. No water will be pumped to the storm drain system. Dewatering shall be performed in accordance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

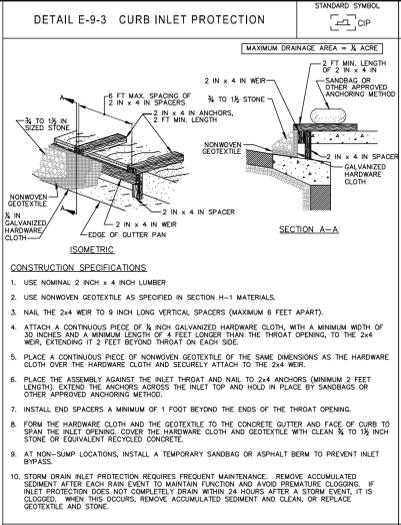
- For finished grading, the permittee shall provide adequate gradients so as to: (1) prevent water from standing on the surface of lawns more than 24 hours after the end of a rainfall, except in designated drainage courses and swale flow areas which may drain as long as 48 hours after the end of a rainfall, and (2) provide positive drainage away from all building foundations or openings.
- Sediment traps or basins are not permitted within 20 feet of a building which is existing or under construction. No building may be constructed within 20 feet of a sediment trap or basin.

- All inlets in non-sump areas shall have asphalt berms installed at the time of base paving establishment.
- The Sediment Control Inspector has the option of requiring additional sediment control measures, if needed necessary.
- All trap elevations are relative to the outlet elevation, which must be on an existing undisturbed ground.
- Vegetative stabilization shall be performed in accordance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control.
- Temporary sediment trap(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to a point one half (1/2) the depth between the outlet crest and the bottom of the trap.

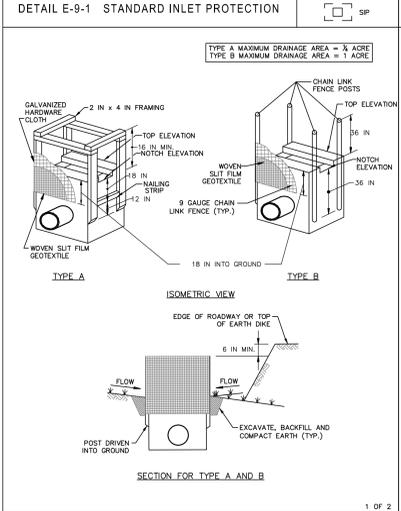
- Sediment removed from traps shall be placed and stabilized in approved areas in such a manner that it does not fail existing or proposed storm drainage systems or areas already stabilized. Sediment shall not be placed within a flood plain or wetland.
- All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be at least 42 inches high, have posts spaced no further apart than 8 feet, have mesh openings no greater than 2 inches in width and 4 inches in height, with a minimum of 14-gauge wire. Safety fence must be maintained in good condition at all times.
- No excavation in the area of existing utilities is permitted unless their location has been determined. Call Miss Utility at 1-800-257-7777, 48 hours prior to the start of work.
- Off-site spoil or borrow areas must have approved SC plans.
- Protect all trees to be preserved during construction in accordance with the approved Forest Conservation Plan and Forest Stand Delimitation.
- Permittee is responsible for all actions of subcontractors, including repairing of damages of sediment control devices.

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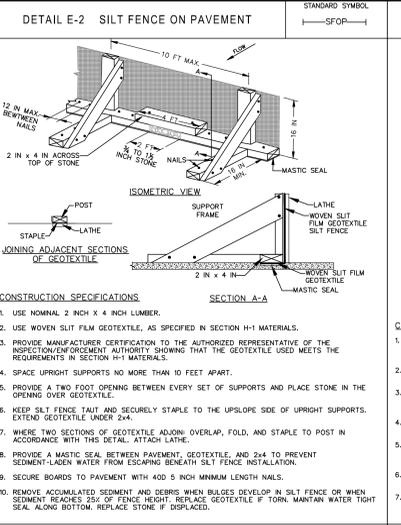
- Protect all trees to be preserved during construction in accordance with the approved Forest Conservation Plan and Forest Stand Delimitation.
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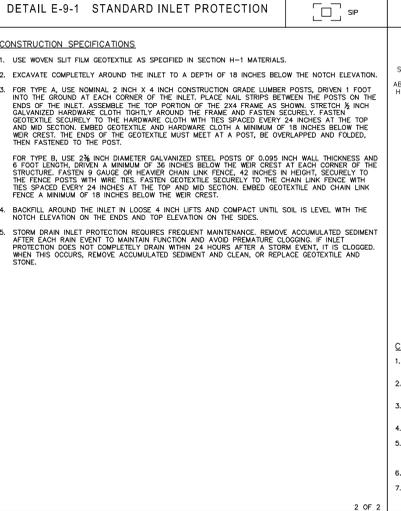
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	STANDARD SYMBOL
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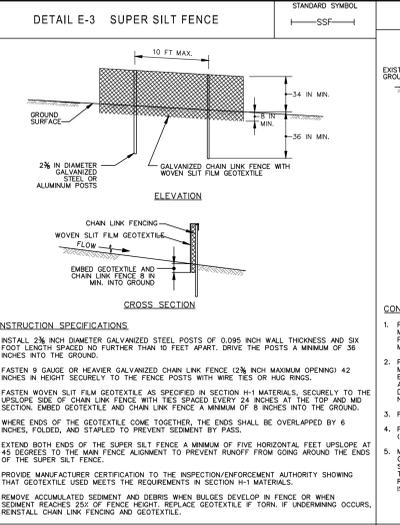
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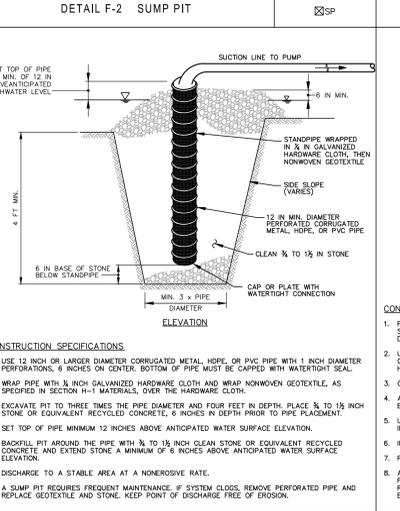
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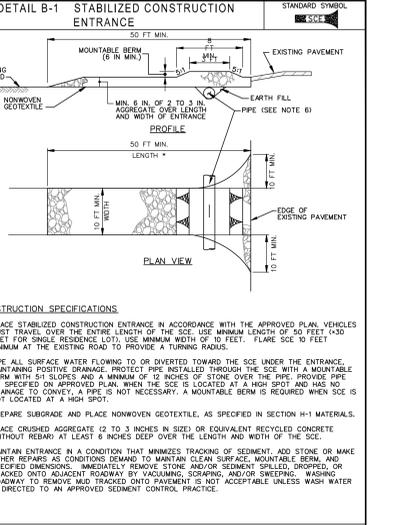
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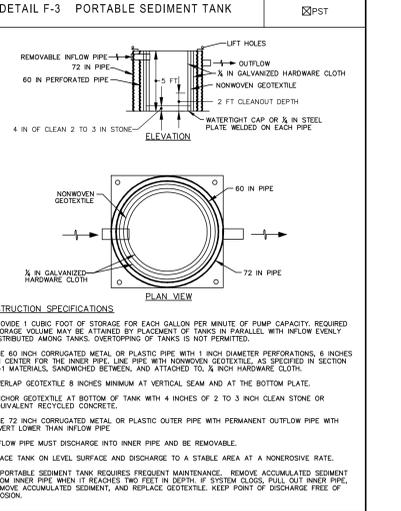
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Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate ¹⁾		Seeding Depth (inches)	Recommended Seeding Dates by Plant Hardiness Zone ³⁾			
	lb/acre	lb/1000 ft ²⁾		5b and 6a	6b	7a and 7b	
Cool-Season Grasses							
Annual Ryegrass (<i>Lolium perenne</i> sp., multilarium)	40	1.0	0.5	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	
Barley (<i>Hordeum vulgare</i>)	96	2.2	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	
Oats (<i>Avena sativa</i>)	72	1.7	1.0	Mar 15 to May 31; Aug 1 to Sep 30	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	
Wheat (<i>Triticum aestivum</i>)	120	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Oct 15	Feb 15 to Apr 30; Aug 15 to Nov 30	
Cereal Rye (<i>Sectia cereale</i>)	112	2.8	1.0	Mar 15 to May 31; Aug 1 to Oct 31	Mar 1 to May 15; Aug 1 to Nov 15	Feb 15 to Apr 30; Aug 15 to Dec 15	
Warm-Season Grasses							
Foxtail Millet (<i>Setaria italica</i>)	30	0.7	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14	
Pearl Millet (<i>Pennisetum glaucum</i>)	20	0.5	0.5	Jun 1 to Jul 31	May 16 to Jul 31	May 1 to Aug 14	

Notes:
1) Seeding rates for the warm-season grasses are in pounds of Pure Live Seed (PLS). Actual planting rates shall be adjusted to reflect percent seed germination and purity, as tested. Adjustments are usually not needed for the cool-season grasses.
2) Seeding rates listed above are for temporary seedings, when planted alone. When planted as a nurse crop with permanent seed mix, use 1/3 of the seeding rate listed above for barley, oats, and wheat. For smaller-seeded grasses (annual ryegrass, pearl millet, foxtail millet), do not exceed more than 5% (by weight) of the overall permanent seeding mix. Cereal rye generally should not be used as a nurse crop, unless planting will occur in very late fall beyond the seeding dates for other temporary seedings. Cereal rye has allelopathic properties that inhibit the germination and growth of other plants. If it must be used as a nurse crop, seed at 1/3 of the rate listed above.
3) Oats are the recommended nurse crop for warm-season grasses.
4) For sandy soils, plant seeds at twice the depth listed above.
5) The planting dates listed are averages for each zone and may require adjustment to reflect local conditions, especially near the boundaries of the zone.

Fertilizer Rate (10-20-20): 4.36 lb / ac (10 lb / 1000 sq ft)
Lime Rate: 2 tons / ac (90 lb / 1000 sq ft)

Permanent Seeding Summary

No.	Species	Application Rate (lb/acre)	Seeding Depth (inches)	Hardiness Zone (from Figure B.3): 6b (10-20-20)			Fertilizer Rate (lb/acre)	Lime Rate
				N	P ₂ O ₅	K ₂ O		
9	Tall Fescue (<i>Lolium arundinum</i>)	60	1/4-1/2 in					
	Hard Fescue (<i>Festuca trachypogon</i>)	40		45 lb/ac (1 lb / 1000 sq ft)	90 lb/ac (2 lb / 1000 sq ft)	90 lb/ac (2 lb / 1000 sq ft)	2 tons/ac (90 lb / 1000 sq ft)	
	Kentucky Bluegrass (<i>Poa pratensis</i>)	40						
	Perennial Ryegrass (<i>Lolium perenne</i>)	20						
8	Tall Fescue (<i>Lolium arundinum</i>)	100	1/4-1/2 in					

NOTE: These seed mixtures are recommended for lawn, athletic fields, recreation areas and some borders, buffers & wetlands. For other types of uses or specific conditions, the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control should be referred to. Each primary face evidence that plans are in compliance with applicable codes and regulations.

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016
Stephen E. Crum

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMARY FACE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS
MEDIMMUNE, INC.
QUINCE ORCHARD PARK-The Ridges
CIVIL
CONCEPT AND PRELIMINARY SOIL EROSION & SEDIMENT CONTROL PLAN

CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS SEDIMENT EROSION CONTROL
APPLICATION NO. _____
CONCEPT PLAN PRELIMINARY PLAN
APPROVAL DATE: _____, 2015
SCALE: NTS DATE: 6/17/15
DRAWN BY: JDS APPROVED: _____
MEDIMMUNE, INC. DRAWING NO.: 500-000-C332 REV.: A

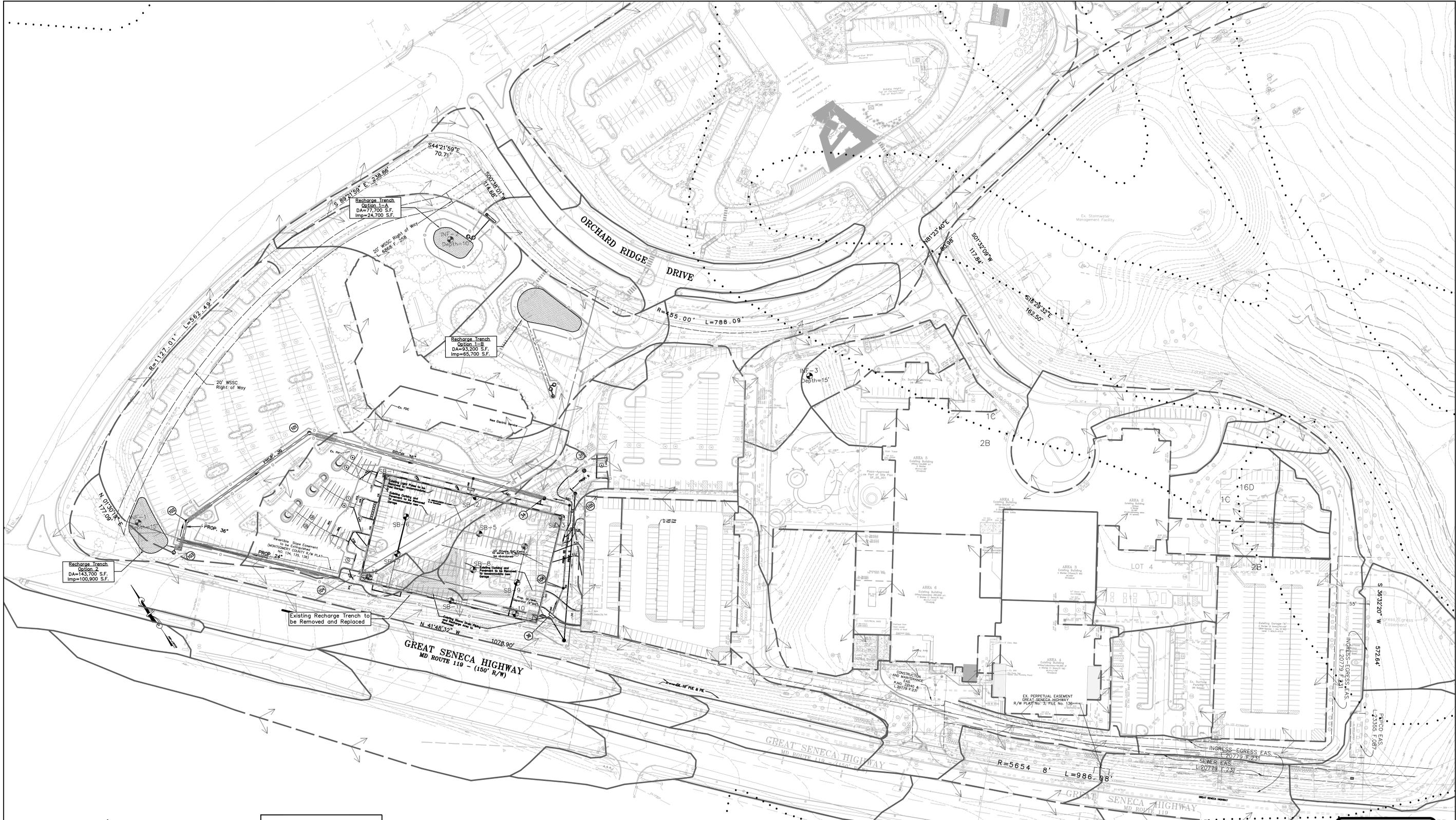
REVISIONS	DWN	CK	CK	APP	NO	DATE	REVISIONS	DWN	CK	CK	APP
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MHG Macris, Hendricks & Glascock, P.A. Engineers & Planners Landscape Architects & Surveyors
9220 Wightman Road, Suite 120 Montgomery Village, Maryland 20886-1279
Phone 301.670.0840 Fax 301.948.0693 www.mhgapa.com



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MEDIMMUNE, INC. QUINCE ORCHARD PARK-The Ridges
CIVIL
CONCEPT AND PRELIMINARY SOIL EROSION & SEDIMENT CONTROL PLAN

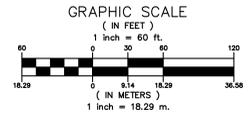


SWM LEGEND

- Existing Contour
- Proposed Contour
- Limits of Disturbance
- Proposed Drainage Divide
- Existing Drainage Divide
- Soils Boundary
- Soil Boring/Infiltration Test Location
- Proposed Storm Drain to be wrapped in BioBarrier

SOIL KEY

Mapping Unit	Soil Name	Hydric?	Highly Erodible?	Hydrologic Group?
2B	Glenelg silt loam, 3 to 8 percent slopes	No	No	B
1C	Gaia silt loam, 8 to 15 percent slopes	No	No	B
16D	Brinklow-Blocktown channery silt loams, 15 to 25 percent slopes	No	Yes	C



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Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #20

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016

Stephen E. Crum

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
STORMWATER MANAGEMENT
APPLICATION NO. SWM-2015-2015
CONCEPT PLAN PRELIMINARY PLAN
APPROVAL DATE

NO.	DATE	REVISIONS	DWN	CK	APP	NO.	DATE	REVISIONS	DWN	CK	APP
A	4/19/15	Submit Pre-Application to City / Garage C									

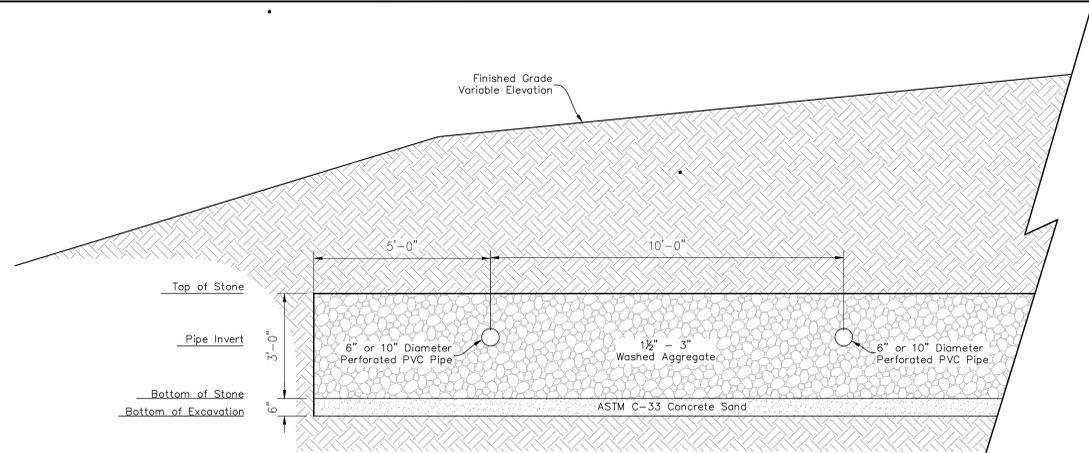
MHG Macris, Hendricks & Glascock, P.A.
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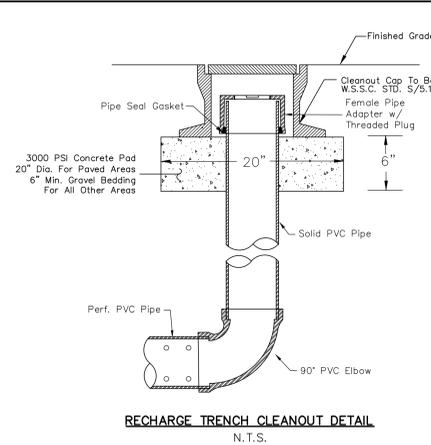
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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
CIVIL
CONCEPT AND PRELIMINARY
STORMWATER MANAGEMENT PLAN

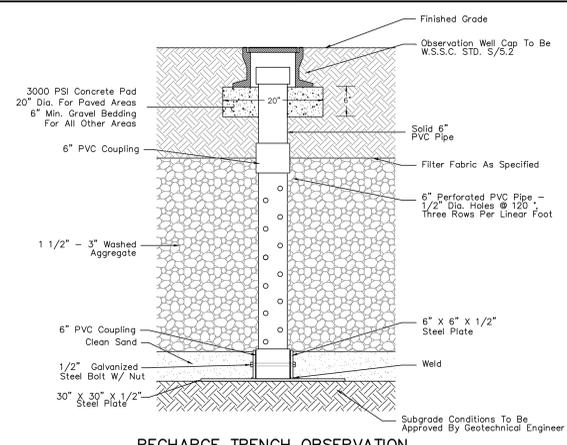
SCALE: 1"=60'
DATE: 6/19/15
DRAWN BY: AEJ
APPROVED:
MEDIMMUNE, INC. DRAWING NO.:
500-000-C333
REV.: A



SWM Recharge Trench - Typical Cross-Section
Not To Scale



RECHARGE TRENCH CLEANOUT DETAIL
N.T.S.



RECHARGE TRENCH OBSERVATION WELL DETAIL
Not To Scale

Construction Specification For Recharge Structures

Timing
An recharge trench shall not be constructed or placed in service until all of the contributing drainage area has been stabilized and approved by the responsible inspector.

Trench Preparation
Excavate the trench to the design dimensions. Excavated materials shall be placed away from the trench sides to enhance trench wall stability. Large tree roots must be trimmed flush with the trench sides in order to prevent fabric puncturing or tearing during subsequent installation procedure. The side walls of the trench shall be roughened where sheared and sealed by heavy equipment.

Fabric Laydown
The filter fabric roll must be cut to the proper width prior to installation. The cut width must include sufficient material to conform to trench perimeter irregularities and for a 6-inch minimum top overlap. Place the fabric roll over the trench and unroll a sufficient length to allow placement of the fabric down into the trench. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the lined trench open during windy periods. When overlaps are required between rolls, the upstream roll should lap a minimum of 2 feet over the downstream roll in order to provide a shingled effect. The overlap ensures fabric continuity or to ensure that the fabric conforms to the excavation surface during aggregate placement and compaction.

Aggregate Placement and Compaction
The stone aggregate should be placed in lifts and compacted using plate compactors. As a rule of thumb, a maximum loose lift thickness of 12 inches is recommended. The compaction process ensures fabric conformity to the excavation sides, thereby reducing the potential for soil piping, fabric clogging, and settlement problems.

Overlapping and Covering
Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6-inch minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.

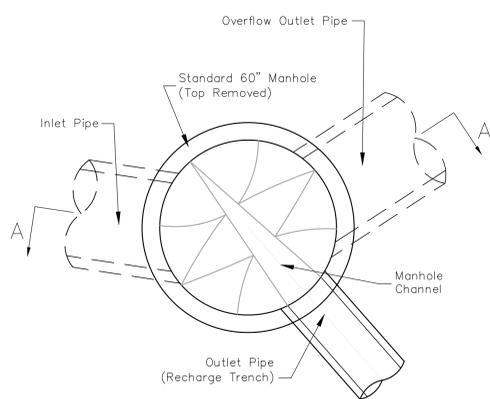
Contamination
Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.

Voids Behind Fabric
Voids can be created between the fabric and excavation sides and shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides. Soil piping, fabric clogging, and possible surface subsidence will be avoided by this remedial process.

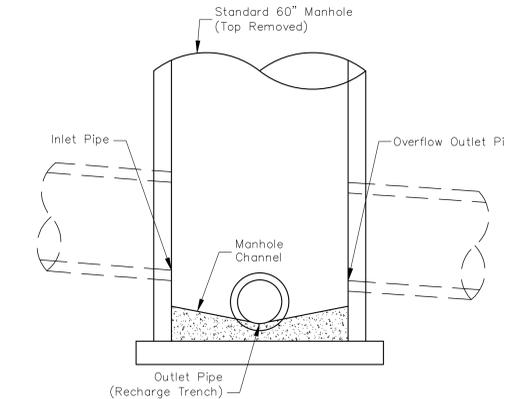
Unstable Excavation Sides
Vertically excavated walls may be difficult to maintain in areas where the soil moisture is high or where soft cohesive or cohesionless soils predominate. These conditions may require laying back of the side slopes to maintain stability; trapezoidal rather than rectangular cross sections may result.

Traffic Control
Heavy equipment and traffic shall be restricted from traveling over the infiltration areas to minimize compaction of the soil.

Observation Well
Observation wells, as shown on this sheet, shall be provided. The depth of the well at the time of installation will be clearly marked on the well cap.

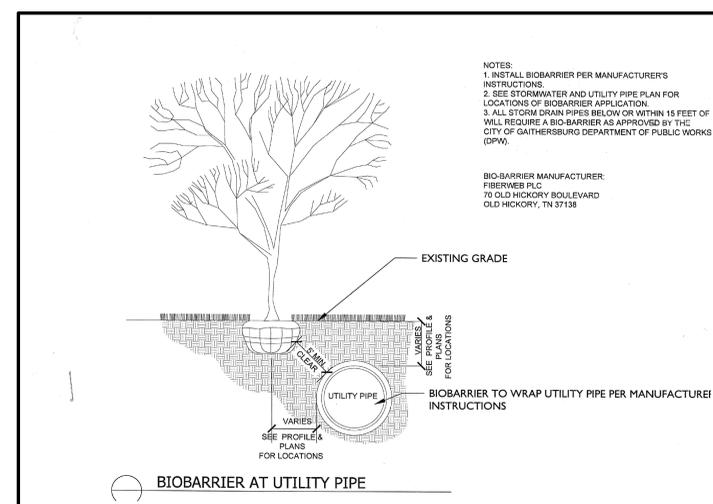


PLAN VIEW

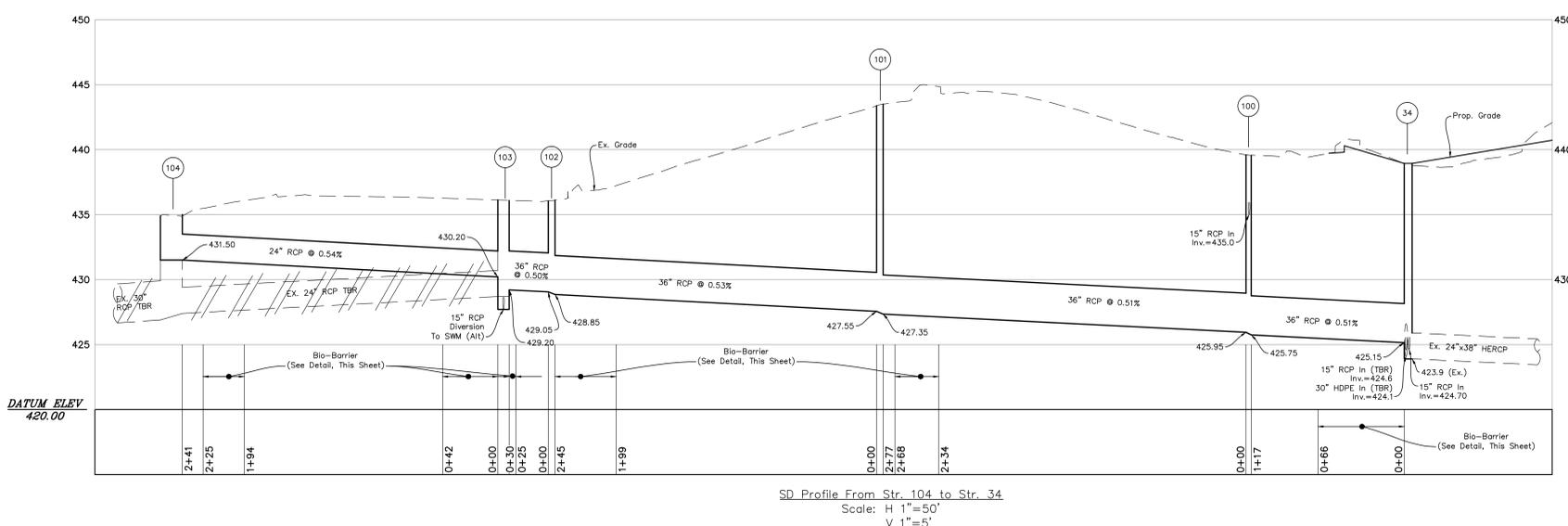


SECTION A-A

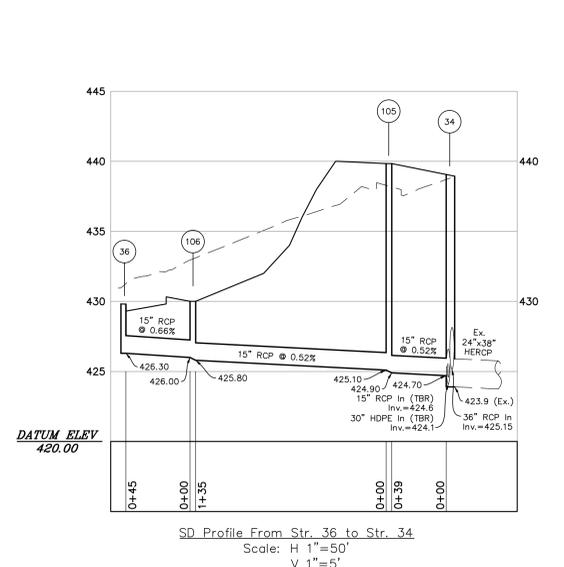
DIVERSION STRUCTURE TYPICAL DETAIL



BIOBARRIER AT UTILITY PIPE



SD Profile From Str. 104 to Str. 34
Scale: H 1"=50'
V 1"=5'



SD Profile From Str. 36 to Str. 34
Scale: H 1"=50'
V 1"=5'

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016

Stephen E. Crum

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS STORMWATER MANAGEMENT
APPLICATION NO. SWM-2015-2015
CONCEPT PLAN PRELIMINARY PLAN
APPROVAL DATE _____
BY _____

NO.	DATE	REVISIONS	DWN	CK	APP	NO	DATE	REVISIONS	DWN	CK	APP
A	4/19/15	Submit Pre-Application to City / Garage C									

MHG Macris, Hendricks & Glascock, P.A.
Engineers ■ Planners
Landscape Architects ■ Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland 20886-1279
Phone 301.670.0840
Fax 301.948.0693
www.mhgpa.com

DESMAN ASSOCIATES

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MEDIMMUNE, INC.
QUINCE ORCHARD PARK-The Ridges
CIVIL CONCEPT AND PRELIMINARY STORMWATER MANAGEMENT PLAN

SCALE: NTS DATE: 6/19/15
DRAWN BY: AEJ APPROVED:
MEDIMMUNE, INC. DRAWING NO.: 500-000-C334 REV: A