

  
JOINT PUBLIC HEARING  
SDP-7059-2015  
MCC & PC  
SUNSHINE STATE  
MCC & PC  
MCC & PC

 MedImmune  
→ SHIPPING AND RECEIVING ONLY  
↑ VISITORS (Next Right)



  
**JOINT PUBLIC HEARING**  
 MAYOR & CITY COUNCIL / PLANNING COMMISSION  
 SRP-7059-2015 | MEDIMMUE WAY  
 SCHEMATIC DEVELOPMENT PLAN  
 MONDAY 7/20/2015 7:30 P.M.  
GALLATIN COUNTY CITY HALL  
 31 NORTH SUMMIT AVENUE  
 BOZEMAN, MONTANA 59717-1000



  
CITY OF CARY  
www.cityofcary.com

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**JOINT PUBLIC HEARING**  
MAYOR & CITY COUNCIL / PLANNING COMMISSION

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SUP-7259-2015      LINNAMINE WAY  
SCHEMATIC DEVELOPMENT PLAN

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MONDAY 7/20/2015      7:30 P.M.

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CITY HALL  
30 SOUTH HAMPDEN AVENUE  
CARY, NC 27513

  
**JOINT PUBLIC HEARING**  
MAYOR & CITY COUNCIL, PLANNING COMMISSION  
SDP-7059 MESHIMUNE GARAGE  
- 2015 - MESHIMUNE WAY  
FILE NUMBER TITLE  
SCHEMATIC DEVELOPMENT PLAN  
APPLICATION TYPE  
MONDAY 7/20/2015  
DAY DATE  
7:30 P.M.  
GAITHERSBURG CITY HALL  
31 SOUTH SUMMIT AVENUE  
\*SUBJECT TO CHANGE  
CALL 301-258-6330  
www.gaithersburgmd.gov



Gaithersburg  
A CHARACTER-ORIENTED CITY

## JOINT PUBLIC HEARING

MAYOR & CITY COUNCIL / PLANNING COMMISSION

SDP-7059-2015

1 MEDIMUNE WAY

SCHEMATIC DEVELOPMENT PLAN

MONDAY 7/20/2015

7:30 P.M.

GAITHERSBURG CITY HALL  
31 SOUTH SUMMIT AVENUE  
www.gaithersburgmd.gov 301-258-6330

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**MEMORANDUM TO:** Mayor and City Council  
Planning Commission

**FROM:** Caroline Seiden, Planner

**DATE:** July 2, 2015

**SUBJECT:** Preliminary Background Report: Application SDP-7059-2015;  
Medimmune Parking Garage "C"

**APPLICANT/OWNER**

Medimmune Inc.  
One Medimmune Way  
Gaithersburg MD, 20878

**TAX MAP REFERENCE:**

Tax Map: FS13

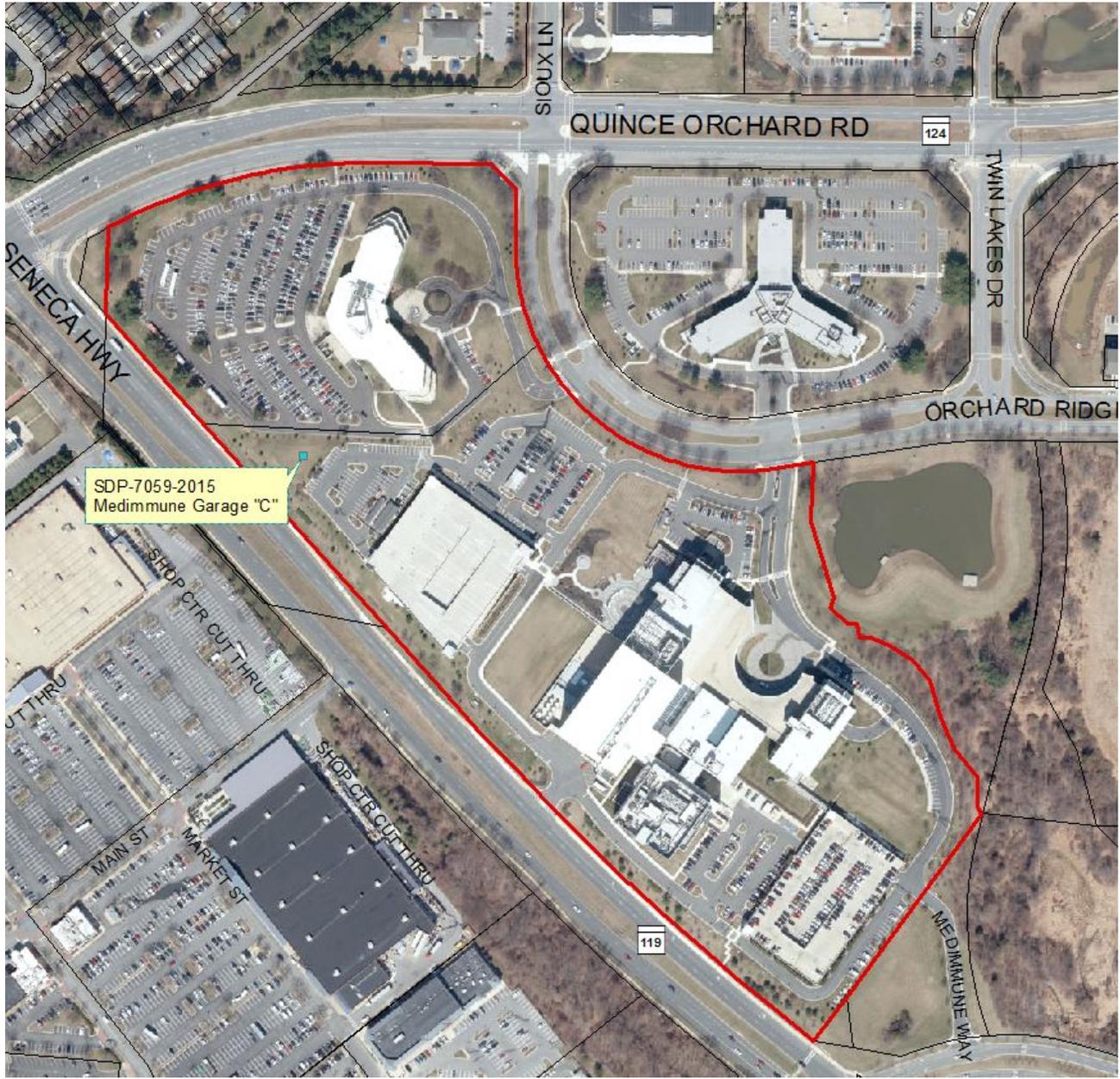
**TAX ACCOUNT NUMBER:**

Lot 1 – ID #09-02725335  
Lot 6– ID #09-03646461

**REQUEST**

Medimmune has submitted Schematic Development Plan (SDP) application SDP-7059-2015. This application, proposes the construction of a structured parking facility to serve future Medimmune/AstraZeneca development. The plan proposes a 1,386-space parking garage with seven levels adjacent to existing Garage "B". The proposed structure straddles two properties, both of which are zoned MXD. A Preliminary Subdivision plan has been submitted as part of this application in order to consolidate the two properties, located at 200 Orchard Ridge Drive and 1 Medimmune Way within the Medimmune campus, into one lot. The consolidated property will be approximately 31.87 acres.

## PROJECT BACKGROUND



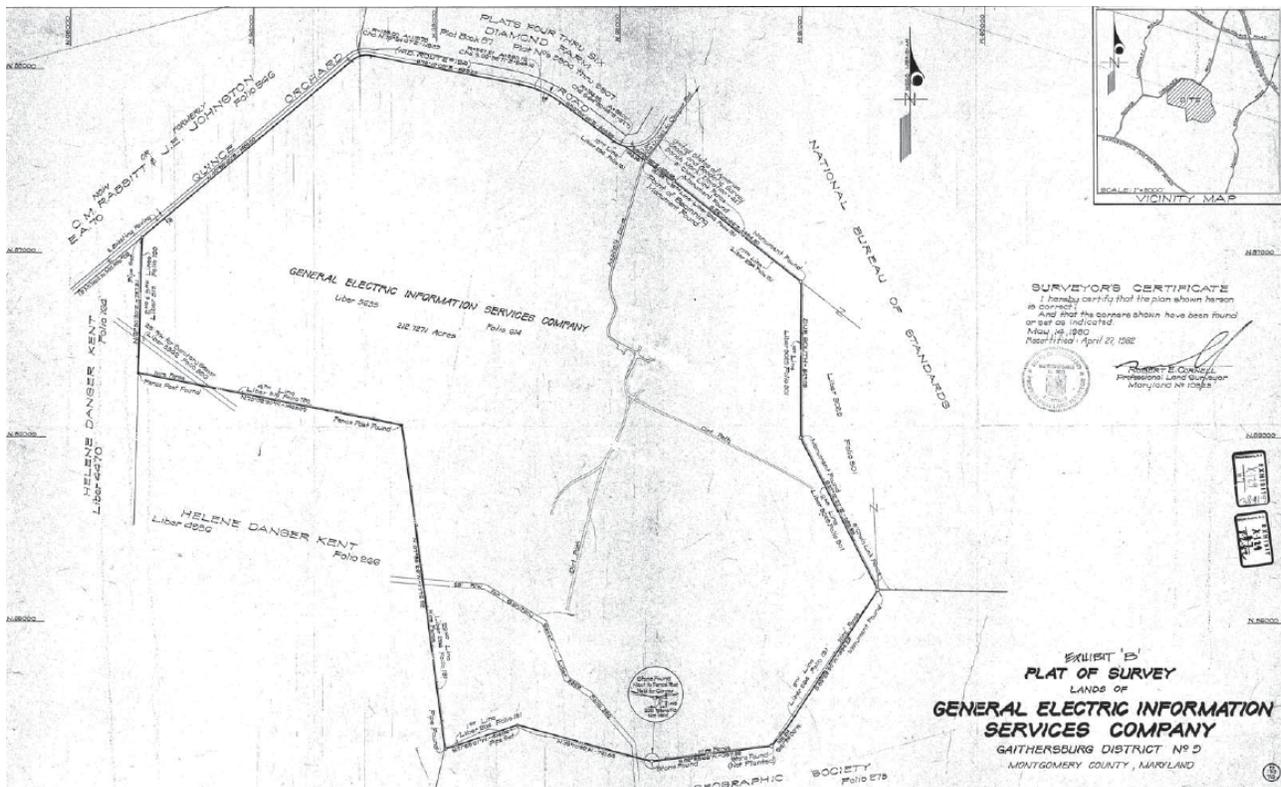
Medimmune, beginning in 2002, began purchasing the parcels comprising the Quince Orchard Corporate Park. With all the parcels under ownership, (62.6 acres) Medimmune explored options with the City to further expand through an additional X-129 Amendment in order to create a corporate campus. The 6<sup>th</sup> Amendment was approved March 8, 2013. The amendment revised the density of development allowed on the Medimmune properties; dedicated new City parkland; and included transportation and community improvements among other details<sup>1</sup>.

<sup>1</sup> Ex. 7

The Gaithersburg campus was declared AstraZeneca's R&D center of excellence in the Americas. As such, Medimmune has expanded its offices and lab space in recent years to support its growth. With this current and future growth has been the need to expand the campus' infrastructure in order to support additional growth in staff and new office building expansion. The applicant has submitted plans for a new parking garage in advance of new office and lab development so that it can accommodate the future growth before it occurs.

**ANNEXATION, ZONING AND SITE PLAN HISTORY:**

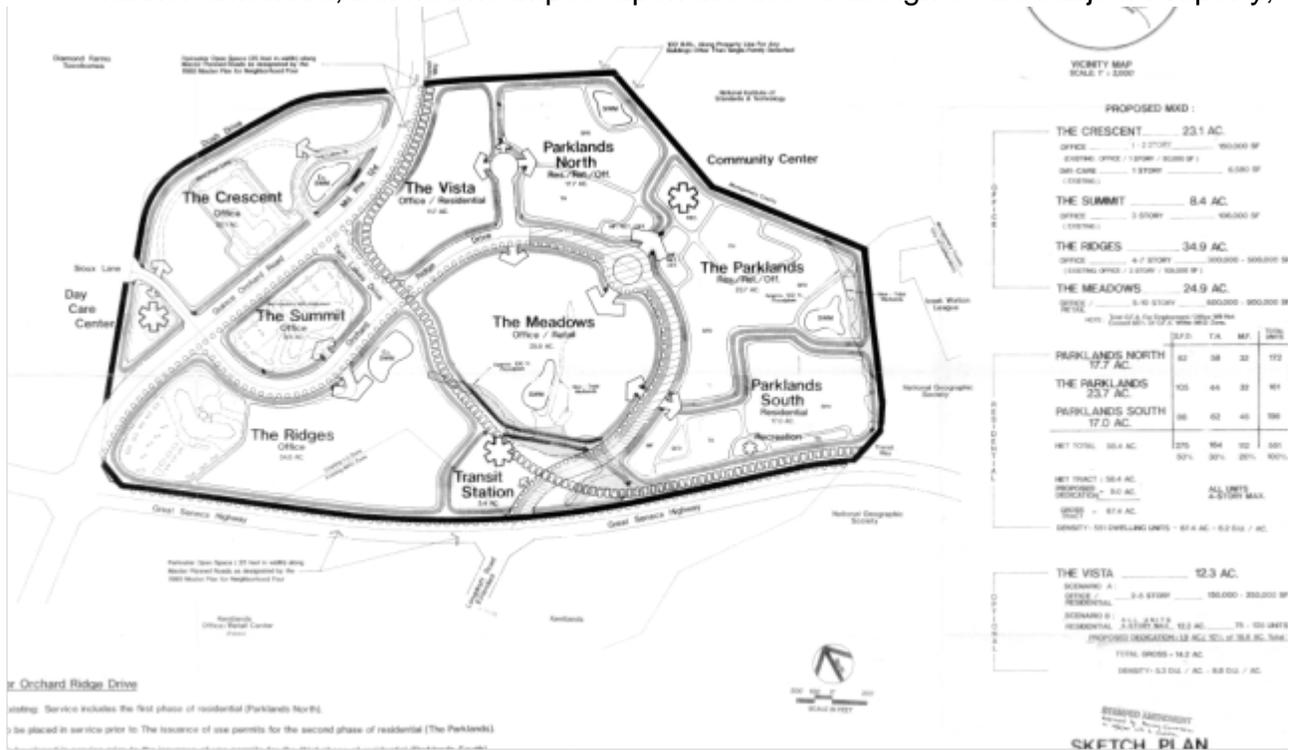
The Mayor and City Council approved application X-129, the Quince Orchard Park (then GEISCO Property), annexation and established I-3 zoning for the entire property by resolution R-60-82 and ordinance O-14-82 respectively on September 7, 1982.



The annexation was followed on October 22, 1982 with the approval of the X-129 Annexation Agreement which established certain dedications to be made and dedications required. Subsequently, the Annexation Agreement has been amended six times. These various amendments concerned different development rights and associated issues and site development plans. The following addresses the amendments and associated development applications:

- March 6, 1985: Final Site Plan application S-760 receives approval for 101 Orchard Ridge Drive;

- April 1, 1987: Amendment to Final Site Plan application S-760(C) receives approval for 101 Orchard Ridge Drive. This approval reflects the property use and design as is found today;
- August 5, 1991: First X-129 Amendment approved. Property is partitioned into four separate parcels by conveyance to among others GERECCO, General Electric Real Estate Credit Corporation;
- December 20, 1993: Zoning Map Amendment Z-275 and associated sketch plan approved for Quince Orchard Corporate Center, by ordinance O-22-93. This application granted MXD zoning to approximately 174 acres, but did not include 101 Orchard Ridge Drive which remained zoned I-3. The Z-275 Sketch Plan was then further amended, but had no impact upon the use or design of the subject Property;



- March 19, 1996: 2<sup>nd</sup> X-129 Amendment approved. This amendment further defined density/development rights and fulfilled a Z-275 condition of approval;
- September 15, 1998: 3<sup>rd</sup> X-129 Amendment approved. This amendment only concerned the residential sections of Quince Orchard Park;
- July 2, 2001: Schematic Development Plan application SDP-01-002 receives approval for first phase of Medimmune development on the Ridges section, by resolution R-62-01;
- August 15, 2001: Final Site Plan application SP-01-0010 receives approval for Phase I;
- March 11, 2002: 4<sup>th</sup> and 5<sup>th</sup> X-129 Amendments approved. These amendments refined phasing requirements and road construction responsibilities;
- June 16, 2003: Schematic Development Plan application SDP-03-003 receives approval for all three phases of Medimmune development on the Ridges section, by resolution R-48-03;

- February 22, 2005: Schematic Development Plan application SDP-04-003 receives approval to amend phases II and III of Medimmune development on the Ridges section, by resolution R-14-05;
- March 16, 2005: Final Site Plan application SP-05-0001 receives approval for Phase II;
- October 1, 2008: Schematic Development Plan application SDP-08-002 and SP-08-0006 receive Planning Commission approval to amend phase III of Medimmune development on the Ridges section. This SDP and SP establish the constructed Medimmune condition found today; and
- May 18, 2015: Schematic Development Plan application SDP-6905-2015 receives approval for a child care facility up to 20,000 square feet to serve the Medimmune/AstraZeneca employees on the Meadows section, by Resolution R-34-15.

### **Sixth X-129 Annexation Agreement:**

Medimmune, beginning in 2002, began purchasing the parcels comprising the Quince Orchard Corporate Park. The timeline is as follows:

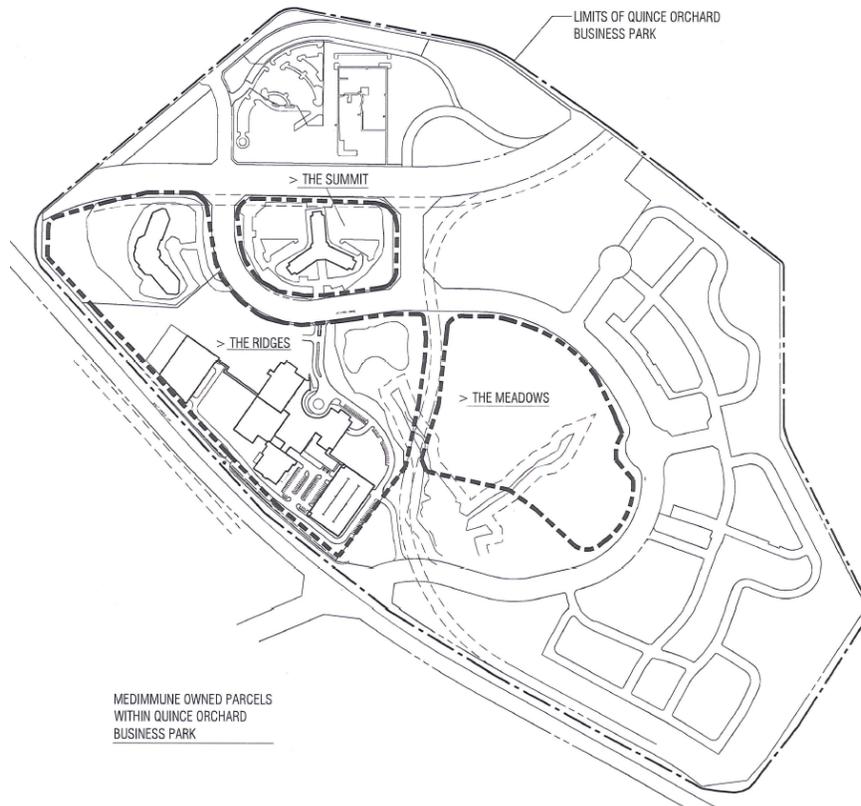
- May 2002: Initial purchase of Ridges portion
- September 2003: Additional Ridges portion
- December 2007: Purchase of Meadows parcel
- December 2008: Purchase of Summit parcel (subject property)
- December 2010: Purchase of remaining Ridges parcel (200 Orchard Ridge Drive)

With all the parcels under ownership, (62.6 acres) Medimmune explored options with the City to further expand through an additional X-129 Amendment. The 6<sup>th</sup> Amendment was approved March 8, 2013. The amendment revised the density of development allowed on the Medimmune properties; dedicated new City parkland; and included transportation and community improvements among other details.

The revised density calculations removed the existing square foot limitations and instead imposed the density permitted under the MXD zone in effect at the time of the Amendment for a floor area ratio (FAR) of 0.75. In calculating the new allowable density, the acreage of the subject property was included. Section 5 of the 6<sup>th</sup> Amendment concerns the subject SDP-7059-2015 application.

Section 5 states:

“Right to Develop MedImmune Properties. The City agrees that, subject to compliance with applicable laws and regulations, Medimmune has the right to develop the Medimmune Properties in substantial conformance with this Amendment. The concept “bubble plan” attached hereto as Exhibit A shall constitute an approved sketch plan for the Medimmune Properties...”



The following chart reflects the new development rights per the amended annexation agreement. The Ridges, location of the subject application, has a development cap of 1.2 million to 2.1 million square feet of office/lab use. In addition, Section 5 establishes a height limit for the Ridges of four to nine stories.

## PROPOSED ALLOCATION OF DEVELOPMENT RIGHTS

(BASED ON SKETCH PLAN Z-275C)

### > THE RIDGES

EXISTING BUILT  
818,000 SF  
OFFICE / LAB

CURRENT ALLOWABLE  
855,000 SF / 4 - 7 STORIES  
OFFICE / LAB

PROPOSED ALLOWABLE  
1,200,000 - 2,100,000 SF / 4 - 9 STORIES  
OFFICE / LAB

### > THE SUMMIT

EXISTING BUILT  
102,000 SF  
OFFICE

CURRENT ALLOWABLE  
106,000 SF / 3 STORIES  
OFFICE

PROPOSED ALLOWABLE  
106,000 - 440,000 SF / 4 - 7 STORIES  
OFFICE / LAB

### > THE MEADOWS

EXISTING BUILT  
0 SF

CURRENT ALLOWABLE  
150,000 - 325,000 SF / 3 - 8 STORIES  
OFFICE / RETAIL

PROPOSED ALLOWABLE  
150,000 - 300,000 SF / 3 - 5 STORIES  
OFFICE / LAB

### OVERALL PROPOSED DEVELOPMENT

EXISTING BUILT  
920,000 SF

CURRENT ALLOWABLE  
1,111,000 - 1,286,000 SF

PROPOSED ALLOWABLE  
2,426,000 SF

On May 18, 2015, SDP-6905-2015 was approved for a child care center up to 20,000 square feet in The Meadows section of Quince Orchard Park. This was the first SDP approved since the Sixth Annexation Agreement. Because it is located in the Meadows portion of the Medimmune Campus, it has no effect on the overall density or square footage allowed for The Ridges section of Quince Orchard Park, the location of Parking Garage "C".

## **GENERAL INFORMATION**

### **LOCATION:**

The Properties are located at 200 Orchard Ridge Drive and 1 Medimmune Way. Adjoining and confronting properties surrounding the Property are zoned MXD and improved with a mix of use types. The City owns open space property directly to the east of the site that is comprised of both a stream valley buffer and Category I forest conservation easement. Additional portions of the Medimmune campus are located in close proximity to the north and east of the Properties. The site itself is improved with 818,002 sf of office and lab space.

### **ADEQUATE PUBLIC FACILITIES ORDINANCE (APFO):**

#### **Water and Sewer Services**

The Property is located in water and sewer service area categories W-1 and S-1, and the project complies with Section 24-247 - Water and Sewer Service:

- a) Water Service – The proposed development does not anticipate the need for a suppression system and will not result in a significant increase in fire or domestic flow. The proposed parking structure will contain a number of hose bibs to maintain the garage, but will have nominal impact on flows. The site is presently being served by an existing twelve inch WSSC waterline within Quince Orchard Road. The existing waterline appears to be adequate to serve the existing and proposed development for both domestic and fire flows. The parking garage will be served by a proposed +/-2” domestic waterline.
  
- (b) Sewer Service – The proposed parking garage will be served by connecting into an existing eight inch sanitary sewer on the southern border of the Property. A new six inch gravity flow sewer will be constructed to provide service by the WSSC Plumbing Code. The proposed development will not result in an impact to the transmission capacity available at the Blue Plains Wastewater Treatment plant, Seneca Wastewater Treatment Plant, or other WSSC facilities.

#### **Fire and Emergency Services**

The Medimmune site resides within the ten (10) minute response areas of the Montgomery County Fire and Rescue Stations, Station 8 (Gaithersburg-Montgomery village) and 31 (Rockville-Quince Orchard).

#### **Schools**

Adequacy of school capacity is not applicable since the project does not include residential development.

## Traffic Impacts

Sections 10 and 11 of the 6<sup>th</sup> Amendment address transportation impacts. Section 10 defines that Medimmune is responsible for any immediate transportation improvements necessary to facilitate a development project; however, Medimmune is allowed to develop up to 138,518 SF of new building area without any further dedications or payments related to transportation network improvements. Section 11 defines that Medimmune has no further APFO obligations related to transportation outside of the requirements of Section 10. The recently approved schematic development plan for a 20,000 SF childcare facility will be deducted from the 138,518 SF of new building area. The proposed parking garage is considered accessory to any additional square footage and, therefore, does not count toward the transportation requirements of Section 10. The applicant has submitted a traffic distribution study that staff will be analyzing.

## SCHEMATIC DEVELOPMENT PLAN PROPOSAL:



The application, SDP-7059-2015, specifically defines the proposed parking garage “C,” including an applicant request/justification statement<sup>2</sup>, conceptual architectural elevations<sup>3</sup>,

<sup>2</sup> Ex. 3

<sup>3</sup> Ex. 16

a parking waiver request<sup>4</sup>, and traffic analysis<sup>5</sup>. The site will be served by existing access points along Great Seneca Highway and Orchard Ridge Drive. The plan proposes a seven-story parking garage with six levels above ground and one partially below grade level. The parking facility will hold 1,386 parking spaces, including spaces for fuel efficient vehicles, charging stations, handicapped spaces, motorcycles, scooters and bicycles, in accordance with the City's parking requirements. The garage is similar in design to other existing garages on the Medimmune campus and is also designed to be compatible with the existing office and lab buildings on site. Final building elevations will be determined at final site plan.

Due to the steep slopes along Great Seneca Highway at the Ridges section of the Medimmune campus, Parking Garage "C" is most visible from its southern façade. The full seven stories of the parking structure will be visible from Great Seneca Highway.



Image from Google Maps



Image from Google Maps

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<sup>4</sup> Ex. 4

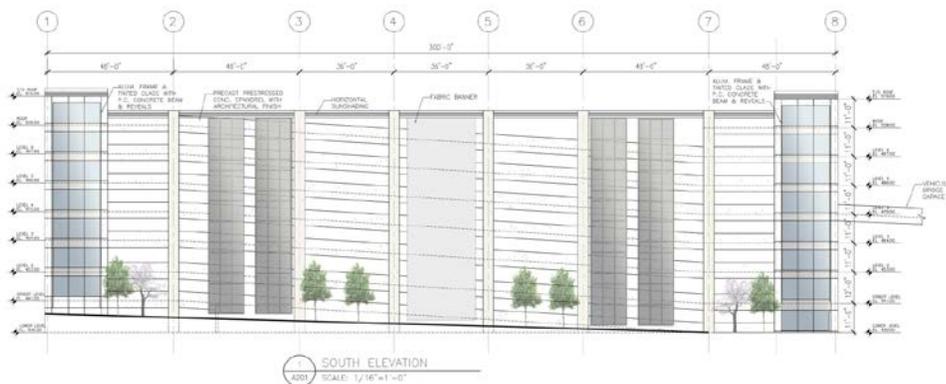
<sup>5</sup> Ex. 9

A landscape plan for the project includes a mix of evergreen and deciduous plantings to complement the existing landscape along Great Seneca Highway to reduce the visual impact of the proposed facility from the public roadway.



### Conceptual Elevations<sup>6</sup>:

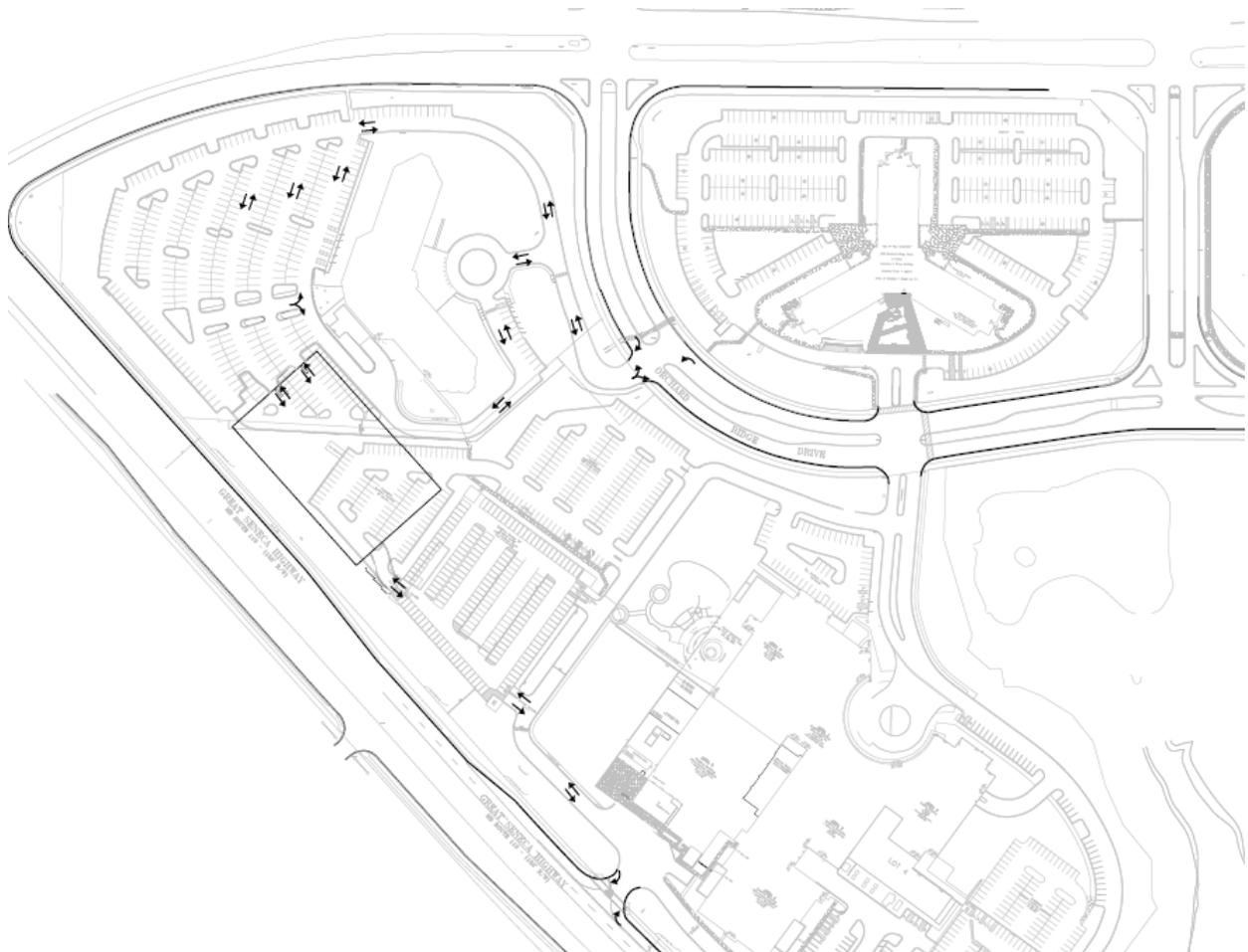
The Applicant has proposed materials for the parking garage similar to those used on the adjacent Garage "B," including precast concrete, metal panels, aluminum, and tinted glass, so that the new structure is integrated into the existing design for the Medimmune campus. The parking garage will be anchored by stair towers and all four sides, similar to those existing on Garage "B".



<sup>6</sup> Ex. 16 and 30

## Traffic Circulation<sup>7</sup>:

No new entrances into the Medimmune campus are proposed for the new garage. Vehicles will continue to use the existing entrances at Great Seneca Highway and Orchard Ridge Drive to access the garage. The first access point is at Orchard Ridge Drive northeast of the subject site and is a full movement intersection. The second access point is at Great Seneca Highway southwest of the subject site and is a right-in/right-out only intersection. Once a vehicle is within the Medimmune campus, the proposed parking garage is accessible from four points, on three different levels of the garage. On the southeast side of the garage, there are two connections to Garage C through existing Garage B. Vehicles may enter and exit the new garage through Level 2 of existing Garage "B." Level 2 of Garage B aligns with the Lower Level of proposed Garage "C." The second connection between Garages B and C is intended to assist the user that circulates garage B, cannot find a space, and wishes to search for a space in Garage C. That spans between Level 6 of Garage B and Level 4 of Garage C. Vehicles may also access the other side of the proposed garage through two drive aisles on a modified surface parking lot on the northwest side of the garage at Street Level .



<sup>7</sup> Ex. 13

## **Parking Waiver**

In accordance with the City's new parking ordinance, the applicant has submitted a request for a parking waiver under Section 24-222A of the Gaithersburg Zoning Ordinance. Based on the parking tabulation summary provided in the Schematic Development Plan, the total parking required on the property, based on existing square footage, is approximately 1,933 spaces. Pursuant to Section 24-219(b) of the Zoning Ordinance, the maximum commercial parking permitted without a waiver is 10% more than the minimum required spaces, or 2,126 parking spaces. As part of the Sixth Amendment to the Annexation Agreement, Medimmune's required parking ratio is 1 space per 400 square feet. The ratio accounts for the additional square footage that many employees use by maintaining both a lab and office space. With the addition of proposed Garage "C" there will be 3,627 spaces on the subject property, necessitating a parking waiver of 1,501 spaces. Because the garage will be built to meet the future parking demands of additional office and lab space, the parking waiver is, in effect, temporary.

### **SUMMARY:**

The Applicant has submitted for consideration schematic development plan application SDP-7059-2015. This is a complete application as defined by § 24-160D.9.(b) Application for Schematic Development Plan Approval of the City Code. A joint public hearing before the Mayor and City Council and the Planning Commission has been scheduled for July 20, 2015.

Staff will continue to work with the applicant on refining the plan as needed. Staff has identified details of the plan that need further refinement, specifically:

- Address any applicable WSSC Comments;
- Address conflicts with CCT Right-of-Way and Limits of Disturbance
- Refine vehicle stacking at access points to Garages "B" and "C"
- Continue to identify and design all necessary improvements to accommodate additional vehicles to and through the site