


JOINT PUBLIC HEARING
SDP-7059-2015
MCC & PC
SUNSHINE STATE
MAY 14, 2015 10:00 AM

 MedImmune
→ SHIPPING AND RECEIVING ONLY
↑ VISITORS (Next Right)




JOINT PUBLIC HEARING
 MAYOR & CITY COUNCIL / PLANNING COMMISSION
 SRP-7059-2015 | MEDIMMUE WAY
 SCHEMATIC DEVELOPMENT PLAN
 MONDAY 7/20/2015 7:30 P.M.
GALLATIN COUNTY CITY HALL
 31 NORTH SUMMIT AVENUE
 BOZEMAN, MONTANA 59717-1000




CITY OF CARY
www.cityofcary.com

JOINT PUBLIC HEARING
MAYOR & CITY COUNCIL / PLANNING COMMISSION

SUP-7259-2015 LINNAMINE WAY
SCHEMATIC DEVELOPMENT PLAN

MONDAY 7/20/2015 7:30 P.M.

CITY OF CARY CITY HALL
30 SOUTH HAMPDEN AVENUE
CARY, NC 27513-2000
919.467.8200


JOINT PUBLIC HEARING
MAYOR & CITY COUNCIL, PLANNING COMMISSION
SDP-7059 MESHIMUNE GARAGE
- 2015 - MESHIMUNE WAY
FILE NUMBER TITLE
SCHEMATIC DEVELOPMENT PLAN
APPLICATION TYPE
MONDAY 7/20/2015
DAY DATE
7:30 P.M.
GAITHERSBURG CITY HALL
31 SOUTH SUMMIT AVENUE
*SUBJECT TO CHANGE
CALL 301-258-6330
www.gaithersburgmd.gov



Gaithersburg
A CHARACTER-ORIENTED CITY

JOINT PUBLIC HEARING

MAYOR & CITY COUNCIL / PLANNING COMMISSION

SDP-7059-2015

1 MEDIMUNE WAY

SCHEMATIC DEVELOPMENT PLAN

MONDAY 7/20/2015

7:30 P.M.

GAITHERSBURG CITY HALL
31 SOUTH SUMMIT AVENUE
www.gaithersburgmd.gov 301-258-6330

MEMORANDUM TO: Mayor and City Council
Planning Commission

FROM: Caroline Seiden, Planner

DATE: July 2, 2015

SUBJECT: Preliminary Background Report: Application SDP-7059-2015;
Medimmune Parking Garage "C"

APPLICANT/OWNER

Medimmune Inc.
One Medimmune Way
Gaithersburg MD, 20878

TAX MAP REFERENCE:

Tax Map: FS13

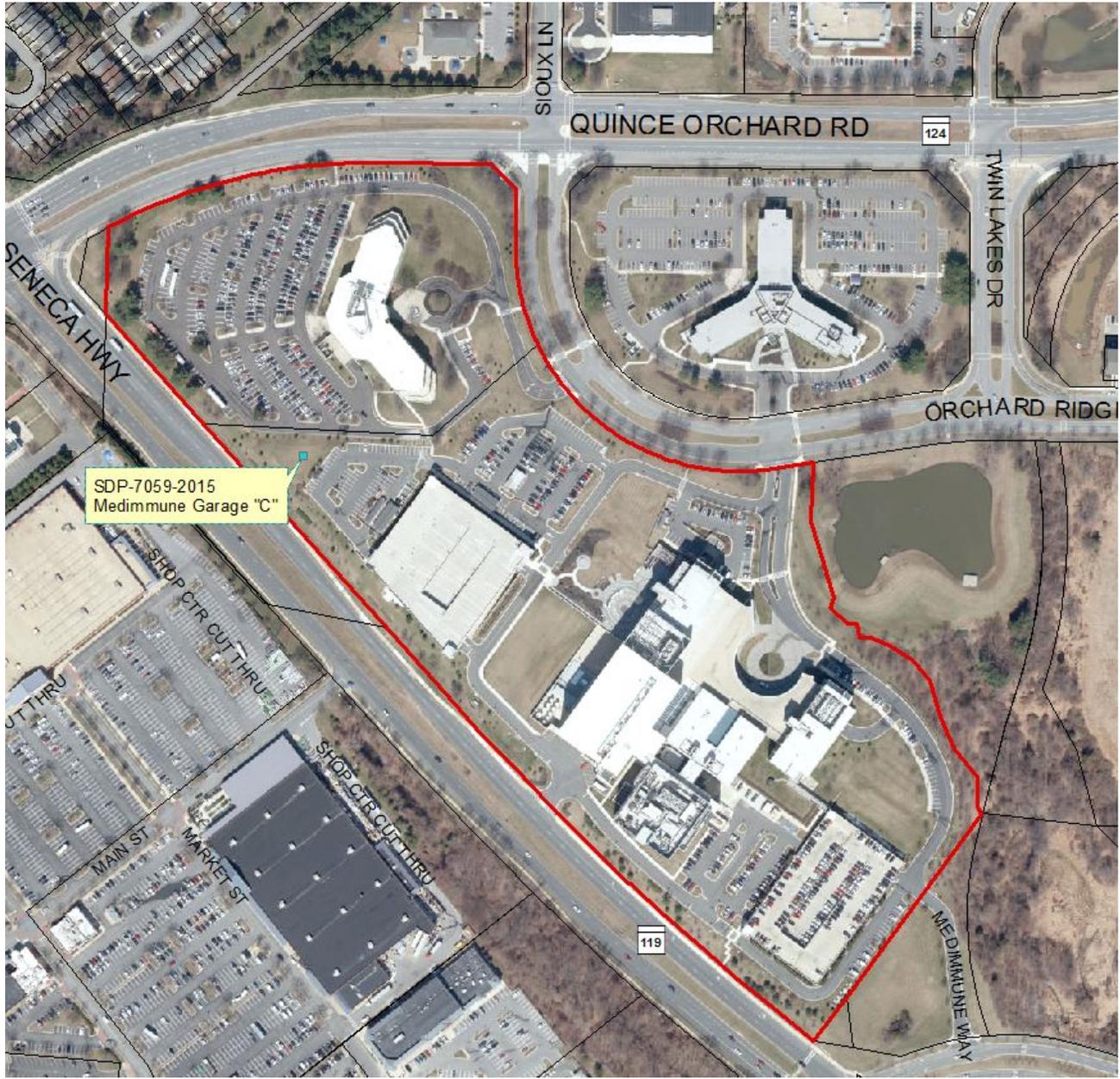
TAX ACCOUNT NUMBER:

Lot 1 – ID #09-02725335
Lot 6– ID #09-03646461

REQUEST

Medimmune has submitted Schematic Development Plan (SDP) application SDP-7059-2015. This application, proposes the construction of a structured parking facility to serve future Medimmune/AstraZeneca development. The plan proposes a 1,386-space parking garage with seven levels adjacent to existing Garage "B". The proposed structure straddles two properties, both of which are zoned MXD. A Preliminary Subdivision plan has been submitted as part of this application in order to consolidate the two properties, located at 200 Orchard Ridge Drive and 1 Medimmune Way within the Medimmune campus, into one lot. The consolidated property will be approximately 31.87 acres.

PROJECT BACKGROUND



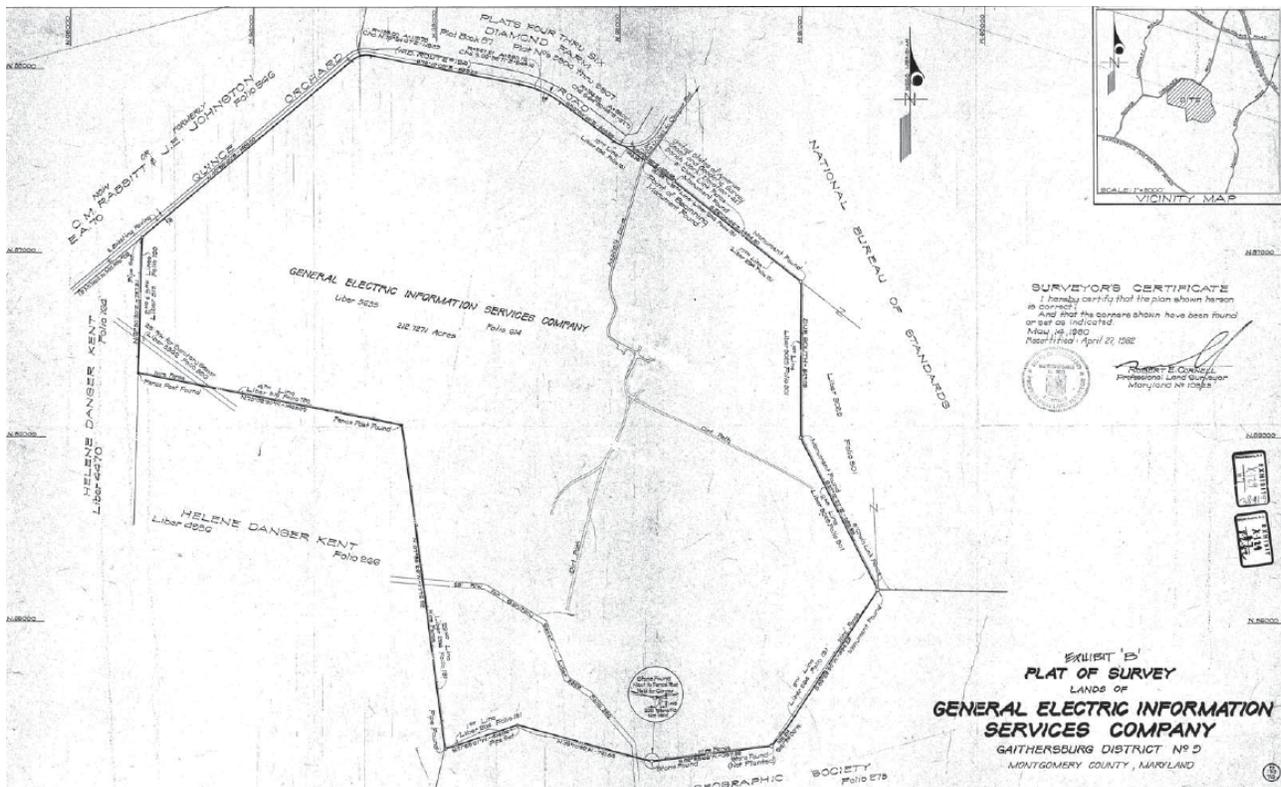
Medimmune, beginning in 2002, began purchasing the parcels comprising the Quince Orchard Corporate Park. With all the parcels under ownership, (62.6 acres) Medimmune explored options with the City to further expand through an additional X-129 Amendment in order to create a corporate campus. The 6th Amendment was approved March 8, 2013. The amendment revised the density of development allowed on the Medimmune properties; dedicated new City parkland; and included transportation and community improvements among other details¹.

¹ Ex. 7

The Gaithersburg campus was declared AstraZeneca’s R&D center of excellence in the Americas. As such, Medimmune has expanded its offices and lab space in recent years to support its growth. With this current and future growth has been the need to expand the campus’ infrastructure in order to support additional growth in staff and new office building expansion. The applicant has submitted plans for a new parking garage in advance of new office and lab development so that it can accommodate the future growth before it occurs.

ANNEXATION, ZONING AND SITE PLAN HISTORY:

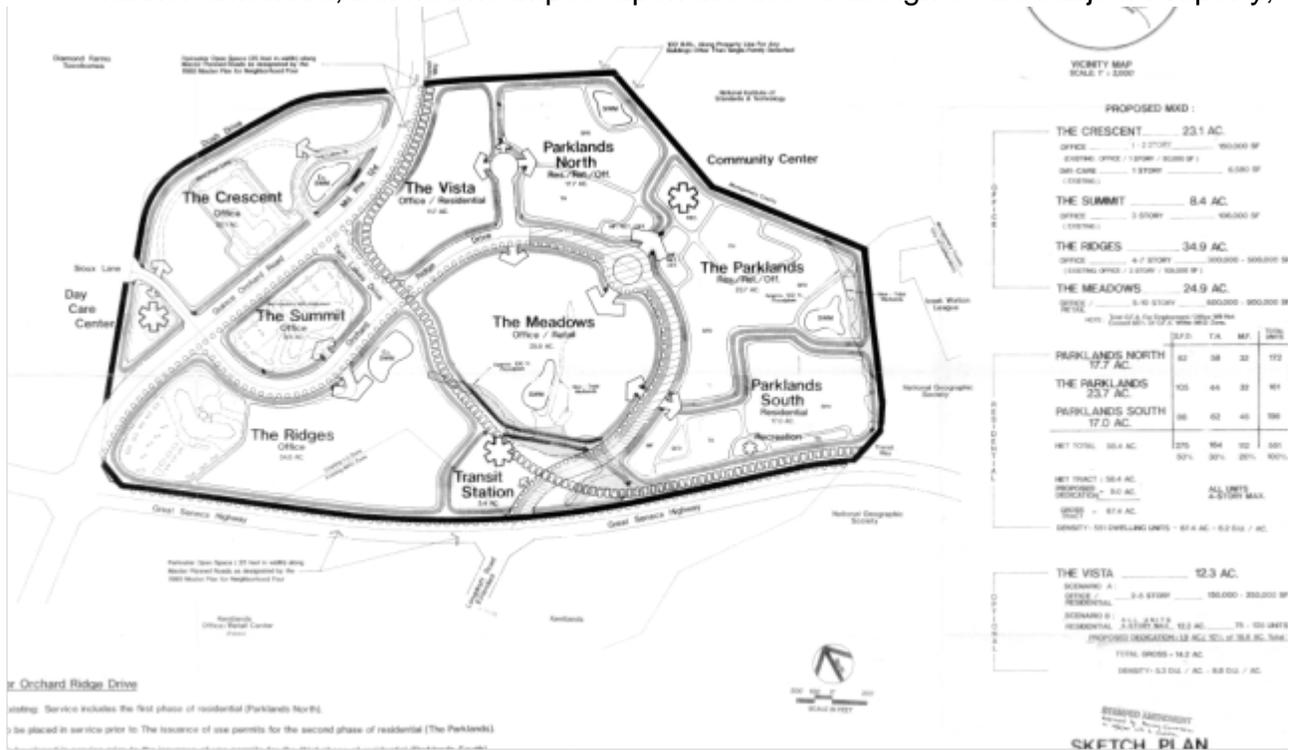
The Mayor and City Council approved application X-129, the Quince Orchard Park (then GEISCO Property), annexation and established I-3 zoning for the entire property by resolution R-60-82 and ordinance O-14-82 respectively on September 7, 1982.



The annexation was followed on October 22, 1982 with the approval of the X-129 Annexation Agreement which established certain dedications to be made and dedications required. Subsequently, the Annexation Agreement has been amended six times. These various amendments concerned different development rights and associated issues and site development plans. The following addresses the amendments and associated development applications:

- March 6, 1985: Final Site Plan application S-760 receives approval for 101 Orchard Ridge Drive;

- April 1, 1987: Amendment to Final Site Plan application S-760(C) receives approval for 101 Orchard Ridge Drive. This approval reflects the property use and design as is found today;
- August 5, 1991: First X-129 Amendment approved. Property is partitioned into four separate parcels by conveyance to among others GERECCO, General Electric Real Estate Credit Corporation;
- December 20, 1993: Zoning Map Amendment Z-275 and associated sketch plan approved for Quince Orchard Corporate Center, by ordinance O-22-93. This application granted MXD zoning to approximately 174 acres, but did not include 101 Orchard Ridge Drive which remained zoned I-3. The Z-275 Sketch Plan was then further amended, but had no impact upon the use or design of the subject Property;



- March 19, 1996: 2nd X-129 Amendment approved. This amendment further defined density/development rights and fulfilled a Z-275 condition of approval;
- September 15, 1998: 3rd X-129 Amendment approved. This amendment only concerned the residential sections of Quince Orchard Park;
- July 2, 2001: Schematic Development Plan application SDP-01-002 receives approval for first phase of Medimmune development on the Ridges section, by resolution R-62-01;
- August 15, 2001: Final Site Plan application SP-01-0010 receives approval for Phase I;
- March 11, 2002: 4th and 5th X-129 Amendments approved. These amendments refined phasing requirements and road construction responsibilities;
- June 16, 2003: Schematic Development Plan application SDP-03-003 receives approval for all three phases of Medimmune development on the Ridges section, by resolution R-48-03;

- February 22, 2005: Schematic Development Plan application SDP-04-003 receives approval to amend phases II and III of Medimmune development on the Ridges section, by resolution R-14-05;
- March 16, 2005: Final Site Plan application SP-05-0001 receives approval for Phase II;
- October 1, 2008: Schematic Development Plan application SDP-08-002 and SP-08-0006 receive Planning Commission approval to amend phase III of Medimmune development on the Ridges section. This SDP and SP establish the constructed Medimmune condition found today; and
- May 18, 2015: Schematic Development Plan application SDP-6905-2015 receives approval for a child care facility up to 20,000 square feet to serve the Medimmune/AstraZeneca employees on the Meadows section, by Resolution R-34-15.

Sixth X-129 Annexation Agreement:

Medimmune, beginning in 2002, began purchasing the parcels comprising the Quince Orchard Corporate Park. The timeline is as follows:

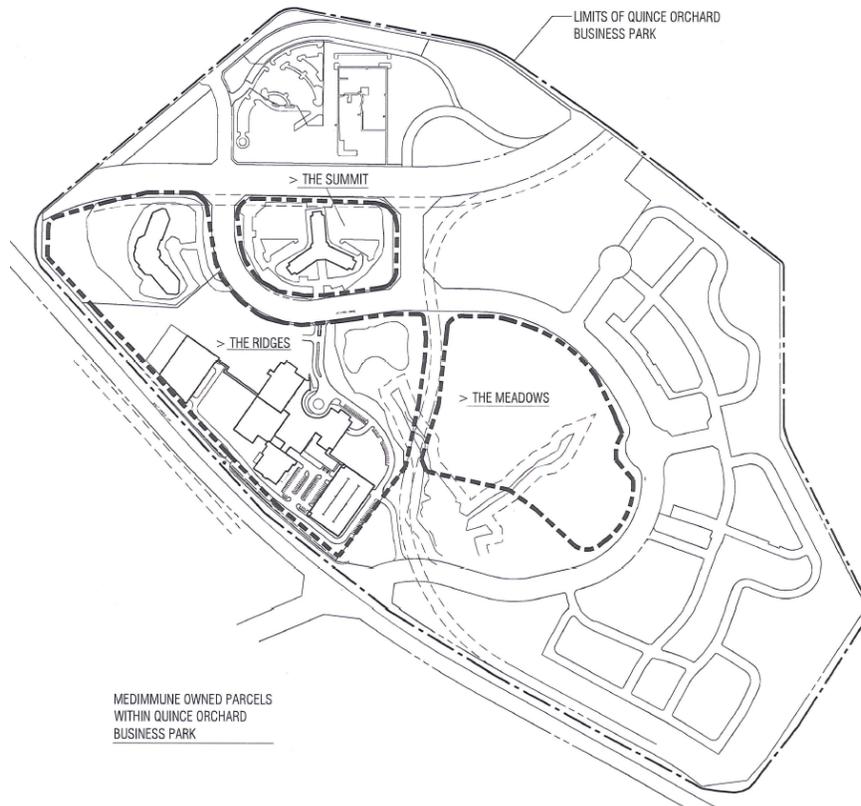
- May 2002: Initial purchase of Ridges portion
- September 2003: Additional Ridges portion
- December 2007: Purchase of Meadows parcel
- December 2008: Purchase of Summit parcel (subject property)
- December 2010: Purchase of remaining Ridges parcel (200 Orchard Ridge Drive)

With all the parcels under ownership, (62.6 acres) Medimmune explored options with the City to further expand through an additional X-129 Amendment. The 6th Amendment was approved March 8, 2013. The amendment revised the density of development allowed on the Medimmune properties; dedicated new City parkland; and included transportation and community improvements among other details.

The revised density calculations removed the existing square foot limitations and instead imposed the density permitted under the MXD zone in effect at the time of the Amendment for a floor area ratio (FAR) of 0.75. In calculating the new allowable density, the acreage of the subject property was included. Section 5 of the 6th Amendment concerns the subject SDP-7059-2015 application.

Section 5 states:

“Right to Develop MedImmune Properties. The City agrees that, subject to compliance with applicable laws and regulations, Medimmune has the right to develop the Medimmune Properties in substantial conformance with this Amendment. The concept “bubble plan” attached hereto as Exhibit A shall constitute an approved sketch plan for the Medimmune Properties...”



The following chart reflects the new development rights per the amended annexation agreement. The Ridges, location of the subject application, has a development cap of 1.2 million to 2.1 million square feet of office/lab use. In addition, Section 5 establishes a height limit for the Ridges of four to nine stories.

PROPOSED ALLOCATION OF DEVELOPMENT RIGHTS

(BASED ON SKETCH PLAN Z-275C)

> THE RIDGES

EXISTING BUILT
818,000 SF
OFFICE / LAB

CURRENT ALLOWABLE
855,000 SF / 4 - 7 STORIES
OFFICE / LAB

PROPOSED ALLOWABLE
1,200,000 - 2,100,000 SF / 4 - 9 STORIES
OFFICE / LAB

> THE SUMMIT

EXISTING BUILT
102,000 SF
OFFICE

CURRENT ALLOWABLE
106,000 SF / 3 STORIES
OFFICE

PROPOSED ALLOWABLE
106,000 - 440,000 SF / 4 - 7 STORIES
OFFICE / LAB

> THE MEADOWS

EXISTING BUILT
0 SF

CURRENT ALLOWABLE
150,000 - 325,000 SF / 3 - 8 STORIES
OFFICE / RETAIL

PROPOSED ALLOWABLE
150,000 - 300,000 SF / 3 - 5 STORIES
OFFICE / LAB

OVERALL PROPOSED DEVELOPMENT

EXISTING BUILT
920,000 SF

CURRENT ALLOWABLE
1,111,000 - 1,286,000 SF

PROPOSED ALLOWABLE
2,426,000 SF

On May 18, 2015, SDP-6905-2015 was approved for a child care center up to 20,000 square feet in The Meadows section of Quince Orchard Park. This was the first SDP approved since the Sixth Annexation Agreement. Because it is located in the Meadows portion of the Medimmune Campus, it has no effect on the overall density or square footage allowed for The Ridges section of Quince Orchard Park, the location of Parking Garage "C".

GENERAL INFORMATION

LOCATION:

The Properties are located at 200 Orchard Ridge Drive and 1 Medimmune Way. Adjoining and confronting properties surrounding the Property are zoned MXD and improved with a mix of use types. The City owns open space property directly to the east of the site that is comprised of both a stream valley buffer and Category I forest conservation easement. Additional portions of the Medimmune campus are located in close proximity to the north and east of the Properties. The site itself is improved with 818,002 sf of office and lab space.

ADEQUATE PUBLIC FACILITIES ORDINANCE (APFO):

Water and Sewer Services

The Property is located in water and sewer service area categories W-1 and S-1, and the project complies with Section 24-247 - Water and Sewer Service:

- a) Water Service – The proposed development does not anticipate the need for a suppression system and will not result in a significant increase in fire or domestic flow. The proposed parking structure will contain a number of hose bibs to maintain the garage, but will have nominal impact on flows. The site is presently being served by an existing twelve inch WSSC waterline within Quince Orchard Road. The existing waterline appears to be adequate to serve the existing and proposed development for both domestic and fire flows. The parking garage will be served by a proposed +/-2” domestic waterline.

- (b) Sewer Service – The proposed parking garage will be served by connecting into an existing eight inch sanitary sewer on the southern border of the Property. A new six inch gravity flow sewer will be constructed to provide service by the WSSC Plumbing Code. The proposed development will not result in an impact to the transmission capacity available at the Blue Plains Wastewater Treatment plant, Seneca Wastewater Treatment Plant, or other WSSC facilities.

Fire and Emergency Services

The Medimmune site resides within the ten (10) minute response areas of the Montgomery County Fire and Rescue Stations, Station 8 (Gaithersburg-Montgomery village) and 31 (Rockville-Quince Orchard).

Schools

Adequacy of school capacity is not applicable since the project does not include residential development.

Traffic Impacts

Sections 10 and 11 of the 6th Amendment address transportation impacts. Section 10 defines that Medimmune is responsible for any immediate transportation improvements necessary to facilitate a development project; however, Medimmune is allowed to develop up to 138,518 SF of new building area without any further dedications or payments related to transportation network improvements. Section 11 defines that Medimmune has no further APFO obligations related to transportation outside of the requirements of Section 10. The recently approved schematic development plan for a 20,000 SF childcare facility will be deducted from the 138,518 SF of new building area. The proposed parking garage is considered accessory to any additional square footage and, therefore, does not count toward the transportation requirements of Section 10. The applicant has submitted a traffic distribution study that staff will be analyzing.

SCHEMATIC DEVELOPMENT PLAN PROPOSAL:



The application, SDP-7059-2015, specifically defines the proposed parking garage “C,” including an applicant request/justification statement², conceptual architectural elevations³,

² Ex. 3

³ Ex. 16

a parking waiver request⁴, and traffic analysis⁵. The site will be served by existing access points along Great Seneca Highway and Orchard Ridge Drive. The plan proposes a seven-story parking garage with six levels above ground and one partially below grade level. The parking facility will hold 1,386 parking spaces, including spaces for fuel efficient vehicles, charging stations, handicapped spaces, motorcycles, scooters and bicycles, in accordance with the City's parking requirements. The garage is similar in design to other existing garages on the Medimmune campus and is also designed to be compatible with the existing office and lab buildings on site. Final building elevations will be determined at final site plan.

Due to the steep slopes along Great Seneca Highway at the Ridges section of the Medimmune campus, Parking Garage "C" is most visible from its southern façade. The full seven stories of the parking structure will be visible from Great Seneca Highway.



Image from Google Maps



Image from Google Maps

⁴ Ex. 4

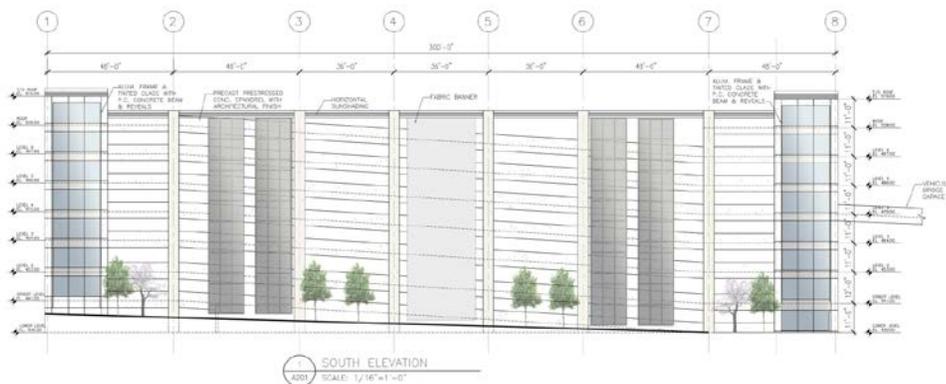
⁵ Ex. 9

A landscape plan for the project includes a mix of evergreen and deciduous plantings to complement the existing landscape along Great Seneca Highway to reduce the visual impact of the proposed facility from the public roadway.



Conceptual Elevations⁶:

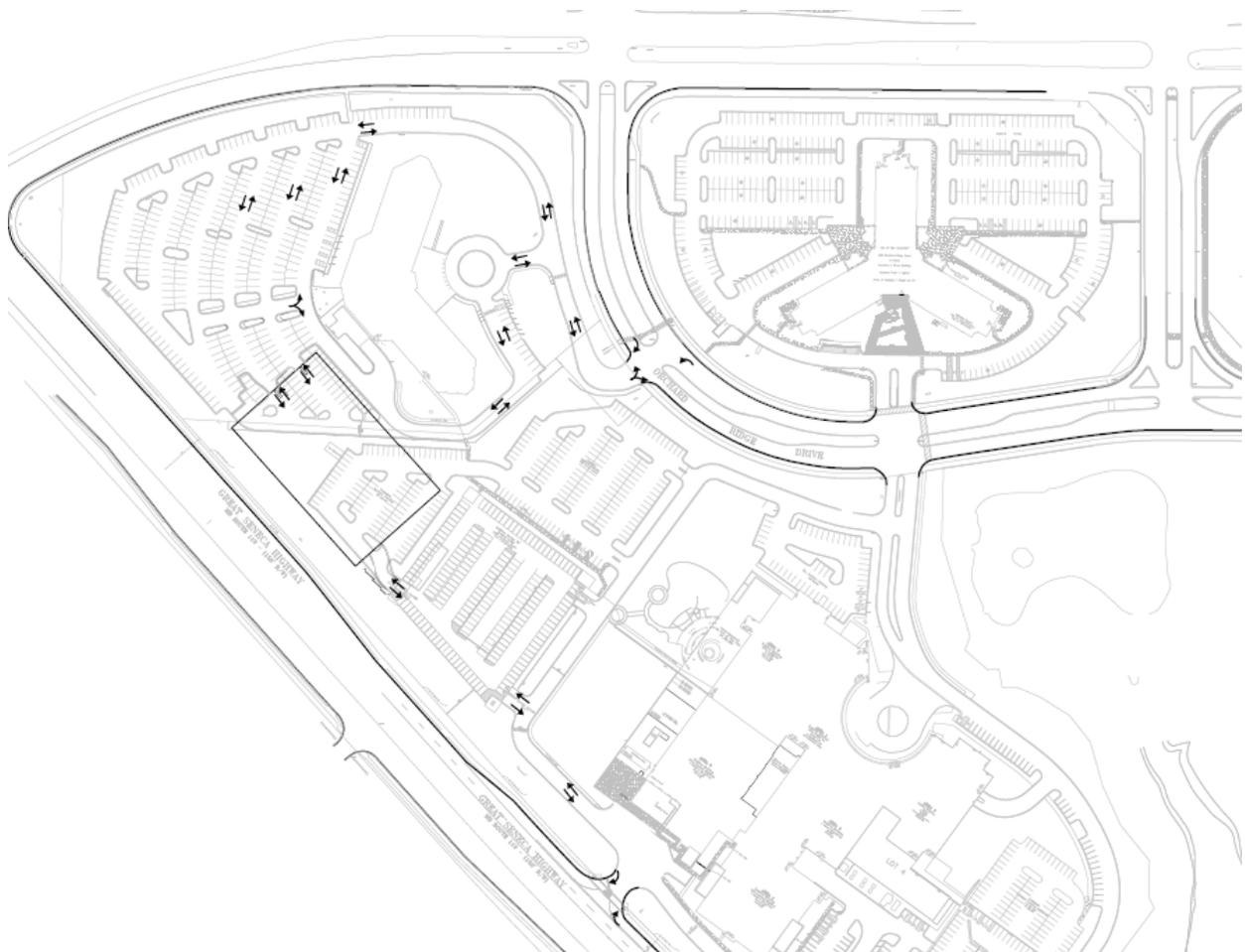
The Applicant has proposed materials for the parking garage similar to those used on the adjacent Garage "B," including precast concrete, metal panels, aluminum, and tinted glass, so that the new structure is integrated into the existing design for the Medimmune campus. The parking garage will be anchored by stair towers and all four sides, similar to those existing on Garage "B".



⁶ Ex. 16 and 30

Traffic Circulation⁷:

No new entrances into the Medimmune campus are proposed for the new garage. Vehicles will continue to use the existing entrances at Great Seneca Highway and Orchard Ridge Drive to access the garage. The first access point is at Orchard Ridge Drive northeast of the subject site and is a full movement intersection. The second access point is at Great Seneca Highway southwest of the subject site and is a right-in/right-out only intersection. Once a vehicle is within the Medimmune campus, the proposed parking garage is accessible from four points, on three different levels of the garage. On the southeast side of the garage, there are two connections to Garage C through existing Garage B. Vehicles may enter and exit the new garage through Level 2 of existing Garage "B." Level 2 of Garage B aligns with the Lower Level of proposed Garage "C." The second connection between Garages B and C is intended to assist the user that circulates garage B, cannot find a space, and wishes to search for a space in Garage C. That spans between Level 6 of Garage B and Level 4 of Garage C. Vehicles may also access the other side of the proposed garage through two drive aisles on a modified surface parking lot on the northwest side of the garage at Street Level .



⁷ Ex. 13

Parking Waiver

In accordance with the City's new parking ordinance, the applicant has submitted a request for a parking waiver under Section 24-222A of the Gaithersburg Zoning Ordinance. Based on the parking tabulation summary provided in the Schematic Development Plan, the total parking required on the property, based on existing square footage, is approximately 1,933 spaces. Pursuant to Section 24-219(b) of the Zoning Ordinance, the maximum commercial parking permitted without a waiver is 10% more than the minimum required spaces, or 2,126 parking spaces. As part of the Sixth Amendment to the Annexation Agreement, Medimmune's required parking ratio is 1 space per 400 square feet. The ratio accounts for the additional square footage that many employees use by maintaining both a lab and office space. With the addition of proposed Garage "C" there will be 3,627 spaces on the subject property, necessitating a parking waiver of 1,501 spaces. Because the garage will be built to meet the future parking demands of additional office and lab space, the parking waiver is, in effect, temporary.

SUMMARY:

The Applicant has submitted for consideration schematic development plan application SDP-7059-2015. This is a complete application as defined by § 24-160D.9.(b) Application for Schematic Development Plan Approval of the City Code. A joint public hearing before the Mayor and City Council and the Planning Commission has been scheduled for July 20, 2015.

Staff will continue to work with the applicant on refining the plan as needed. Staff has identified details of the plan that need further refinement, specifically:

- Address any applicable WSSC Comments;
- Address conflicts with CCT Right-of-Way and Limits of Disturbance
- Refine vehicle stacking at access points to Garages "B" and "C"
- Continue to identify and design all necessary improvements to accommodate additional vehicles to and through the site

Proposed Garage C Schematic Development Plan Presentation

City of Gaithersburg: Joint Public Hearing

20 July 2015



Garage C Business Objectives

- Schematic Development Plan is one step in an ongoing process
 - March 2002 MedImmune purchases initial plot in Quince Orchard Park
 - March 2013 Mayor & City Council approves Sketch Plan
 - May 2015 Childcare Schematic Development Plan approval
 - July 2015 Garage C Schematic Development Plan presentation
- Desire to enhance campus drives need to build Garage
 - Commitment: Gaithersburg is AstraZeneca's North America R&D hub
 - Current: Interior renovations increase seating capacity
 - Future: Minimize surface parking; Potential Area 7 office building

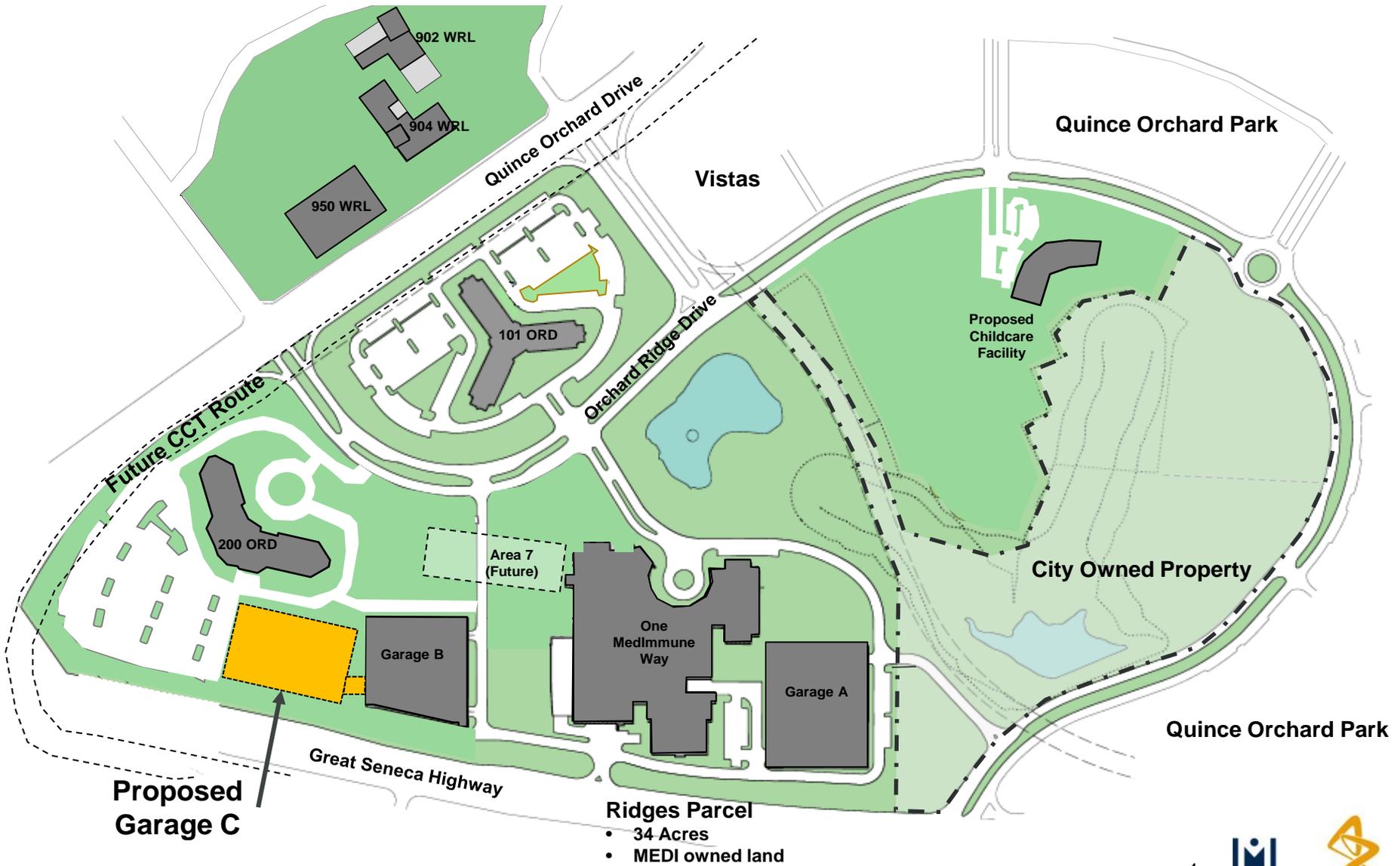


Garage C Building Program

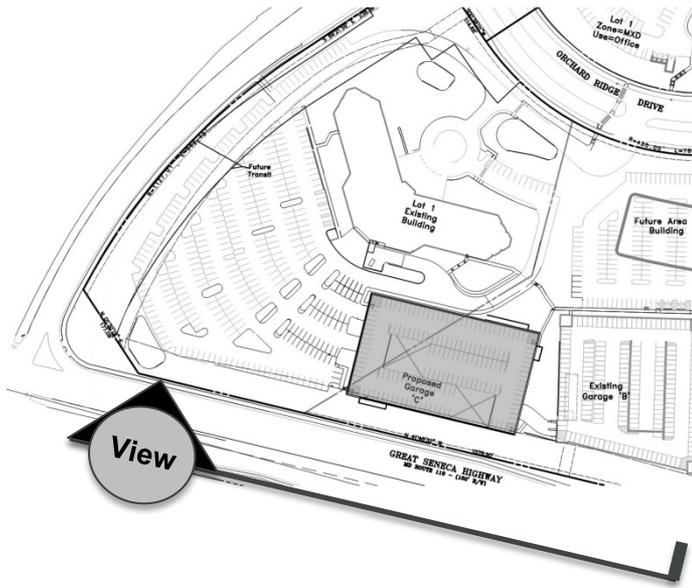
- Located on Ridges Parcel adjacent to main MedImmune building
- ~1,400 parking spaces (plus motorcycle and bicycle parking)
- 180ft x 300ft building footprint
- 7 tiers above ground (~85 ft. high); 1 tier partially below ground
- Built to meet sustainability building standards
- In process of extinguishing two interior property lines



Garage C Location on Ridges Parcel



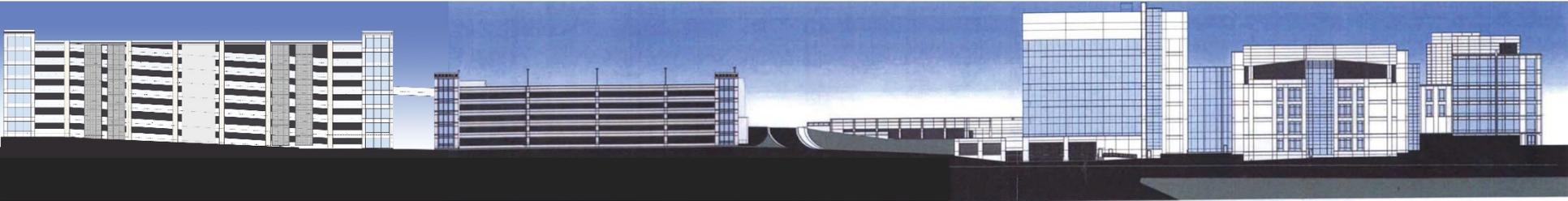
Site Elevation from Great Seneca Highway



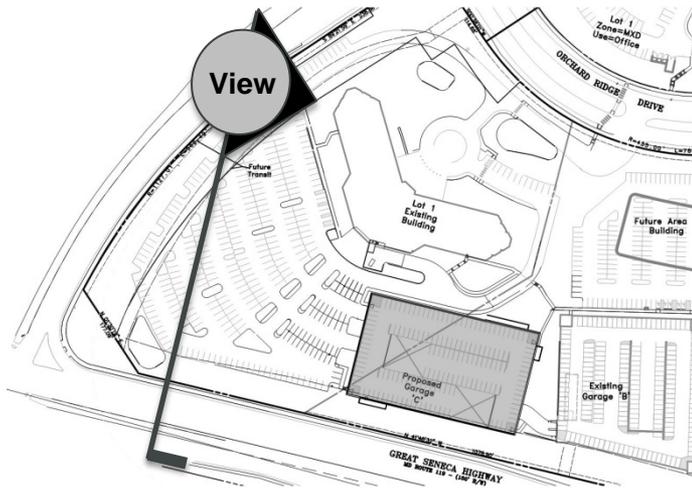
Garage C
(Proposed)

Garage B

OMW Building



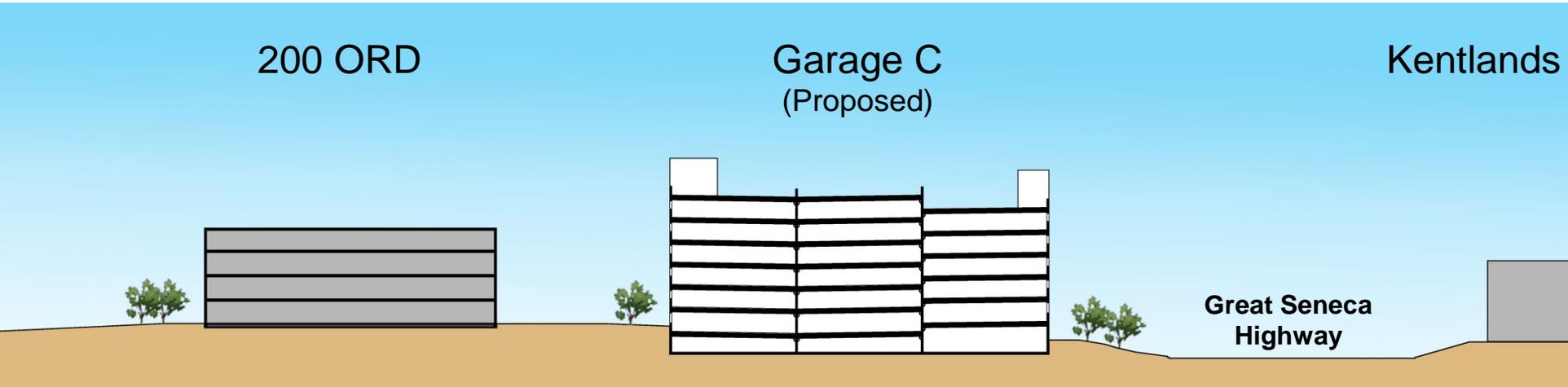
Site Section Looking South from Surface Lot



200 ORD

Garage C
(Proposed)

Kentlands



Garage C Detailed Site Plan



Existing 200 ORD

Surface Parking

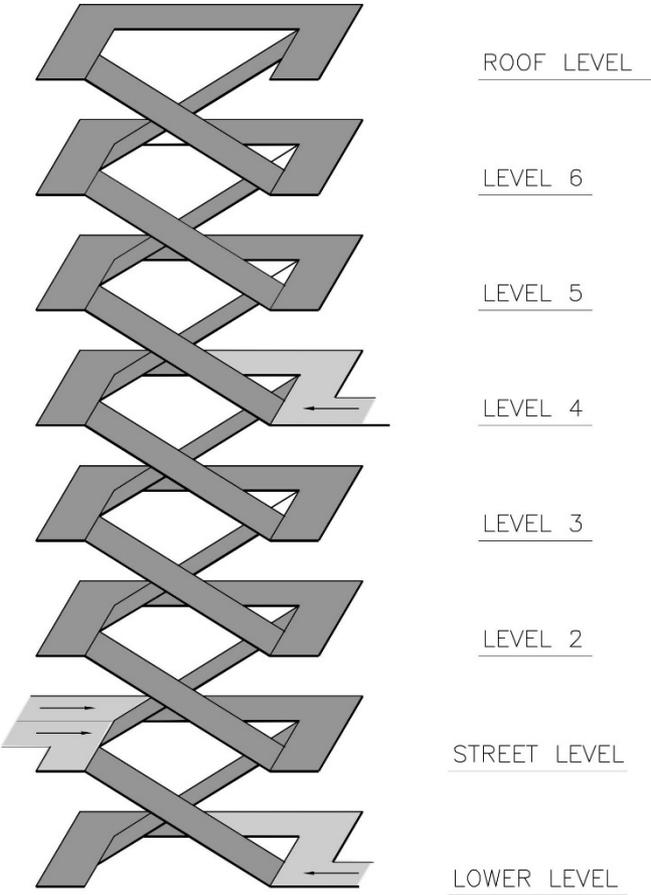
Entrances

Proposed Garage C

Connector to Existing Garage



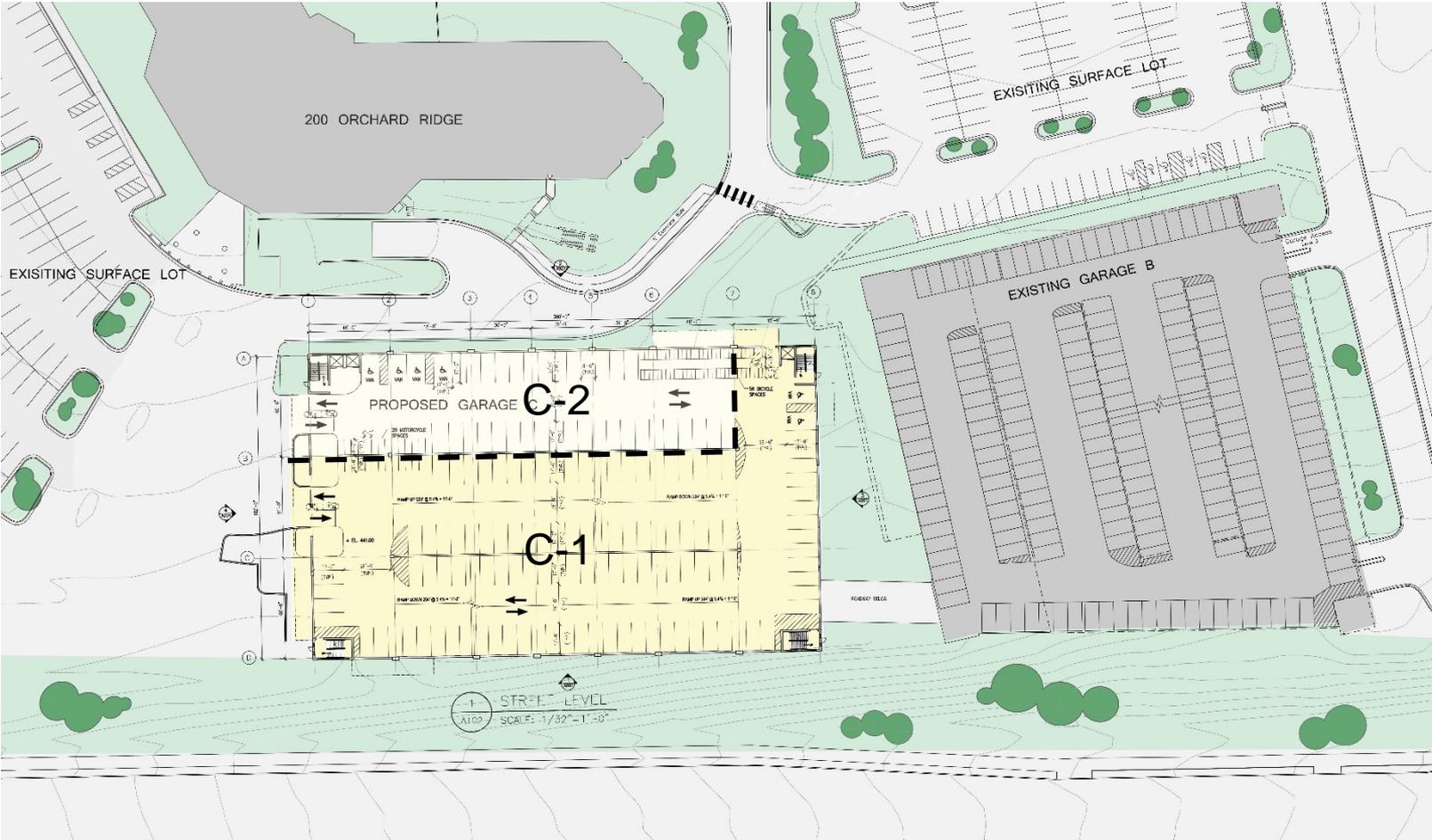
Garage C Conceptual Parking Diagram



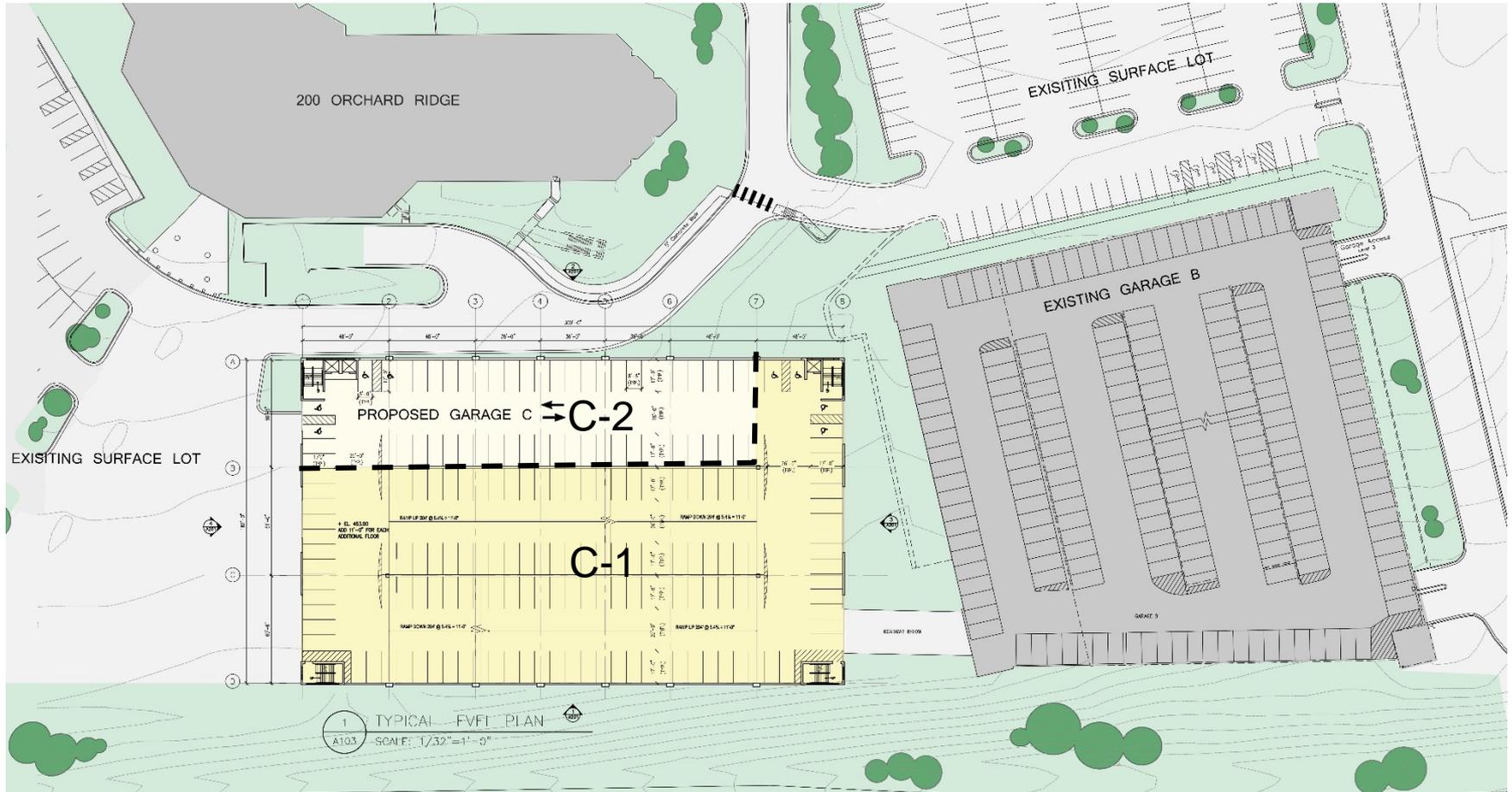
Detailed Plan: Lower Level



Detailed Plan: Street Level



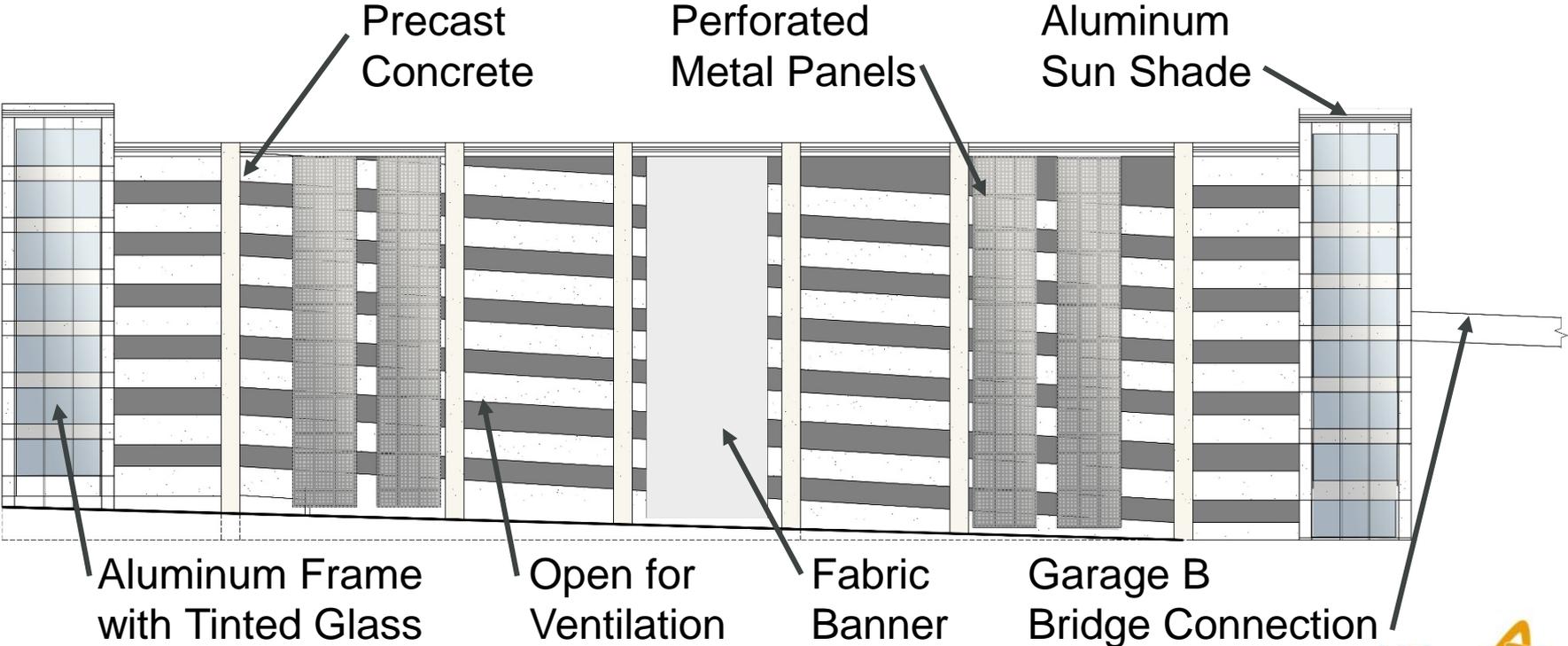
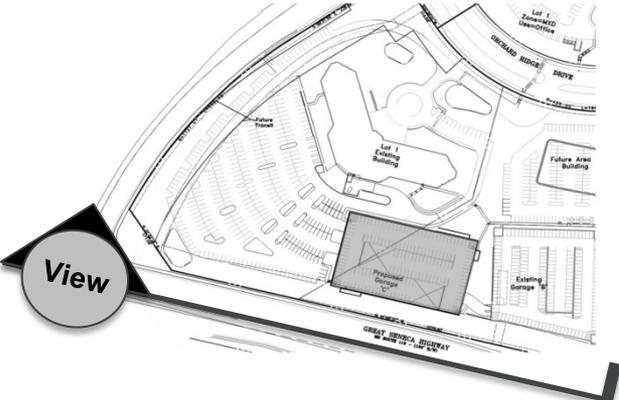
Typical Level



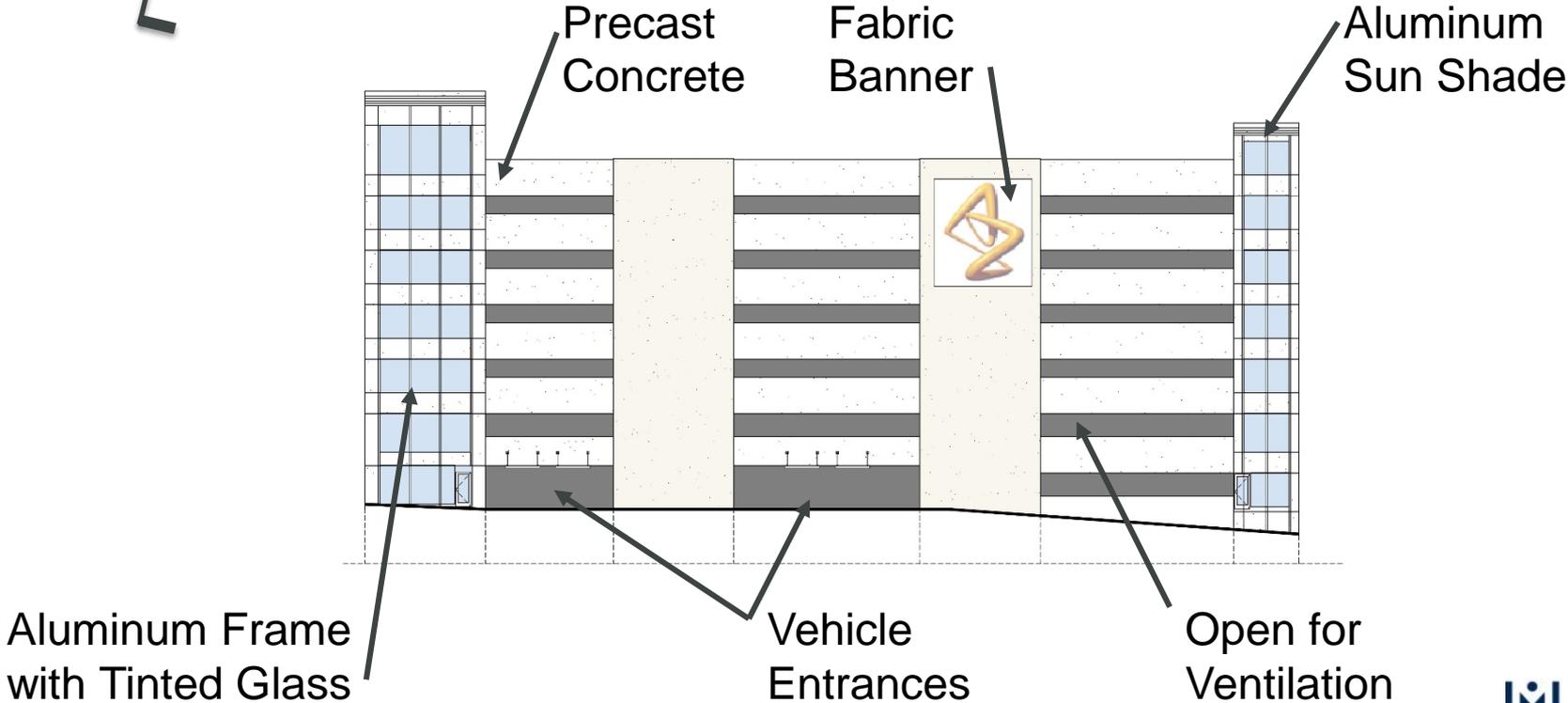
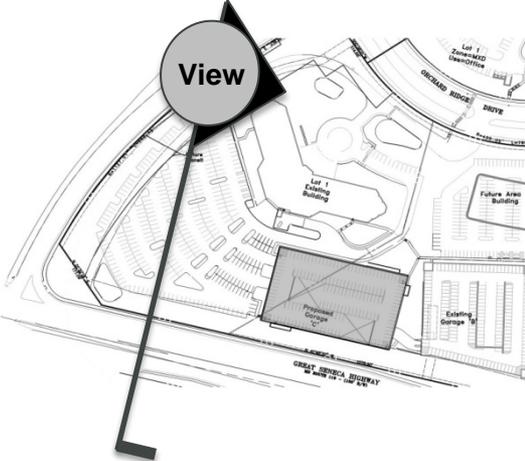
Roof Level



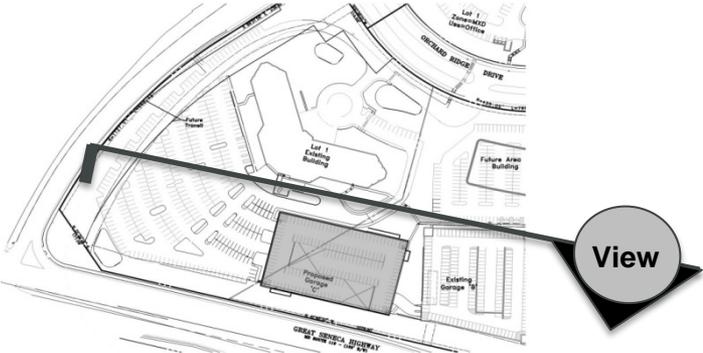
Elevation Looking North from Great Seneca Highway



Elevation Looking South from Surface Lot



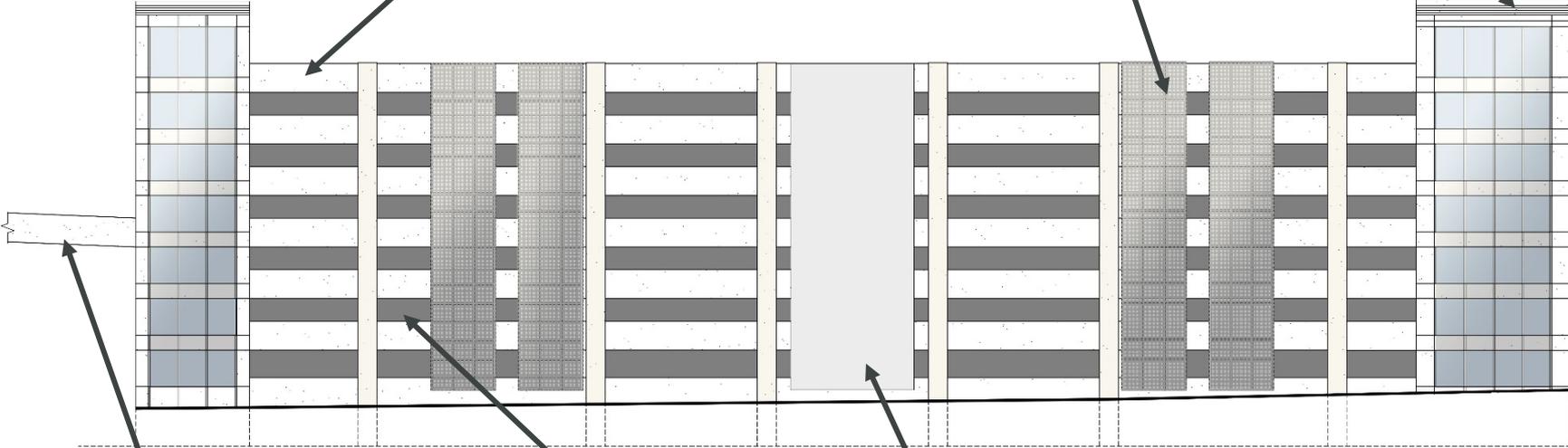
Elevation looking south from 200 ORD



Precast Concrete

Perforated Metal Panel

Aluminum Horizontal Sun Shade



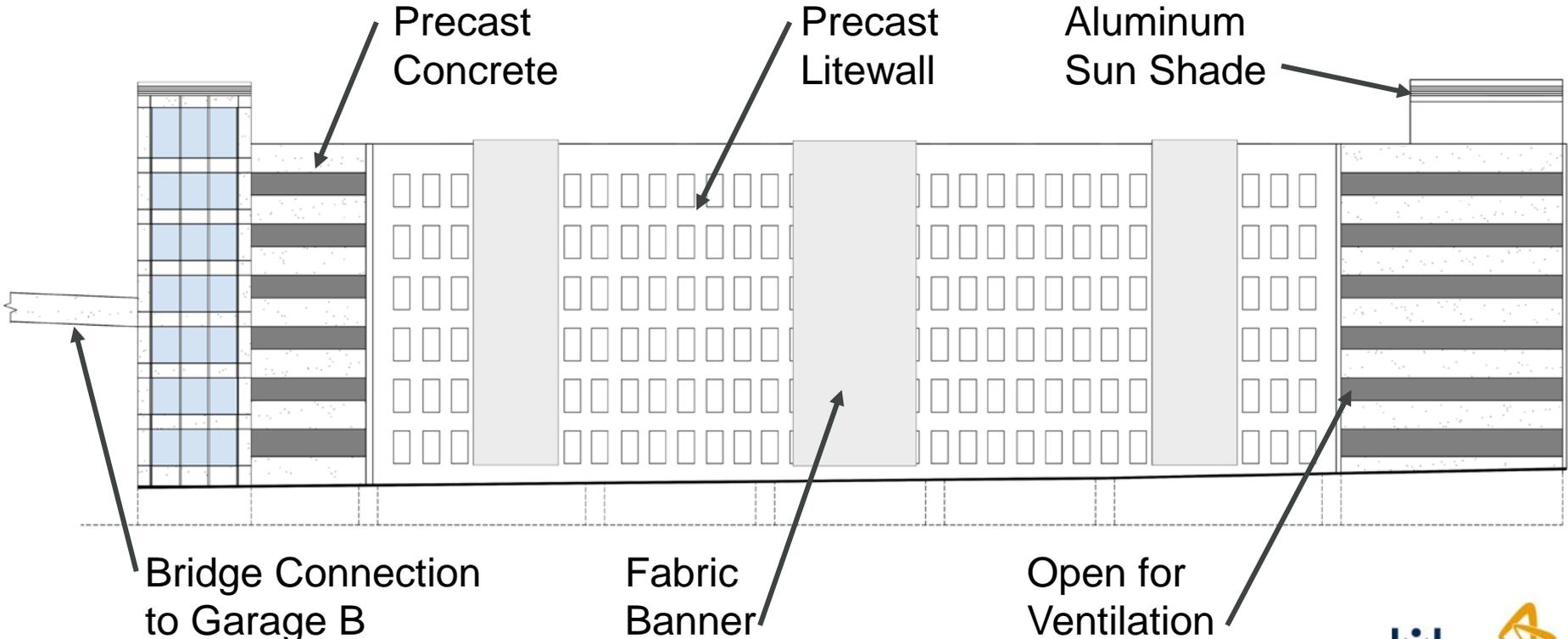
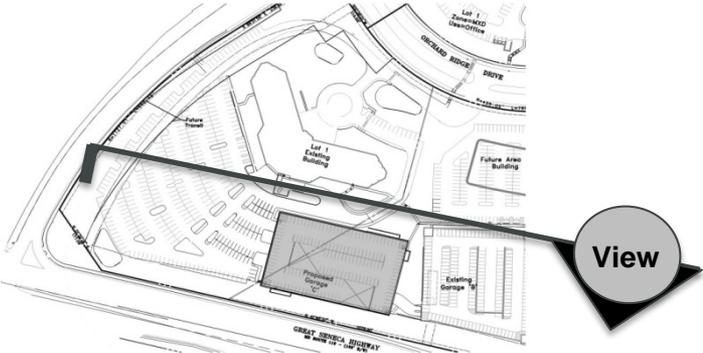
Bridge Connection to Garage B

Open for Ventilation

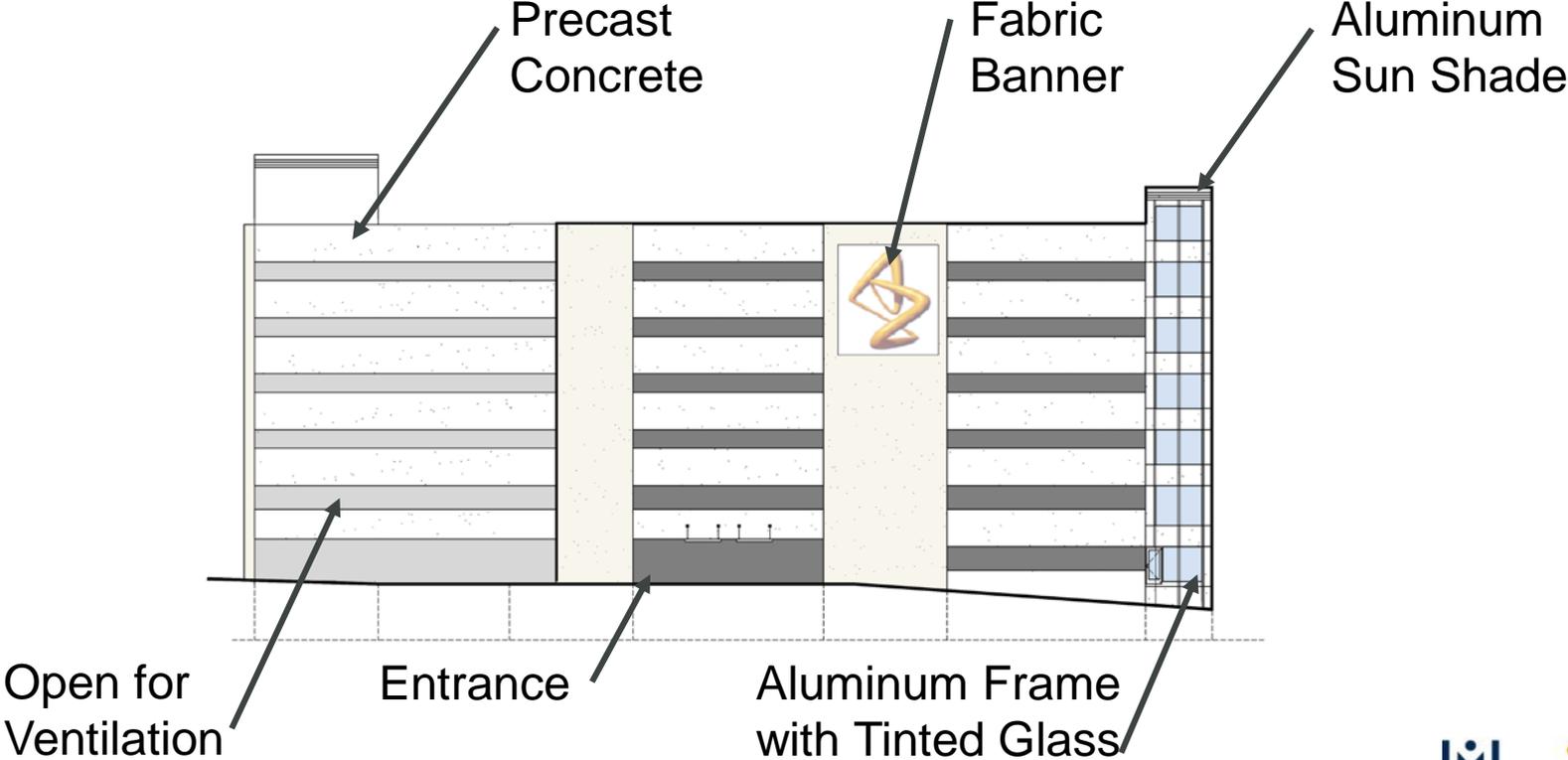
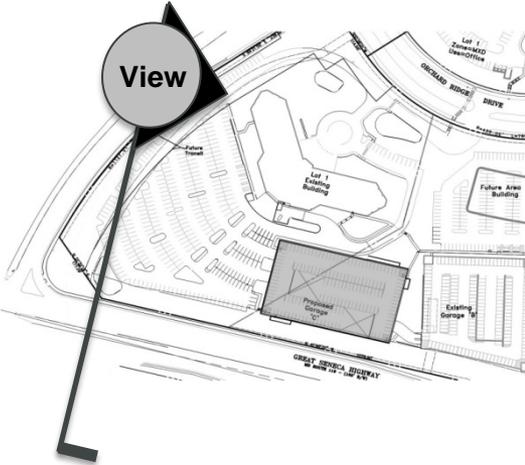
Fabric Banner



Elevation Looking South (Phase C1 Scenario)



Elevation Looking East (Phase C1 Scenario)



Images of Fabric Banners



Images of Perforated Metal Panel

Panels



Certificate of Publication

State Of Maryland }
County of Montgomery } SS

Sherry Sanderson, being duly sworn, says:

That she is Legal Advertising Representative of The Montgomery County Sentinel , a weekly newspaper of general circulation, published in Rockville, Montgomery County, Maryland; that the publication, a copy of which is attached hereto, was published in the said newspaper on

July 2, 9, 2015

That said newspaper was regularly issued and circulated on those dates.

SIGNED:



Subscribed to and sworn to me this 9th day of July 2015 ,

01108763 00020172

CITY OF GAITHERSBURG
31 SOUTH SUMMIT
GAITHERSBURG, MD 20877-2038

NOTICE OF JOINT PUBLIC HEARING

The Mayor and City Council and the Planning Commission of the City of Gaithersburg, Maryland, will conduct a joint public hearing on Schematic Development Plan **SDP-7059-2015**, filed by Erik Morrison of Medimmune, Inc., on

**MONDAY
JULY 20, 2015
AT 7:30 P.M.**

or as soon thereafter as this matter can be heard in the Council Chambers at 31 South Summit Avenue, Gaithersburg, Maryland.

The applicant requests approval of the schematic development plan SDP-7059-2015, located on Lot 6 (1 Medimmune Way) and Lot 1 (200 Orchard Ridge Drive) within the Medimmune Campus in Gaithersburg, Maryland. The subject application proposes a 1,386 space structured parking facility to serve future Medimmune/AstraZeneca development. The subject property is bordered by Medimmune Way, Orchard Ridge Drive, Quince Orchard Road and Great Seneca Highway.

Further information may be obtained from the Planning and Code Administration Department at City Hall, 31 South Summit Avenue, between the hours of 8 a.m. and 5 p.m., Monday through Friday, or visit the City's website at www.gaithersburgmd.gov.

Caroline Seiden, Planner
Planning and Code Administration
00020172 21 07/09/15

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #34

From: [Miller, Patrick](#)
To: [Caroline Seiden](#)
Cc: "bdonnelly@mhgpa.com"; [Trudy Schwarz](#); [John Judge \(jjudge@desman.com\)](mailto:John_Judge@desman.com) (jjudge@desman.com); imistry@desman.com; [Krieg, Leo](#); [Morrison, Erik](#)
Subject: RE: Medimmune Public Hearing
Date: Monday, July 13, 2015 8:57:22 AM

FYI. All public hearing signs for the Garage C are still present and accounted.

Patrick H. Miller
Project Manager, Americas Projects
AstraZeneca | Biologics
One MedImmune Way
Gaithersburg, MD 20878
240-372-1666 (Mobile)
301-398-5088 (Office)
millerp@medimmune.com

From: Miller, Patrick
Sent: Thursday, July 02, 2015 10:31 AM
To: 'Caroline Seiden'
Cc: 'bdonnelly@mhgpa.com'; [Trudy Schwarz \(TSchwarz@gaithersburgmd.gov\)](mailto:Trudy_Schwarz@gaithersburgmd.gov); [John Judge \(jjudge@desman.com\)](mailto:John_Judge@desman.com) (jjudge@desman.com); imistry@desman.com; [Krieg, Leo](#); [Morrison, Erik](#)
Subject: RE: Medimmune Public Hearing

I noticed that myself this morning...

So, attached in the site map and the photos that are keyed to the map. Any issues, let me know.
Thanks.

Patrick H. Miller
Project Manager, Americas Projects
AstraZeneca | Biologics
One MedImmune Way
Gaithersburg, MD 20878
240-372-1666 (Mobile)
301-398-5088 (Office)
millerp@medimmune.com

From: Caroline Seiden [<mailto:CSeiden@gaithersburgmd.gov>]
Sent: Thursday, July 02, 2015 10:23 AM
To: Miller, Patrick
Subject: RE: Medimmune Public Hearing

Patrick:

I only got three photos – there were five signs to be posted. Do you have the other photos?

Caroline Seiden
Planner
City of Gaithersburg

Planning and Code Administration
31 S. Summit Avenue, Gaithersburg, MD 20877

301-258-6330 (PHONE)
301-258-6336 (FAX)
cseiden@gaitersburgmd.gov
www.gaitersburgmd.gov

From: Miller, Patrick [<mailto:millerp@MedImmune.com>]
Sent: Wednesday, July 01, 2015 8:39 PM
To: Brian Donnelly; Caroline Seiden; Trudy Schwarz
Cc: John Judge (jjudge@desman.com); imistry@desman.com; Krieg, Leo; Morrison, Erik
Subject: Re: Medimmune Public Hearing

Signs were posted per the aerial map.



Let me know if they need to be adjusted. I can note on the plan which photo was taken at what location if necessary.

Patrick H. Miller
Project Manager, Americas Projects
AstraZeneca | Biologics
One MedImmune Way
Gaithersburg, MD 20878
240-372-1666 (Mobile)

From: Caroline Seiden [<mailto:CSeiden@gaitersburgmd.gov>]
Sent: Monday, June 29, 2015 11:12 AM
To: Brian Donnelly

Subject: Medimmune Public Hearing

Hi Brian,

Just wanted to touch base about a few things we need from you this week in preparation for the public hearing.

All the public hearing signs are ready for you to pick up any time this week (we are closed Friday) or next Monday. There are five signs, 4 large ones and 1 small one (2 for Great Seneca Highway, 1 on Quince Orchard Road, 1 on Orchard Ridge Drive and 1 small one on Medimmune Way). There is an aerial that will be included with the signs that shows approximate locations for all of them. The signs need to be posted by close of business Monday, July 6. Once they are posted, please provide confirmation of their posting, along with photographs of each sign.

Also, I think that Trudy mentioned to you last week that we will need rendered site plan and building elevations by this Wednesday so that I can include them in my package for the public hearing. You can just send me a pdf of each.

Thanks!

Caroline Seiden
Planner
City of Gaithersburg
Planning and Code Administration
31 S. Summit Avenue, Gaithersburg, MD 20877

301-258-6330 (PHONE)
301-258-6336 (FAX)
cseiden@gaitthersburgmd.gov
www.gaitthersburgmd.gov

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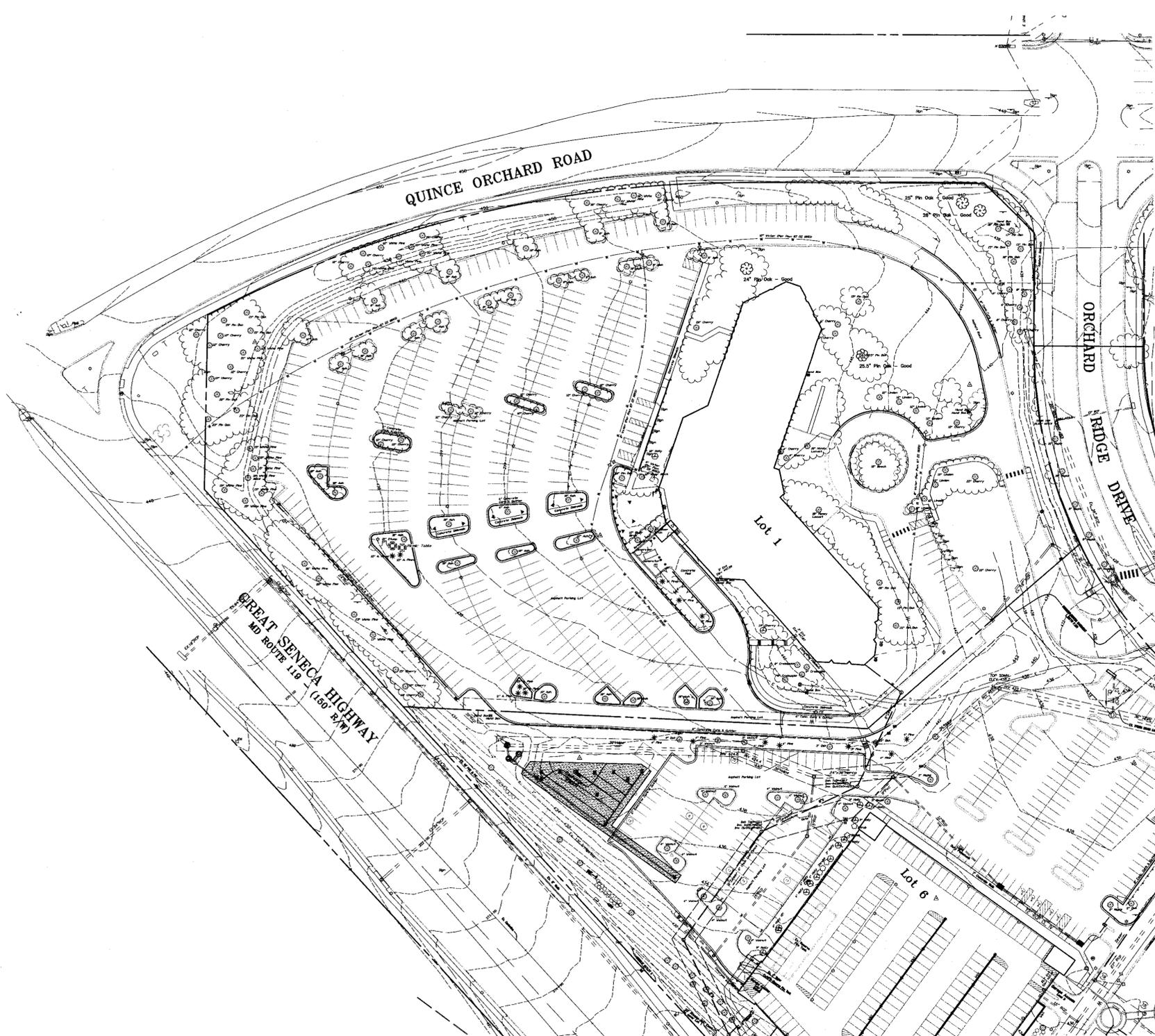
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VICINITY MAP
SCALE 1" = 2,000'
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PERMITTED USE NO. 20192133

Legend

Light	☀
Paving	▨
Curb & Outer Sign	—
Utility Pole	⊥
Lamp Post	⊙
Post or Bolard	⊙
Tree	⊙
Significant Tree	⊙
Electric	EX. -KV ELEC. —
Overhead Wires	—
Sanitary Sewer	EX. 8" SEW. —
Storm Drain	EX. 15" S/D —
Water Line	EX. 6" WAT. —
Fire Hydrant	⊙
Gas	EX. 6" HP GAS —
Telephone	EX. TELE —
Cable	EX. CABLE —
Buildings	▭
Concrete	▨
Spot Elevation	771.4
Contour	—
Tree Canopy	⊙
Property Boundary	—



NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION NOTES

- TOTAL SITE AREA IS 9.08 ACRES AND CONSISTS OF LOT 1, PLAT 16575. PROPERTY IS LOCATED ON ORCHARD RIDGE DRIVE.
- 2' TOPOGRAPHY PREPARED BY MHG.
- SITE BOUNDARY FROM DEEDS OF RECORD.
- SOILS ON-SITE ARE MAPPED AS GLENELG SILT LOAM (2B) ACCORDING TO SHEET 13 OF THE SOIL SURVEY OF MONTGOMERY COUNTY ISSUED JULY 1995.
- THE ENTIRE SITE DRAINS TO MUDDY BRANCH. THIS PORTION OF THE MUDDY BRANCH WATERSHED IS DESIGNATED AS CLASS 1-P WATERS BY THE STATE OF MARYLAND.
- NO WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS, OR STREAM VALLEY BUFFERS EXIST ON SITE.
- UTILITIES (I.E. WATER, SEWER, STORM DRAIN, CULVERTS, ELECTRIC, PHONE) ARE SHOWN IN SURVEYED LOCATIONS.
- NO FOREST EXISTS ON-SITE. THREE TREES ON-SITE ARE 24" DBH OR GREATER.
- THE PROPERTY IS NOT LISTED AS A HISTORIC SITE NOR IS IT LOCATED WITHIN A HISTORIC DISTRICT ACCORDING TO M-NCPPC'S PLACES FROM THE PAST: THE TRADITION OF GARDEZ BIEN IN MONTGOMERY COUNTY, MARYLAND; 2001. NO STRUCTURE OR EVIDENCE SUGGESTING HISTORICAL OR ARCHAEOLOGICAL SIGNIFICANCE WAS OBSERVED DURING SITE INVESTIGATIONS.
- INDIVIDUAL TREE LOCATIONS ARE BY SURVEY AND OCULAR ESTIMATE.
- FIELDWORK FOR THIS INVENTORY WAS CONDUCTED 5/11/15.
- NO RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED ON-SITE. MD DNR RTE LETTER REQUEST SENT OUT ON 5/18/15.
- NO WILDLIFE IS KNOWN TO EXIST ON-SITE.
- SOURCES OF NOISE AND LIGHT POLLUTION INCLUDE SURROUNDING ROADS SUCH AS QUINCE ORCHARD DRIVE AND GREAT SENECA HIGHWAY, THE NEIGHBORING COMMERCIAL/OFFICE PROPERTY, AND THE FUTURE TRANSITWAY & TRANSIT CENTER.
- THERE ARE NO SIGNIFICANT VIEWS OR VISTAS IDENTIFIED IN THE MASTER PLAN NOR WERE ANY SEEN AND NONE ARE OTHERWISE KNOWN TO EXIST.

SOIL KEY

2B - Glenehg silt loam, 3 to 8 percent slopes

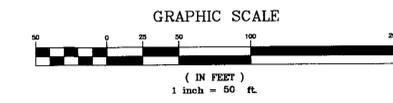
QUALIFIED PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND CITY FOREST CONSERVATION LEGISLATION.
DATE: 6/9/15
FRANK C. JOHNSON
RECOGNIZED AS QUALIFIED PROFESSIONAL BY MD. DEPT. OF NATURAL RESOURCES COMAR 08.19.06.01

OWNER
MEDIMMUNE, Inc.
One Medimmune Way
Gaithersburg, MD
Phone: 301-398-5527
Contact: Erik Morrison
Associate Director Master Planning

ARCHITECT
Desmond Design Management
800 Westpark Drive, Suite 610
McLean, Virginia 22120
Phone: (703) 448-1190
Contact: John Judge, P.E.

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #36
RECEIVED
JUN 13 2015
PLANNING & CODE

CITY OF GAITHERSBURG
315 SHAWNT AVE. GAITHERSBURG, MARYLAND 20878
NR/FSO APPROVAL
THE CITY OF GAITHERSBURG DEVELOPMENT REVIEW TEAM HEREBY GRANTS APPROVAL OF NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION FOR APPLICATION NO. ENV-7059-2015 DATE 7/21/15 BY [Signature]



NO.	DATE	REVISIONS	DWN	CK	APP	NO	DATE	REVISIONS	DWN	CK	APP
A	4/19/15	Submit Pre-Application to City / Garage C									

MHG Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone 301.670.0840
Fax 301.948.0693
www.mhgpa.com

DESMAN ASSOCIATES

NOTICE: THIS DRAWING HAS NOT BEEN PUBLISHED AND IS THE SOLE PROPERTY OF MEDIMMUNE, INC. AND IS LENT TO THE BORROWER FOR HIS CONFIDENTIAL USE ONLY. AND IN CONSIDERATION OF THE LOAN OF THIS DRAWING, THE BORROWER PROMISES AND AGREES TO RETURN IT UPON REQUEST AND AGREES THAT IT SHALL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS FURNISHED.

MEDIMMUNE, INC.
QUINCE ORCHARD PARK-The Ridges
NATURAL RESOURCE INVENTORY/
FOREST STAND DELINEATION

SCALE: 1"=50'
DATE: 5/15/15
DRAWN BY: FCJ
APPROVED:
MEDIMMUNE, INC. DRAWING NO.:
500-000-CXXX
REV: A



Larry Hogan, Governor
Boyd K. Rutherford, Lt. Governor
Mark J. Belton, Secretary
Frank W. Dawson, III, Deputy Secretary

June 11, 2015

Frank Johnson
Macris, Hendricks and Glascock PA
9220 Wightman Rd., Suite 120
Montgomery Village, MD 20886-1279

RE: Environmental Review for MedImmune, The Ridges, Lot 1, off Orchard Ridge Drive, Gaithersburg, Quince Orchard Park, Montgomery County, MD.

Dear Mr. Johnson:

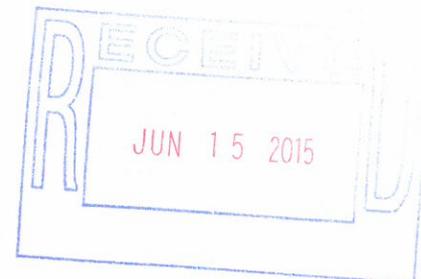
The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. This statement should not be interpreted however as meaning that rare, threatened or endangered species are not in fact present. If appropriate habitat is available, certain species could be present without documentation because adequate surveys have not been conducted.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER# 2015.0755.mo





MedImmune

July 21, 2015

Caroline Seiden
Planner
City of Gaithersburg Planning and Code Administration
31 South Summit Avenue
Gaithersburg, MD 20877

Re: Schematic Development Plan SDP-7059-2015
MedImmune proposed Parking Garage C project
Right-of-way for Corridor Cities Transitway project

Dear Ms. Seiden:

Thank you for your assistance with the development review approval process for MedImmune's proposed Parking Garage C project. As you suggested during one of our recent discussions, we are submitting this letter in response to the City's request for additional right-of-way in connection with the Corridor Cities Transitway (CCT) project. For the reasons explained below, MedImmune is not inclined to dedicate additional right-of-way for the CCT at this time in the context of MedImmune's proposed Parking Garage C project. But we do offer a reasonable approach for the acquisition of the right-of-way at the appropriate time in the future, as explained further below.

MedImmune maintains that additional right-of-way should not be provided at this stage, for three reasons. First, the CCT is only in the 30% design stage and has no construction funding. It is premature to require dedication now when the necessary right-of-way has yet to be determined and there is no indication if and when the project will move forward.

Second, the City of Gaithersburg Code exempts certain *minor subdivisions* from the obligation to provide additional public improvements, arguably including the dedication of additional right-of-way within the exemption. The consolidation of two or more lots into one lot is a minor subdivision under Section 20-34(a)(3). For this particular type of minor subdivision, "no additional public improvements may be required by the reviewing agencies beyond those required for the original subdivision." (Section 20-34(b)). Arguably, the phrase "no additional public improvements" means, among other things, no additional right-of-way dedication, since other minor subdivisions not so exempted (*e.g.*, conversion of an outlot into a lot) must provide right-of-way dedication (*see* Section 20-34(a)(2)).

Third, in 2013, MedImmune dedicated 6.5 acres of its campus property to the City for use as open space/parkland. MedImmune also contributed \$200,000.00 to the City for use in preparing the dedicated land for use as open space/parkland. The dedication and contribution were made pursuant to Section 9 of the Sixth Amendment to Annexation Agreement (X-129)

2045957.2

74320.002

dated March 8, 2013. Section 10 of the Sixth Amendment to Annexation Agreement then provided that “Given the prior dedications under the Annexation Agreement, MedImmune may be allowed to develop up to 138,518 square feet of new building area without any further dedication requirements or any payment for transportation network improvements.” Additionally, Section 11 states “The City agrees that no further analysis, studies, or conditions, other than those provided in paragraph 10, above, pursuant to the Gaithersburg Zoning Ordinance, Gaithersburg Subdivision Regulations, City Code, or otherwise, shall be or may be required to evaluate the adequacy of roads or transit and that no other roadway improvements shall be required by the City to support future development on the MedImmune Properties.” These sections from the Sixth Amendment support our position that no dedication should be required at this time.

Having stated that position, we have identified what we believe is a logical and reasonable approach to resolve the necessary CCT right-of-way. The City currently owns property that reflects the previous CCT alignment. This property based on the previous alignment bisects the MedImmune campus, as shown on the attached tax map, and appears to have been dedicated by MedImmune’s predecessor in title.

At the appropriate time, MedImmune would be willing to discuss an exchange of the previous CCT alignment property for the ultimate alignment property, assuming the CCT project moves forward. If and when the CCT project moves forward, the State will determine the necessary right-of-way along Quince Orchard Road. At that point, the City and State will no longer need the previous alignment property, including the “Transit Station Lot” property at the corner of Great Seneca Highway and Orchard Ridge Drive, and should be willing to exchange that property for the necessary right-of-way along Quince Orchard Road. We believe this approach is reasonable and makes sense under the circumstances.

We would be happy to discuss this matter further with the City at your convenience. Thank you very much for your consideration.

Very truly yours,

Erik Morrison
Associate Director, Master Planning

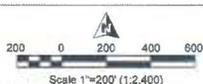
Attachment – Tax Map

cc: Ellen Maldonado, Esq.
Stuart Barr, Lerch Early & Brewer

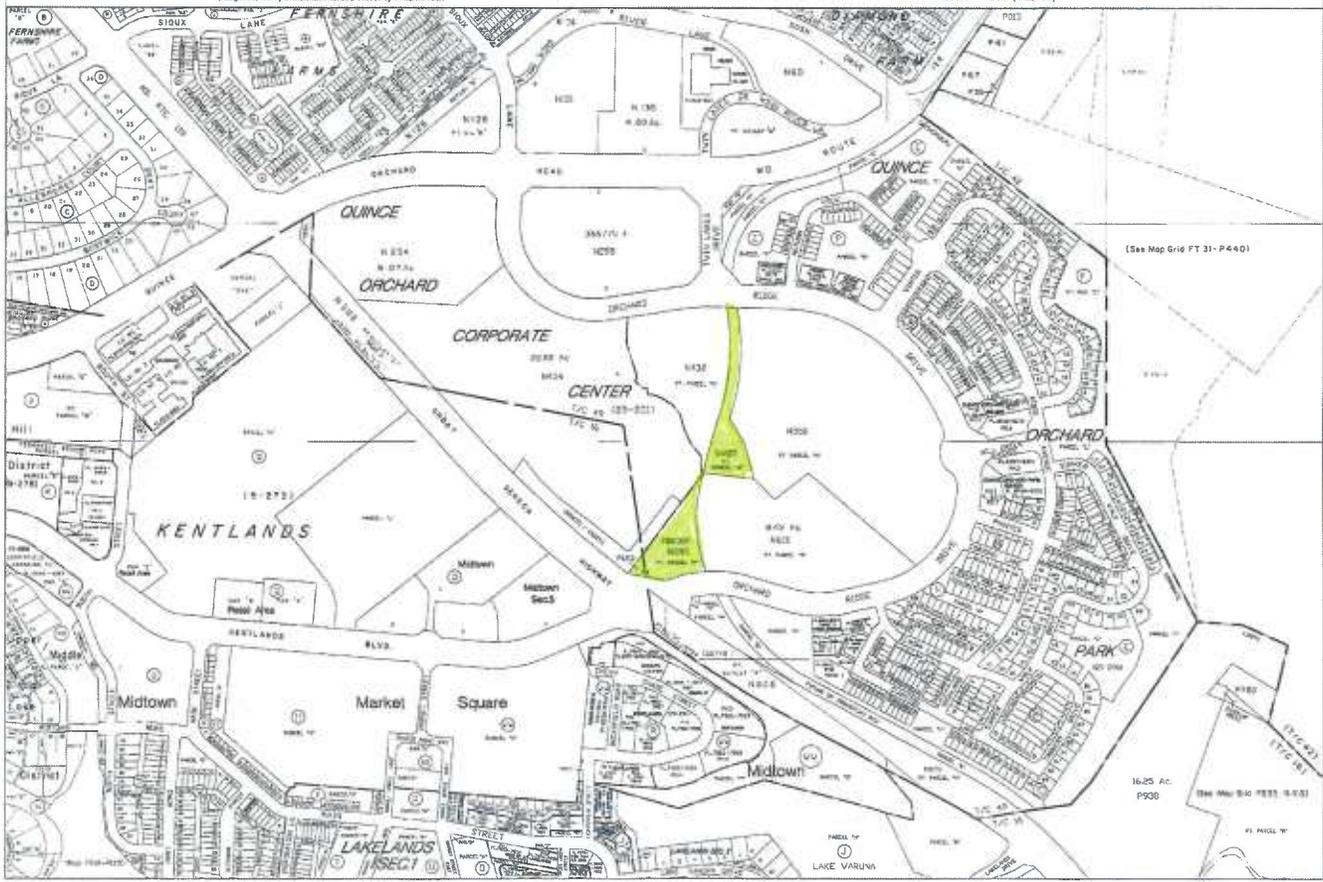
DISCLAIMER:
 "This parcel data was derived in part from information provided by the Maryland Department of Planning as the distributor of the data and owner of the digital product."

LEGEND:
 Property Line: ———
 Subdivision Boundary: - - - - -
 Street Boundary: —+—+—+—
 Private Road: —+—+—+—
 Street Line: —+—+—+—
 Contiguous Ownership: [Symbol]
 Parcel Number: #, #, #, #
 (Assigned to identify Ownership, must be preceded by a Map Number)

APN Label Record Layout:
 89-899999
 District ID — Account ID



MONTGOMERY, MD
 Map ID: FS 123





August 13, 2015

Erik Morrison
Associate Director, Master Planning
MedImmune
One MedImmune Way
Gaithersburg, MD 20878

Re: Schematic Development Plan SDP-7059-2015 for Garage C Project

Dear Mr. Morrison:

I am responding to your July 21, 2015 letter referencing the above Schematic Development Plan (SDP), which indicated that MedImmune is not inclined to dedicate any additional right-of-way (ROW) for the Corridor Cities Transitway (CCT) project. Your letter was referred to my office as it raised several legal concerns with any such ROW requirement as a condition of the SDP approval.

Your letter first stated that it is premature to require any dedication, as the CCT is still in the planning stages. However, transportation projects require many years of future planning, and would often not be able to proceed without prior land dedications. Here, the dedication would be related to an active development request – an SDP application – within the City’s MXD Zone. Section 24-160D.10(a) mandates that the City Council can only approve SDP applications in the MXD zone when they are in accord with the applicable master plan, and subsection (b) further specifies that the City Council must make a specific finding that the approved SDP is “in accord with the area master plan.”

While the CCT project is not fully designed or funded, it is a major component of the long-term transportation plan for this area. Accordingly, the Transportation Element of the 2009 City of Gaithersburg Master Plan (adopted in September 2010) identifies a Locally Preferred Alternative (LPA) alignment for the CCT, which has since been adopted as the alignment by the Maryland Transportation Authority. This alignment, currently in the 30% design stage, establishes the subject portion of the Medimmune property as future CCT ROW, and is, therefore, subject to Master Plan conformance and ROW dedication requirements of the SDP. As such, the City of Gaithersburg’s 2009 Master Plan requires, as a minimal condition for any SDP application, that a separate parcel be established for the future CCT ROW. While formal

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301-258-6300 • FAX 301-948-6149 • cityhall@gaitthersburgmd.gov • www.gaitthersburgmd.gov

MAYOR
Jud Ashman

COUNCIL MEMBERS
Cathy Drzyzgula
Neil Harris
Henry F. Marraffa, Jr.
Michael A. Sesma
Ryan Spiegel

CITY MANAGER
Tony Tomasello

Joint Hearing - MCC & PC
SDP-7059-2015
Exhibit #38

dedication of the separate parcel could be delayed to a later date, agreement to do so would, at minimum, be required as part of the SDP approval, with such dedication ultimately taking place per that agreement.

Your letter also indicates that under City Code §20-34(a) the application should be considered a "minor subdivision" as it combined two lots, and is thus exempted from any public improvements. However, the effect of that subsection is limited to a consolidation of two lots, with no other changes to the existing, applicable SDP. Since your application involves a new SDP, this provision does not apply.

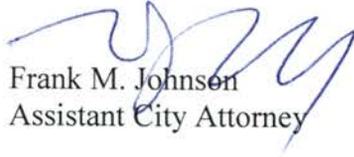
Additionally, your letter argued that the Parking Garage proposal is exempt from any transportation improvements under Paragraphs 10 and 11 of the March 8, 2013 Sixth Amendment to Annexation Agreement X-129. That exemption would not apply here. First, Paragraph 10 exempts additional "building area" projects of up to 138,518 square feet from any further payment or dedication requirements, but it does not apply to your SDP application because a parking garage is not considered a building area. Second, Paragraph 11 references adequate public facilities requirements, and indicates first that no further evaluation of road or transit adequacy will be required beyond that specified in Paragraph 10. This would not apply here, because the right of way dedication is not related to further evaluation of transit adequacy. Paragraph 11 also specifies that no other "roadway improvements" would be required to support future development on MedImmune properties; this would also not apply here, because the CCT right of way dedication is not a roadway improvement to support development on the MedImmune property.

Your letter concluded by suggesting that, as the CCT project moves forward in the future, the City and MedImmune could discuss an exchange of past CCT dedications in exchange for a future right of way dedication. While future exchanges are certainly possible, the right of way dedication at issue here is related to a current SDP plan. As noted above, the applicable Transportation Element of the City Master Plan for this area requires, at a minimum, the establishment of a separate parcel for the future CCT ROW as a condition of SDP plans, and the City Code requires that SDP approvals in the MXD zone follow that master plan.

I thus conclude that neither the City Code nor the Sixth Amendment to the Annexation Agreement provide an exception or exemption to the overall ROW dedication requirement as a condition of SDP approval, though the ROW dedication itself can take place in the future. I am advised that City planning staff will be recommending that a separate outparcel be established for future rights of ways as part of the subdivision plan. I understand staff will recommend that a condition of the SDP will require MedImmune, at no cost to the City or State, to dedicate the parcel and any additional ROW required by the Maryland Transit Authority (or any other governmental authority) when (i) such agency has acquired more than fifty percent (50%) of the required CCT Phase One ROW, and (ii) construction funds are appropriated for at least twenty percent (20%) of the total construction costs of said Bus Rapid Transit in the annual budget of the governmental entity responsible for the construction of the CCT.

I am sure that City planning staff will continue to work with you to properly define the required parcel and if you have further questions I can assist with, please let me know.

Sincerely yours,



Frank M. Johnson
Assistant City Attorney

cc: John Schlichting, Director, Department of Planning and Code Administration
Martin Matsen, Planning Division Chief, Department of Planning and Code Administration
Caroline Seiden, Planner, Department of Planning and Code Administration
Ellen Maldonado, Esq.
Stuart Barr, Lerch, Early & Brewer



City of Gaithersburg

31 South Summit Avenue
Gaithersburg, Maryland 20877

Mayor and City Council Regular Session Minutes
City Hall - Council Chambers
Monday, July 20, 2015

I. [CALL TO ORDER](#)

Mayor and City Council regular session was called to order at 7:30 p.m. with Mayor Ashman presiding. Council Members present: Drzyzgula, Harris, Sesma and Spiegel. Council absent: Marraffa. Planning Commission Members Present: Chair Bauer, Vice Chair Lanier, Kaufman, and Hopkins. Staff present: City Manager Tomasello, Deputy City Manager Enslinger, City Attorney Board, Economic and Business Development Director Lonergan, Long Range Planning Manager Robinson, Community Planning Manager Schwarz, Planner Seiden, and Municipal Clerk Stokes.

II. [PLEDGE OF ALLEGIANCE](#)

The Pledge was led by Maria Pauer, student at Gaithersburg High School.

III. [REFLECTION](#)

Mayor Ashman called for a moment of silence.

IV. [APPROVAL OF MINUTES](#)

A. [Regular Session held June 15, 2015](#)

Motion was made by Cathy Drzyzgula, seconded by Ryan Spiegel, that minutes from the Regular Session held June 15, 2015, be approved.

Vote: 4-0

V. [APPOINTMENTS](#)

A. [Resolution of the City Council Confirming Reappointments Made by the Mayor to the Educational Enrichment Committee](#)

This resolution confirmed the following reappointments to the Educational Enrichment Committee: Mike Bucci, 114 Woodland Road, Gaithersburg, Maryland 20877, Ellie Eldredge, 3 Thorburn Place, Gaithersburg, Maryland 20878, and Teresa Wright, 20071 Doolittle Street, Gaithersburg, Maryland 20885, two-year terms.

Motion was made by Michael Sesma, seconded by Ryan Spiegel, that a Resolution of the City Council Confirming Reappointments Made by the Mayor to the Educational Enrichment Committee (Resolution No. R-53-15), be approved.

Vote: 4-0

VI. OATH OF OFFICE

A. Oath of Office to Board of Supervisors of Elections Member

Mayor Ashman administered the Oath of Office to Ty Hardaway to execute the office of Board of Supervisors of Elections as an alternate member, according to the United States and Maryland Constitutions, the Laws of this State and the Gaithersburg City Charter and Code.

VII. PUBLIC COMMENTS

1. Maria Pauer, *131 Hutton Street*, reflected on her years studying ballet with former dance teacher Ms. Mugg. She noted the influence in her life as a mentor.
2. Karen Pauer, *131 Hutton Street*, resident for over 28 years and her children have participated in numerous classes throughout the City's Recreation Department. Expressed disappointment in the decision to terminate an instructor with excellent skills.
3. Natalie Plaisted, *113 Billingsgate Lane*, expressed sadness and concern with the termination of Ms. Mugg from the City of Gaithersburg Recreation Department. Stated Mrs. Mugg was more than a dance instructor and taught life lessons.
4. Steven Plaisted, *113 Billingsgate Lane*, father of the above speaker. Expressed disappointment in the decision to terminate such a valuable instructor mentioned above. Requested that the City rectify the matter and re-hire Ms. Mugg.
5. Pam Plaisted, *113 Billingsgate Lane*, extended and invite to the Mayor and City Council to attend the upcoming Saybrooke community event. Spoke on the termination mention above and asked that the matter be reopened.
6. Delia Chin, *7400 Algona Court, Rockville*, been under the leadership of Mrs. Mugg for 10 years. During her time with ballet, she helped and taught her foot strengthening exercise and thanked her for her sacrifice to travel from Pennsylvania to teach. Asked the City to reconsider their decision.
7. Zane Chin, *7400 Algona Court, Rockville*, mother to the daughter above. Doesn't understand the decision to terminate the dance instructor. Asked the City to correct the matter and rehire Mrs. Mugg.

VIII. JOINT PUBLIC HEARING

A. CTAM-7035-2015: Amendments to Concept, Sketch and Schematic Plans

Long Range Planning Manager Robinson presented CTAM-7035-2015: Amendments to Concept, Sketch and Schematic Plans for joint public hearing. The hearing was duly advertised in *The Sentinel* on July 2 and 9, 2015, with seven exhibits in the record file. Planning staff proposed amendments to Chapter 24 (City Zoning Ordinance) to amend Article VIII, entitled, "amendment procedure," § 24-198(c) and (d) entitled, "optional method of application for local map

amendments," so as to define when amendments to concept plans, sketch plans, and schematic development plans are required. He stated that the proposed amendments will clarify §§ 24-198(c)(1)c. and 24-198(d) of the Code. A technical analysis memorandum and email was submitted by staff and Assistant City Attorney Johnson to the Mayor and City Council and Planning Commission, detailing the proposed amendments. He reviewed the current City Code for final site plan as required by Article V and presented the proposed text amendments removing § 24-198(c)(1)c. and the cleanup (d). Stated the amendments are being proposed in keeping with the goals to not be burdensome to applicants, simplify the process for minor amendments or changes, clean up language to avoid any conflicts, and maintain the original intent to ensure that minor changes do not warrant large scale schematic, sketch or concept plan changes.

Concerns were expressed with unintended consequences for minor changes. It was noted that staff uses the design guidelines to judge submitted applications and forward onto the Planning Commission to determine the merit of the application.

There were no speakers from the public.

Motion was made by Lloyd Kaufman, seconded by Geri Lanier, that the Planning Commission record on CTAM-7035-2015: Amendments to Concept, Sketch and Schematic Plans, remain open until 5 p.m. Monday July 27, 2015 (7 days) with anticipated recommendation August 5, 2015.

Vote: 4-0

Motion was made by Michael Sesma, seconded by Cathy Drzyzgula, that the Mayor and City Council record on CTAM-7035-2015: Amendments to Concept, Sketch and Schematic Plans, remain open until 5 p.m. Friday, August 21, 2015 (32 days), with anticipated Policy Discussion September 8, 2015.

Vote: 4-0

B. [SDP-7059-2015 Medimmune Garage "C", 1 Medimmune Way and 200 Orchard Ridge Drive](#)

Planner Seiden presented the joint public hearing duly advertised in *The Sentinel* on July 2 and 9, 2015, with 36 exhibits in the record file. Medimmune, Inc., submitted Schematic Development Plan (SDP) application SDP-7059-2015, proposing the construction of a 1,386 space structured parking facility to serve future development at the Medimmune/AstraZeneca campus. The proposed garage straddles two properties, both zoned MXD, located at 1 Medimmune Way and 200 Orchard Ridge Drive. The application proposes to consolidate the two properties into one lot. The consolidated property will be approximately 31.87 acres.

Erik Morrison, Medimmune Inc., Associate Director, Master Planning, worked closely with the City since 2002. He provided a brief overview of the project stating the applicant's desire to increase capacity on the campus and support interior renovations, maximize green space, and plan for potential future development. Stated that Garage C is located on the Ridges parcel with 1,400 parking spaces, adjacent to the existing Garage B and the main Medimmune building. The applicant's goal is to have more dense development on the Ridges

parcel and keep less dense development similar to the childcare center and parcels closes to the Vistas and Quince Orchard Park. The internal plan for the campus is to keep infrastructure and lab projects in the commercial corridor on the Great Seneca Highway side and office development within the proximity of residential. The Garage C parking structure is 7 tiers above ground; one tier partially below ground; and built to meet sustainability building standards. The applicant has been working closely with the City's Planning team, traffic engineer and stormwater management team to ensure that the project is built responsibly.

John Judge, Desman Design Management, Associate Vice President, provided information on the design concept and the appropriateness for the structured parking facility. He reviewed the difference in massing for Garages B and C; its site elevations and sections. He noted that the majority of the existing asphalt surface parking site will be replaced by the proposed parking structure, greenspace and pedestrian areas. Several preliminary meetings were held with City staff to discuss both vehicular access and the connectivity of pedestrian routing. Plan details were reviewed, showing appropriate lighting, access points, ramping system, surface and roof levels and connectivity from each garage. Design plans and architecture from the existing campus is being proposed. Other similarities are the use of precast concrete, vertical components, perforated metal panels, aluminum window system with tinted glass, open ventilation, fabric banners, bridge connection and vehicle entrances. There is the potential that the proposed facility will be completed in two phases. He presented the phasing scenarios for the garage.

Concern was expressed with the massive height of the proposed garage. The applicant responded to questions in regard to banner covers, perforated metal panels, architecture compatibility with surrounding structures, coordinating with the CCT project team on the proposed transitway, stormwater management facility, location of utilities, different standards than the Green Parking Council, snow loading and removal, charging stations, future expansion of the campus, various entryways, precast and other architectural features. Provisions for motorcyclist and bicyclist during the phasing and greener screening along with the banner covers were suggested. Staff will continue to work with the applicant to refine the plan.

There were no speakers from the public.

Motion was made by Lloyd Kaufman, seconded by Geri Lanier, that the Planning Commission record on SDP-7059-2015 Medimmune Garage "C", 1 Medimmune Way and 200 Orchard Ridge Drive, remain open until 5:00 p.m. Friday, August 28, 2015 (39 days), with anticipated recommendation September 16, 2015.

Vote: 4-0

Motion was made by Neil Harris, seconded by Ryan Spiegel, that the Mayor and City Council record on SDP-7059-2015 Medimmune Garage "C", 1 Medimmune Way and 200 Orchard Ridge Drive, remain open until 5:00 p.m. Friday, September 24, 2015 (67 days), with anticipated Policy Discussion October 19, 2015.

Vote: 4-0

MEMORANDUM

TO: Mayor & City Council; Planning Commission The City of Gaithersburg

FROM: DESMAN

DATE: August 27, 2015

RE: MedImmune Parking Deck C Joint Public Hearing Concerns

This memorandum provides responses to questions and comments presented at the City of Gaithersburg Joint Public held on July 20, 2015. At this Joint Public Hearing members of the MedImmune Design and Project Management team presented schematic designs for proposed 'Garage C' on the MedImmune campus. The City Council's concerns and the design team's responses are provided below:

Joint Public Hearing Comments	
	<p>A.) The aesthetic relationship between Garage C and the CCT stop on the Kentlands side of Great Seneca Highway.</p> <p>In the early stages of campus development, The City of Gaithersburg asked MedImmune to develop campus wide design guidelines. The garage is designed to meet these campus guidelines of Pre-Cast Concrete and blue tinted glass. Additionally, MedImmune's master plan is devised to have solidly designed utility buildings around the perimeter of the campus, concentrating open designed office and administrative buildings toward the interior of the campus.</p> <p>The design team has respected MCC's wish to scale down the garage by decreasing the size of the perforated metal panel module. Decreasing the size of the panel, while increasing the number of panels along the façade also resolves the ratio of concrete along the Great Seneca Highway elevation.</p>
	<p>B.) Info on Green Parking Council and how proposed plan complies.</p> <p>The Green Parking Council's (GPC) Green Garage Certification is the only global rating system that defines and recognizes sustainable practices in parking structure management, programming, design, and technology. The program is the equivalent of LEED Certification, but for parking garages. Similar to LEED the GPC has a</p>

		<p>certification checklist. Thus far the design team has utilized the several GPC initiatives, including but not limited to: an open air design with no ventilation system in the parking areas, parking for bicycles, light with energy-efficient fixtures, and utilizing a stormwater management plan.</p>
	<p>C.) Snow removal plans.</p>	<p>The open spacing between the horizontal pre-cast concrete panels in proposed Garage C will be similar to the spacing found in both Garage A and B. Currently, MedImmune does not have any issues with snow drifting though the façade openings and collecting in the existing parking garages. MedImmune currently has a contract with a snow removal service for internal roads and parking garages. In the unlikely event that a snow drifting issue should arise MedImmune would anticipate relying on this service to remedy any issues.</p>