

QUINCE ORCHARD PARK THE RIDGES-GARAGE C MEDIMMUNE HEADQUARTERS

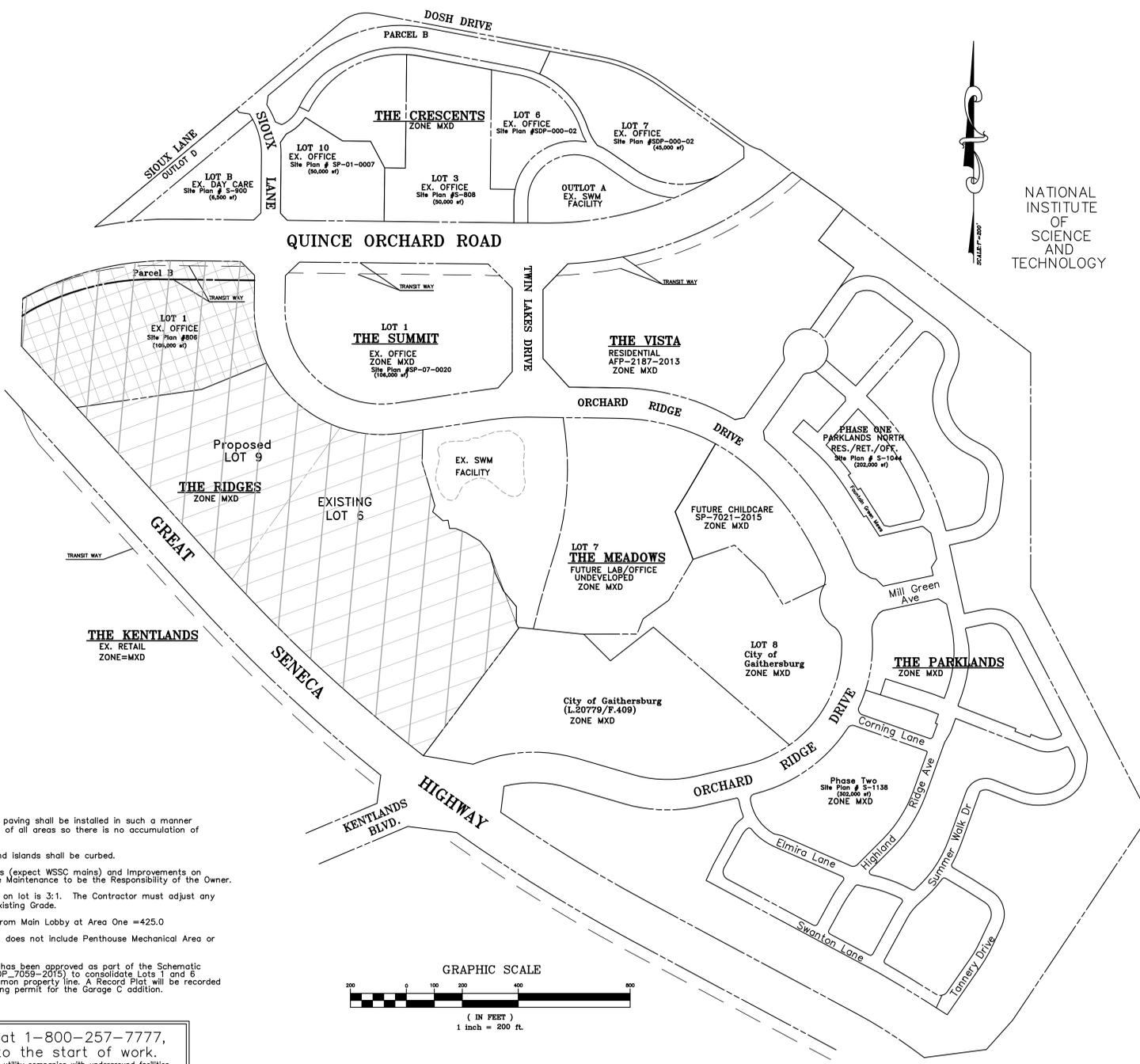
Legend

EXISTING	PROPOSED

PROPOSED LIGHT POLE
(SEE GARAGE PLANS FOR LOCATIONS OF PROPOSED LIGHTING FIXTURES WITHIN PARKING STRUCTURE)

PROPOSED Storm Drain segment
to be wrapped in Bio-Barrier
(See Stormwater Concept Plan)

VICINITY MAP
SCALE 1" = 2,000'
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PERMITTED USE NO. 20192133



NATIONAL INSTITUTE OF SCIENCE AND TECHNOLOGY

DEVELOPMENT DATA

Zone: MXD
Proposed Use - Office and Medical Research Development
Total Site Area = 1,388,659 sq ft or 31.87 ac.
-Ex. Lot 6 = 993,168 sq ft or 22.80 ac
-Ex. Lot 1 = 395,472 sq ft or 9.07 ac.

Allowable Building Area - "The Ridges" = 2,100,000 sq ft (Total)
*Allowable Building Area within "The Ridges" per approved Sixth Amendment to the Annexation Agreement (X-129) recorded 03-13-2013 and Sketch Plan (Z-275C)

Existing - Lot 1	105,000 sq ft
Existing Areas 1, 2 and 3	*223,537 sq ft
Existing Area 4	94,600 sq ft
Existing Area 5	144,865 sq ft
Existing Area 6	250,000 sq ft
Total Building Area - Medimmune	818,002 sq ft

*Includes 218,657 sq ft approved as part of areas 1, 2 and 3 Site Plan and an additional 4,880 sq ft approved as part of Amendment to Final Development Plan (AFP-03-012) for the loading dock.
Areas based on approved Site plans, areas do not include Penthouse and unoccupied cellars

SHEET INDEX

Cover Sheet	500-000-C400
Overall Site Plan	500-000-C401
Existing Conditions & Demolition Plan	500-000-C402
Detailed Site Plan-Phase 1	500-000-C403
Detailed Site Plan-Phase 2	500-000-C404
Site Details	500-000-C405
Utility Plan	500-000-C406
Vehicle Circulation Plan	500-000-C407
Final Landscape Plan	500-000-C410
Final Forest Conservation	500-000-C422
Final Soil Erosion And Sediment Control Plan	500-000-C437 to C439
Final Stormwater Management Plan	500-000-C440 to C442
* Soil, Erosion, and Sediment Control and SWM plans not part of Final Site Plan Approval	
Storm Drain Profiles, Details and Notes	500-000-C443 and Notes
Building Elevations-Phase 1	A 101 to A105
Building Elevations-Final Phase	A 101.1 to A105.1
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Roof Level Plan-Lighting	E 1.00
BUILDING FLOOR PLANS-Phase 1	A101-A104
BUILDING FLOOR PLANS-Final Phase	A101.1-A104.1

Green Area: Required - 25.0% or 347,165 sq ft
Provided - 39.8% or 727,885 sq ft

Parking Summary:
Parking required is approximately 1 space per every 400 s.f. of GFA, per the Sixth Amendment to the Annexation Agreement. 45,000 s.f. of Storage/Mechanical within Cellar and Penthouse within Areas 1, 2 and 3 not included as part of required parking calculation.
Vehicle Parking Required (818,002 sq ft - 45,000 sq ft) x 1 space/400 sq ft = 1,933 spaces = 1,933 spaces
Vehicle Parking Provided:
Existing Parking Garage A: 504 spaces (Incl. 9 Accessible)
Existing Parking Beneath Area 2: 16 spaces
Existing Parking - Surface: 658 spaces (Incl. 25 Accessible)
Existing Garage B: 1,060 spaces (Incl. 19 Accessible)*
* Parking Count for Garage B reflects parking totals provided on Architectural plans (1,066 spaces) approved as part of the Building Permit for Garage B construction. Parking total includes 6 spaces eliminated as part of the proposed connection between Garages B and C that is part of this application.

Proposed Garage C-Phase 1: 964 spaces (Incl. 20 Accessible)
Proposed Garage C-Phase 2: 379 spaces (Incl. 4 Accessible)
Total Parking Provided within campus = 3,581 spaces
**Future Parking - Surface spaces approved as part of Site Plan #SP-05-001 on 3/16/2005 not part of parking totals. Parking totals reflect parking count once construction of this phase of work is complete.
A parking waiver of Section 24-222A of the City code is being requested as part of this Site Plan approval to allow the construction of parking spaces in excess of the maximum allowable parking required.

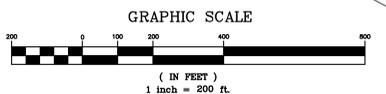
Planning Commission
SP-7160-2015
Exhibit #8

Accessible Spaces Required - 46 spaces (TOTAL Campus)
20 spaces for initial 1,000 spaces, plus 1% in excess of 1,000
Accessible Spaces Provided - 77 spaces (TOTAL Campus), includes 12 ADA Van spaces

Motorcycle/Scooter Spaces Required within Garage C = 27 spaces (1,343 x 2%)
Motorcycle/Scooter Spaces Provided within Garage C = 28 spaces
(Phase 1 = 20 spaces / Phase 2 = 8 spaces)
Bicycle Spaces Required within Proposed Garage C = 54 spaces (1,343 x 1/25)
Bicycle Spaces Provided within Proposed Garage C = 56 spaces
(Phase 1 = 40 spaces / Phase 2 = 16 spaces)

Internal Green Space Required (Total) = 10.0% or 21,923 sq ft
Internal Green Space Provided = 10.7% or 23,835 sq ft

- ### NOTES:
1. Curbs, gutters, sidewalks, and paving shall be installed in such a manner as to provide positive drainage of all areas so there is no accumulation of surface water.
 2. All perimeters, paving edges and islands shall be curved.
 3. All Paving, Storm Drain, Utilities (except WSSC mains) and Improvements on this Parcel are Private and the Maintenance to be the Responsibility of the Owner.
 4. The maximum permitted grade on lot is 3:1. The Contractor must adjust any slope as necessary to meet Existing Grade.
 5. All building heights measured from Main Lobby at Area One = 425.0
 6. Calculation of Gross Floor Area does not include Penthouse Mechanical Area or Uninhabitable Cellars.
 7. A Preliminary Subdivision plan has been approved as part of the Schematic Development Plan approval (SDP_7059-2015) to consolidate Lots 1 and 6 and eliminate the interior common property line. A Record Plat will be recorded prior to issuance of the Building permit for the Garage C addition.



Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS

OWNER
MEDIMMUNE, Inc.
One Medimmune Way
Gaithersburg, MD
Phone: 301-398-5527
Contact: Erik Morrison
Associate Director Master Planning

ARCHITECT
Desman
800 Westpark Drive, Suite 610
McLean, Virginia 22120
Phone: (703) 448-1190
Contact: John Judge, P.E.

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016
Stephen E. Crum

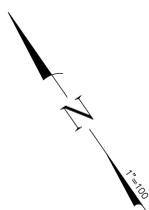
NO.	REVISIONS	DWN	CK	APP	NO	DATE

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DESMAN
Design Management

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MEDIMMUNE, INC. QUINCE ORCHARD PARK-The Ridges LOTS 1 and 6-GARAGE C CIVIL FINAL SITE PLAN COVER SHEET	SCALE: 1"=200' DATE: 11/19/15 DRAWN BY: BJD APPROVED: MEDIMMUNE, INC. DRAWING NO.: 500-000-C400	REV:
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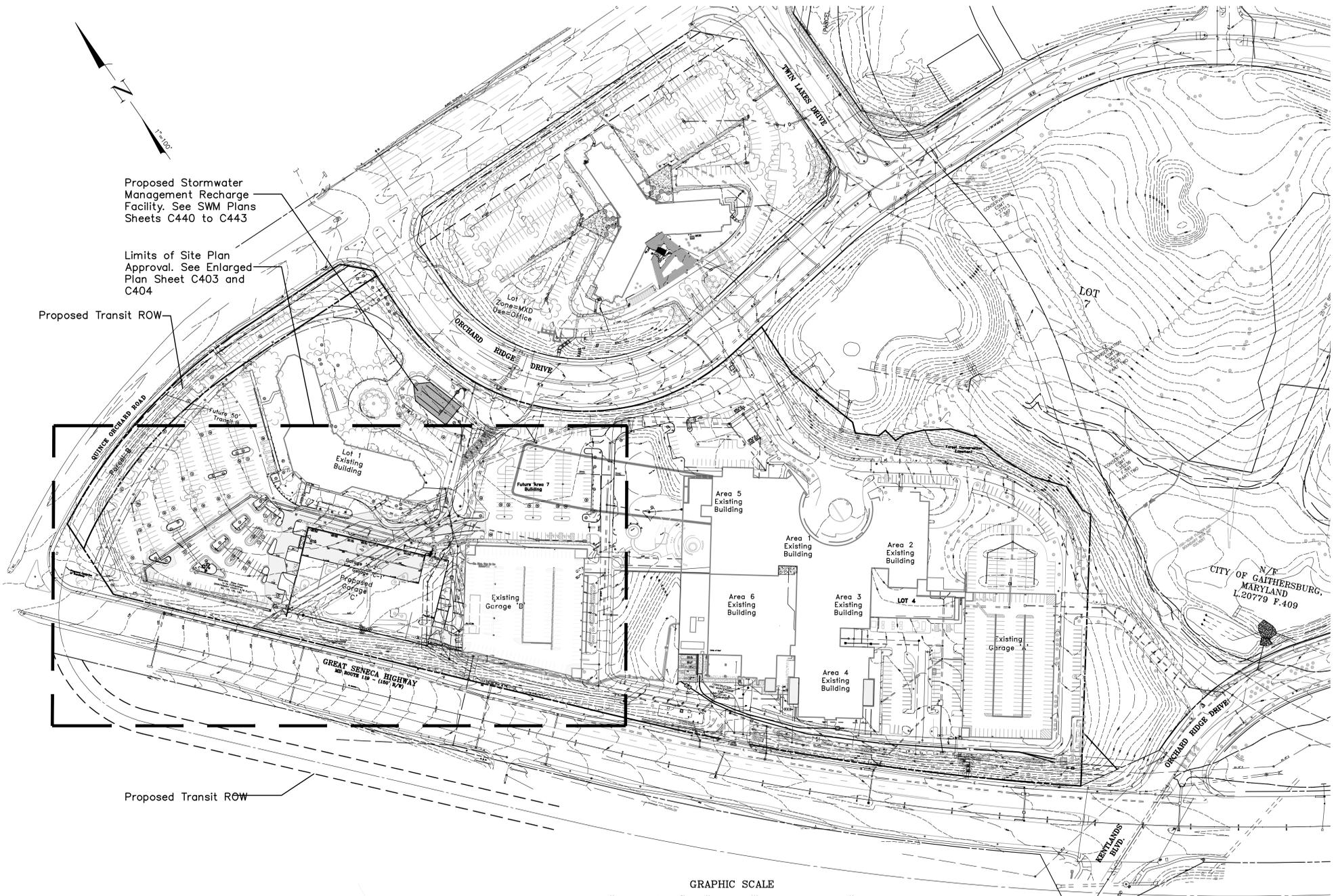


Proposed Stormwater Management Recharge Facility. See SWM Plans Sheets C440 to C443

Limits of Site Plan Approval. See Enlarged Plan Sheet C403 and C404

Proposed Transit ROW

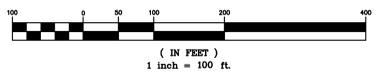
Proposed Transit ROW



EXISTING		PROPOSED	
	Paving		
	Curb & Gutter		
	Sign		
	Utility Pole		
	Lamp Post		
	Post or Ballard		
	Tree		
	Electric		
	Overhead Wires		
	Sanitary Sewer		
	Storm Drain		
	Water Line		
	Fire Hydrant		
	Gas		
	Telephone		
	Buildings		
	Concrete		
	Spot Elevation		
	Contour		
	Proposed Light Pole (See Garage Plans for locations of proposed lighting fixtures within parking structure)		
	Proposed Storm Drain segment to be wrapped in Bio-Barrier (See Stormwater Concept Plan)		

N/E
CITY OF GAITHERSBURG,
MARYLAND
L.20779 F.409

GRAPHIC SCALE



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 20°32'01" W	23.63'
L2	S 49°02'26" E	49.28'
L3	N 84°20'13" E	17.93'
L4	S 10°18'06" E	30.55'
L5	N 88°55'54" E	22.28'
L6	S 68°01'57" E	40.00'
L7	S 58°00'52" E	59.03'
L8	S 38°12'45" E	54.96'
L9	S 15°30'32" E	73.93'
L10	S 24°30'28" E	70.71'
L11	S 39°08'07" E	73.80'
L12	S 00°28'20" W	60.48'
L13	S 26°14'52" E	19.47'

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 4. The maximum permitted grade on lot is 3:1. The Contractor must adjust any slope as necessary to meet Existing Grade.
 5. All building heights measured from Main Lobby at Area One =425.0
 6. Calculation of Gross Floor Area does not include Penthouse Mechanical Area or Uninhabitable Cellars.
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Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.
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Contact: John Judge, P.E.

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Contact: Erik Morrison
Associate Director Master Planning

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 16905, Expiration Date: 4-21-2016
Stephen E. Crum

WSSC 222 NW 12 / ADC Map 5047 C-10

NO.	REVISIONS	DWN	CK	APP	NO	DATE

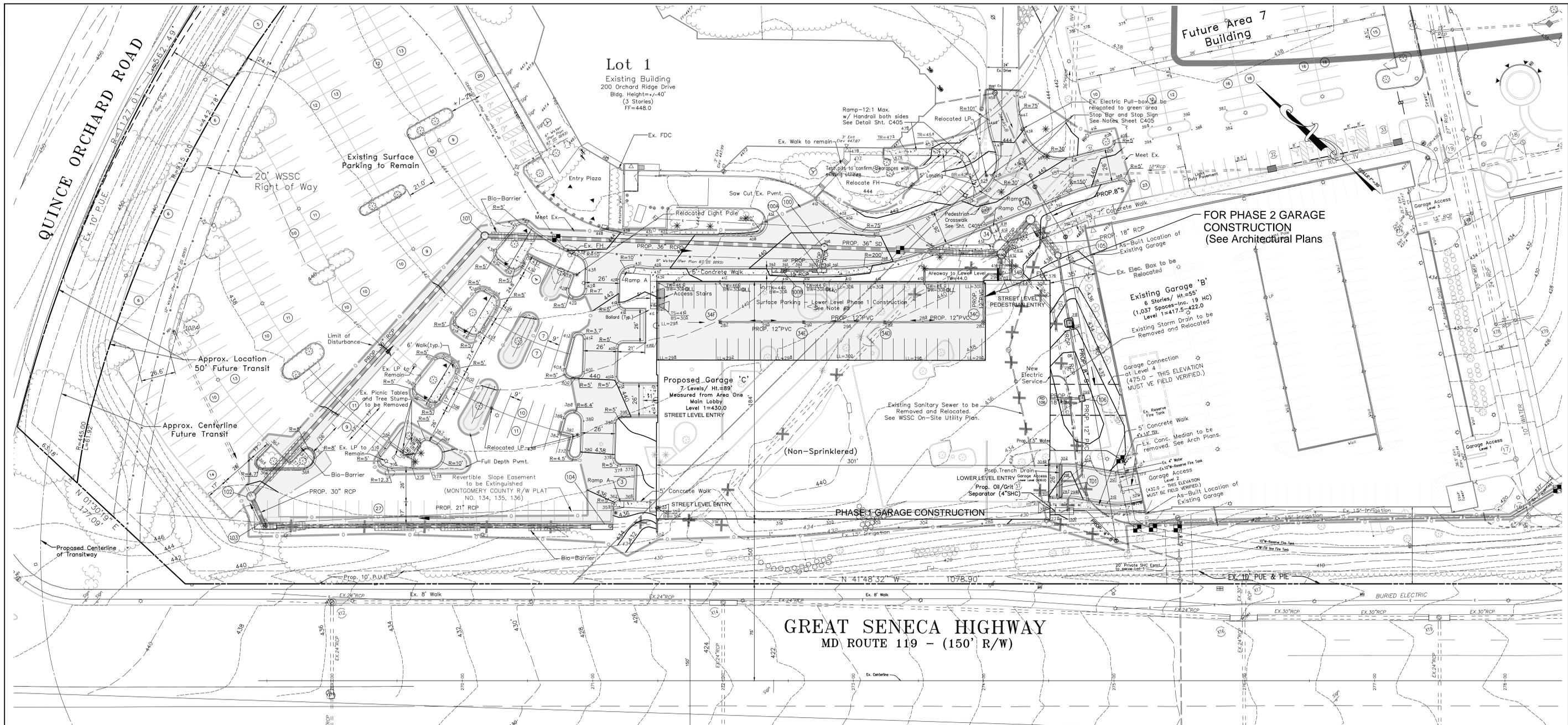
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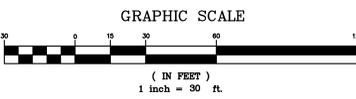
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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
LOTS 1 and 6 - GARAGE C
CIVIL
FINAL SITE PLAN
OVERALL SITE PLAN

SCALE: 1"=100'	DATE: 10/07/15
DRAWN BY: BJD	APPROVED:
MEDIMMUNE, INC. DRAWING NO.: 500-000-C401	REV.:



GREAT SENECA HIGHWAY
MD ROUTE 119 - (150' R/W)



Legend	
EXISTING	PROPOSED

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 8. Storm Drain within Phase 1 (C-1) on the Lower Level to convey surface runoff to be removed or abandoned as part of Phase 2 (C-2) per WSSC Code.

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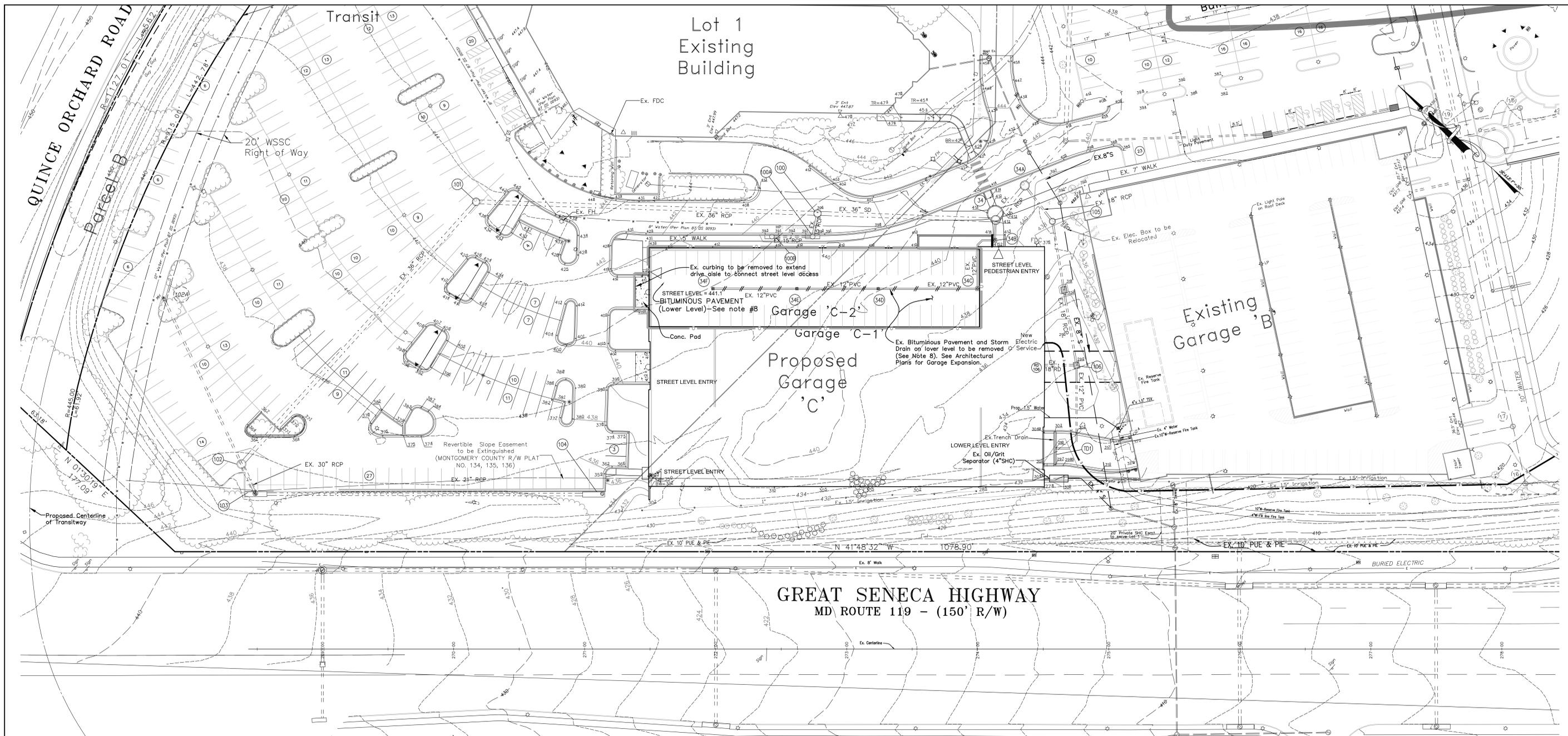
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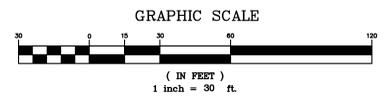
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LOTS 1 and 6 - GARAGE C
CIVIL
FINAL SITE PLAN
DETAILED SITE PLAN - PHASE 1

WSSC 222 NW 12 / ADC Map 5047 C-10

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MD ROUTE 119 - (150' R/W)



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 6. Calculation of Gross Floor Area does not include Penthouse Mechanical Area or Uninhabitable Cellars.
 7. Stormwater management facilities are provided off-site. Applicant to record easements and covenants for maintenance of off-site Stormwater Management Facilities associated with SDP-7059-2015 must be under one ownership for as long as the Stormwater Management Facility is operational.
 8. Storm Drain within Phase 1 (C-1) on the Lower Level to convey surface runoff to be removed or abandoned as part of Phase 2 (C-2) per WSSC Code.

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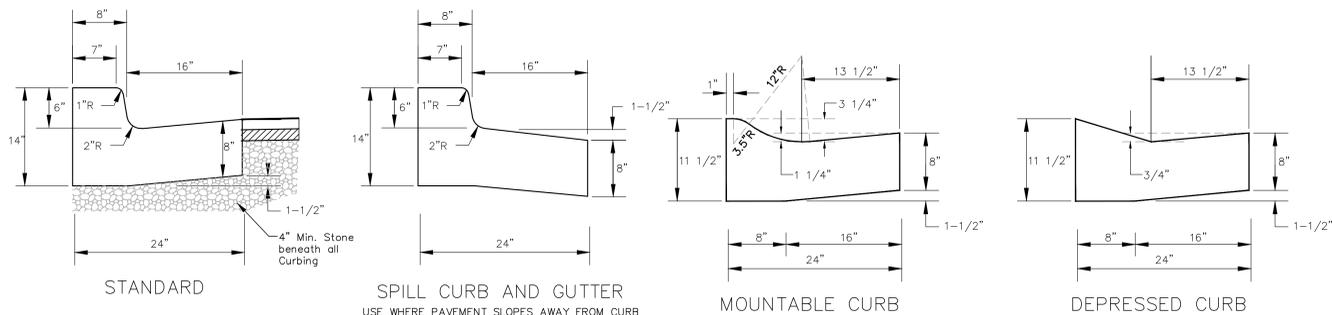
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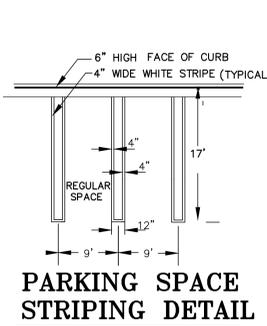
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DETAILED SITE PLAN - PHASE 2
SCALE: 1"=30'
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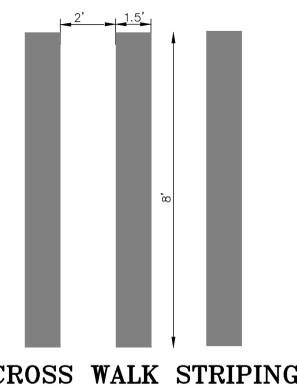


CONCRETE CURB AND GUTTER DETAILS

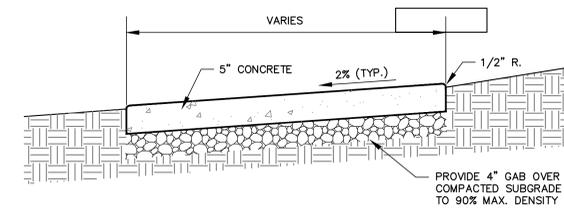
REFER TO MCDPW&T STD. MC-100.01 FOR CONSTRUCTION DETAILS.
USE SHA CONCRETE MIX #3



PARKING SPACE STRIPING DETAIL

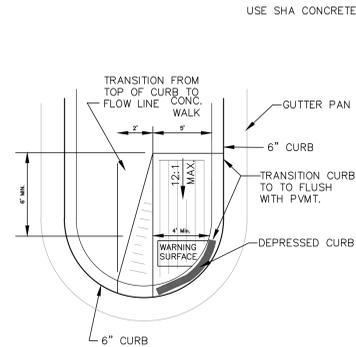


CROSS WALK STRIPING



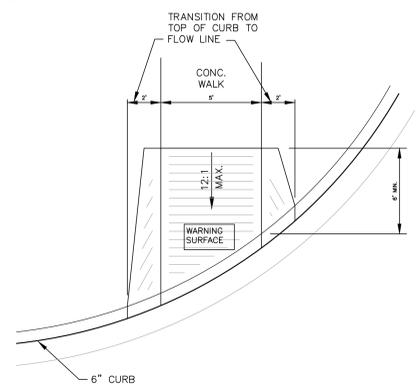
CONCRETE SIDEWALK DETAIL

REFER TO MCDPW&T STD. MC-111.01 FOR CONSTRUCTION DETAILS.
USE SHA CONCRETE MIX #3



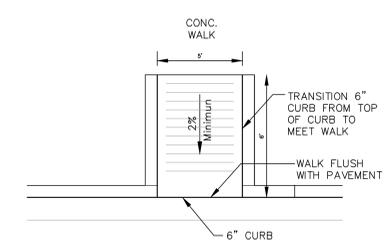
SIDEWALK RAMP DETAIL "A"

USE SHA CONCRETE MIX #3



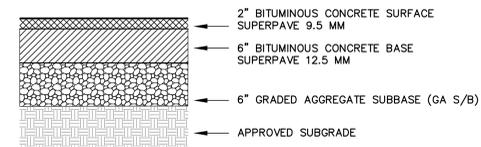
SIDEWALK RAMP DETAIL "B"

REFER TO MCDPW&T STD. MC-112.01 FOR CONSTRUCTION DETAILS.
USE SHA CONCRETE MIX #3



SIDEWALK RAMP DETAIL "C"

USE MSHA CONCRETE MIX #3



BITUMINOUS PAVING SECTIONS

THE PAVING SECTIONS SHOWN ARE NOT BASED ON A GEOTECHNICAL REPORT. THE CONTRACTOR MUST HAVE THE SOIL TESTED AT THE TIME OF CONSTRUCTION BY A PROFESSIONAL GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER IS TO DESIGN A PAVING SECTION BASED ON THE SOIL TEST RESULTS AND THE PROPOSED USES.

MACRIS, HENDRICKS, & GLASCOCK, P.A. MAKES NO GUARANTEE OR WARRANTY EITHER ASSUMED OR IMPLIED AS TO THE SUITABILITY OF THESE PAVING SECTIONS AND ASSUMES NO LIABILITY IN PROVIDING THE PAVING SECTIONS SHOWN ABOVE ON OUR DRAWINGS. THESE/THIS PAVING SECTION/S ARE PLACED HERE SOLELY FOR THE CONVENIENCE OF THE OWNER AND THE CONTRACTOR.

PAVEMENT NOTES

THE PAVEMENT SECTIONS SHOWN HEREON ARE BASED ON RECOMMENDATIONS FROM *Geotech Name & phone* AND HAVE BEEN EXCERPTED FROM THEIR GEOTECHNICAL ENGINEERING REPORT, DATED *Date*.

THE CONTRACTOR SHALL OBTAIN A COPY OF THIS REPORT AND OF THE PROJECT SPECIFICATIONS AND REVIEW INFORMATION AND RECOMMENDATIONS REGARDING THE PROCEDURES TO BE FOLLOWED PRIOR TO GRADING AND THE CONSTRUCTION OF PAVEMENT.

THE CONTRACTOR IS CAUTIONED THAT THE PAVEMENT SECTIONS SHOWN HEREON CONSIDER POST-CONSTRUCTION TRAFFIC CONDITIONS ONLY, AND DO NOT ACCOUNT FOR CONSTRUCTION TRAFFIC LOADING. CONSTRUCTION TRAFFIC LOADING CONDITIONS MAY BE MORE SEVERE THAN THE POST-CONSTRUCTION CONDITIONS AND MAY RESULT IN SUBGRADE AND PAVEMENT FAILURES THE REPAIR OF WHICH WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHOULD CONSIDER THE DESIGNATION OF HAUL ROUTES WHERE THE THICKNESS OF THE AGGREGATE SUBBASE OR THE ASPHALT BASE COURSE IS INCREASED TO ACCOUNT FOR CONSTRUCTION TRAFFIC LOADING CONDITIONS.

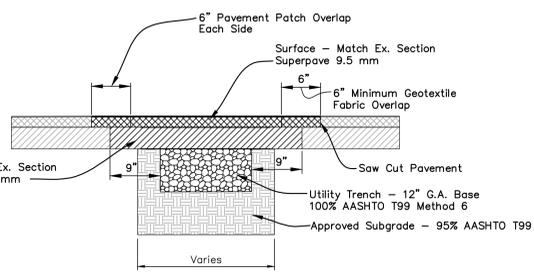
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* The subbase is to be prepared in strict accordance with the Project Specifications and the recommendations within the soils report. The subbase is to be tested by a professional geotechnical engineer, after the grading operations are complete and prior to pavement construction. The geotechnical engineer is to provide written confirmation to the owner, architect and the contractor that the subbase has been prepared in accordance with the Project Specifications and the recommendations of the soils report referenced above and that the Pavement Sections shown hereon are in conformance with the geotechnical engineering report and will be suitable for the uses set forth in said report.

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.

The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

NO.	REVISIONS	DWN	CK	APP	NO.	DATE	REVISIONS	DWN	CK	APP



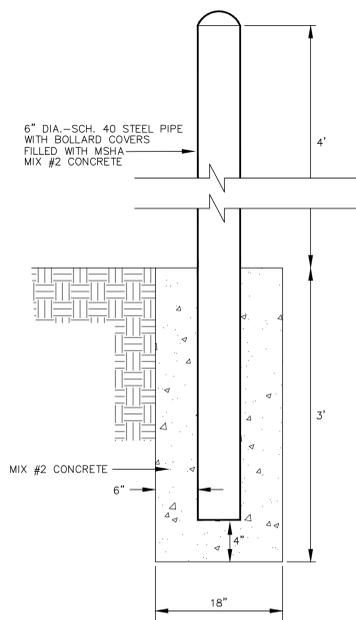
REQUIREMENTS

- All proposed cuts must be sawed to full depth.
- Cuts for final base removal must be made after repairs or installation have been completed.
- All streets found with existing geo-textile fabric shall require a fabric overlap joint as indicated.
- All repair edges or joints shall be sealed.
- Minimum repair area for any appurtenance shall be four feet six (4'-6") square.
- Materials used in the paving section repair must be replaced in kind.
- The top of the trench or repair must have a minimum of 12" of graded aggregate base installed.
- The City Inspector may adjust the limits of the repairs at his discretion.

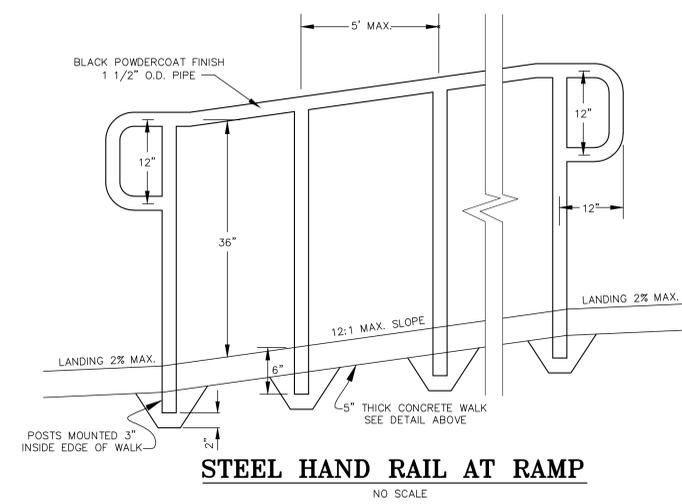
NOTES

- Refer to the Montgomery County Department of Transportation Utility Patch Specifications for materials and methods of construction.
- Existing pavement must be saw cut to full depth.
- Base course and subbase material shall conform to appropriate roadway classification design standard, or match existing condition, whichever requirement is greater.

BITUMINOUS PAVING UTILITY PATCH



BOLLARD DETAIL



STEEL HAND RAIL AT RAMP

SIGNAGE AND PAVEMENT MARKING NOTES

- Stop Sign *(MUTCD R1-1) 30"x 30" Mounted on U-Channel sign post. Bottom of sign must be 7' min. above ground.
- Stop Bar to be 16" Solid White, places 4.5' from edge of travelled way.

*Detail reference for Signs can be obtained from the latest edition of the Manual on Uniform Traffic Control Devices for Street and Highways. All Signage and Striping shall be in conformance with the current Manual on Uniform Traffic Control Devices (MUTCD).

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WSSC 222 NW 12 / ADC Map 5047 C-10

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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
LOTS 1 and 6 - GARAGE C
CIVIL
FINAL SITE PLAN
SITE DETAILS

SCALE: N.T.S.	DATE: 10/07/15
DRAWN BY: BJD	APPROVED:
MEDIMMUNE, INC. DRAWING NO.: 500-000-C405	REV.:

PLANTING NOTES

Description: Planting shall consist of furnishing and installing plant material as shown on the plans. Care and replacement necessary to complete the work as specified shall be provided.

The Landscape Plan is to be used for planting purposes only.

General Notes:

- Individual homeowners must be notified at least one week prior to installation of plants on lots that have an occupied dwelling.
- Unless otherwise stipulated, plant installation shall comply with the standards in the latest edition of "Landscape Specifications Guidelines," developed by the MD-DC-VA chapter of the Landscape Contractors Association.
- All trees are to be located a minimum distance of 5' from all utility boxes, 5' from a storm drain inlet or manhole, 10' from a fire hydrant, 15' from any public street light, 5' from any driveway aprons, 20' from any traffic control sign, and at least 30' from any intersection.
- Locations of street trees may be subject to change in order to avoid conflict with street lighting.
- Any planting within a forest retention area, as designated on the forest conservation plan and shown on this plan, must be done to avoid any adverse impact on the roots of existing trees.
- Plant type, size, and quantity substitutions are permitted only with verbal or written approval from the Planning and Code Administration.
- All plant material will be reinspected for survival by the Planning and Code Administration one year following installation. A 10 percent maintenance bond will be retained during this time period.
- All plants must meet the standards of the latest edition of American Standard for Nursery Stock sponsored by the American Association of Nurserymen.
- No plant shall be located in areas of obvious poor drainage. If such conditions exist, contact the landscape architect immediately to relocate affected plant materials.
- Soil conditions must be tested, verified and adjusted by the landscape contractor to insure that appropriate soil composition and pH levels are suitable for plant materials specified for that specific location.

Plant Material:

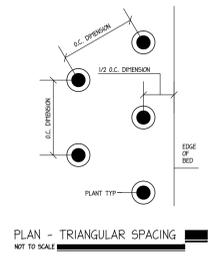
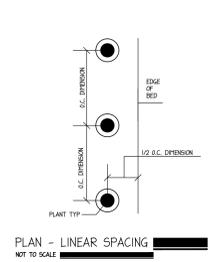
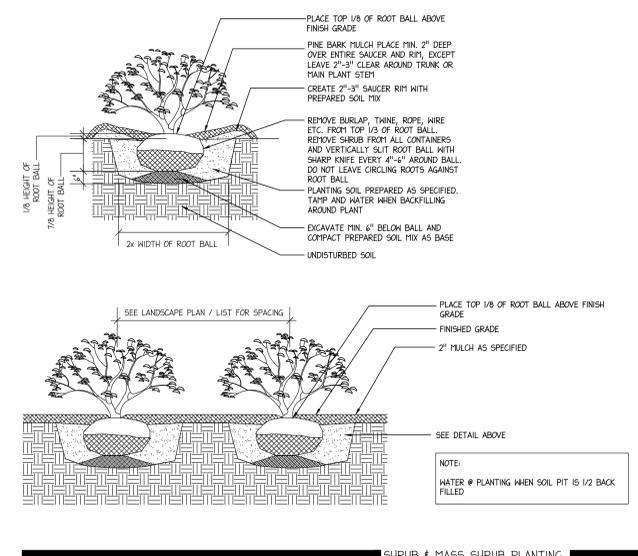
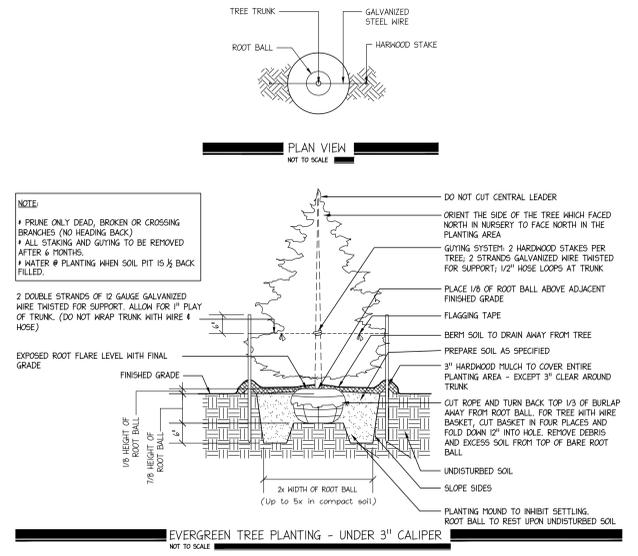
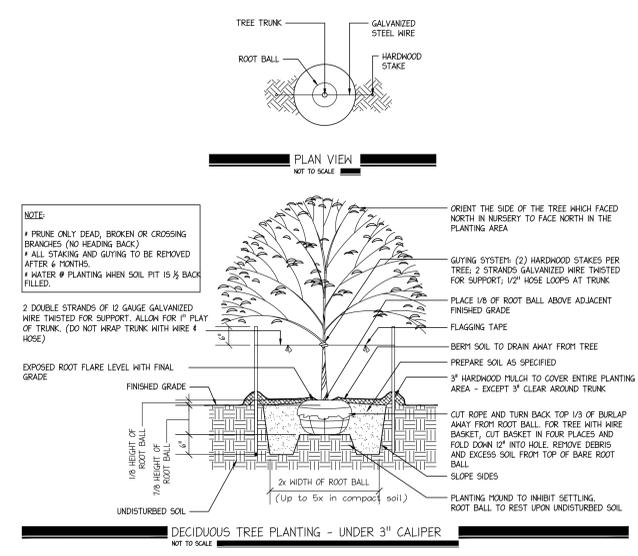
- The installer shall make arrangements to insure a supply of the required material. This shall be done six (6) months prior to planting time to guarantee the supply.
- Plant materials must be selected from nurseries that have been inspected by appropriate state and federal agencies.
- All plant material shall be obtained from mid Atlantic area sources, and approved by the owner or duly appointed representative prior to planting.
- Plant material shall be provided with plant identification tags listing the botanical and common names. The tags shall not be removed until after final certification by the landscape architect.

B. Planting

- Planting will be installed no later than (1) year after completion of the construction project.
- Root Stock of the plant material shall be kept moist during transportation from the source to the job site and until planted. Plant materials left unplanted shall be protected from direct sun and weather and kept moist.
- Containers or wire baskets containing the root ball shall be removed; burlap covering shall be removed from the top 2/3 of the root ball.
- Plants shall be installed only between the months of January and May or between September and December when the ground is not frozen. Plants shall be guaranteed for a two-year period from the time of installation. Any replacements must be installed as above.
- All areas are to be seeded or sodded as shown on drawing. Install seed and sod per the Landscape Contractors Association's latest edition of "Landscape Specifications Guidelines".
- The installer shall adequately water all plants promptly following installation to insure plant growth.
- Watering of the plant material shall take place at the end of each fifth day through September 1, if the soil is not moist.
- Contractor shall be responsible for making himself familiar with all the existing on-site conditions prior to submission of bid. The contractor is responsible for the location of all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Miss Utility, 48 hours prior to digging (1-800-257-7777).
- All plants shall be placed so as not to obstruct drainage.
- Do not prune leader.
- Where field conditions exist which would adversely affect plant performance, or interfere with proper planting procedures, the contractor shall notify the Owner prior to installation of plant material.
- All mulch to be shredded hardwood bark to a depth of three inches in landscape areas.
- Contractor to confirm quantity of plant materials by plan count. Notify landscape architect of any discrepancy prior to planting.

C. Clean Up

- Final Clean up shall be the responsibility of the installer and consist of removing all trash and materials incidental to the project and properly disposing of them off site. In addition the construction procedure shall not damage any areas of existing plants which are to remain.
- There shall be no open burning on-site.
- The contractor shall replace or repair at no cost to the owner, all site areas or surrounding items damaged by work of his contracts.
- During landscape work, store materials and equipment where directed. Keep pavement clean and work areas in an orderly condition.



KEY	QTY	BOTANICAL NAME	COMMON NAME	GAL	HGT	SPD	ROOT	SPACING
SHADE TREES								
ARA	13	Acer nybrum 'Armstrong'	Armstrong Red Maple	2 1/2	-3'		B&B	
ASL	5	Acer saccharum 'Legacy'	Legacy Sugar Maple	2 1/2	-3'		B&B	
QCO	7	Quercus coccinea	Scarlet Oak	2 1/2	-3'		B&B	
QRF	4	Quercus robur 'Fastigata'	Coleman English Oak	2 1/2	-3'		B&B	
UAV	4	Ulmus americana 'Valley Forge'	Valley Forge Elm	2 1/2	-3'		B&B	
ZSV	5	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2 1/2	-3'		B&B	
EVERGREEN & DECIDUOUS CONIFER TREES								
IQJ	5	Ilex opaca 'Jersey Princess'	Jersey Princess American Holly		7-8'		B&B	
IOK	2	Ilex opaca 'Jersey Knight'	Jersey Knight American Holly		7-8'		B&B	
ICA	4	Ilex x 'Corat'	Oak Leaf Red Holly		5-6'		B&B	
PFV	8	Pinus Resinosa 'Vandewolf Pyramid'	Vandewolf Pyramid Limber Pine		7-8'		B&B	
TOW	16	Thuja occidentalis 'Wintergreen'	Wintergreen Arborvitae		7-8'		Cont.	
ORNAMENTAL TREES								
CCA	6	Cercis canadensis	Eastern Redbud		7-8'		B&B	
CMA	5	Cornus mas	Cornelian Cherry Dogwood		5-6'		B&B	
CVW	7	Crataegus viridis 'Winter King'	Winter King Hawthorn		7-8'		B&B	
MDA	1	Magnolia x 'Daybreak'	Daybreak Magnolia		7-8'		B&B	
PIO	4	Prunus x incana 'Okame'	Okame Cherry		7-8'		B&B	
DECIDUOUS SHRUBS								
FGA	19	Fothergilla gardenii	Dwarf Fothergilla		1.8-2.4'		Cont.	48" o.c.
VDP	22	Viburnum dentatum 'Patzam'	Pathfinder Viburnum		30-36"		Cont.	48" o.c.
EVERGREEN SHRUBS								
IGN	46	Ilex glabra 'Chamzon'	Nordic Inkberry		1.8-2.4'		Cont.	48" o.c.
JVG	27	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper		1.8-2.4'		Cont.	48" o.c.
FLO	32	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel		30-36"		Cont.	72" o.c.
VBC	6	Viburnum x burkwoodii 'Conroy'	Conroy Viburnum		30-36"		Cont.	60" o.c.

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CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

SP: _____

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____

APPLICATION NO. SP-xxxx-xxxx WAS GRANTED

FINAL SITE PLAN APPROVAL

WITH _____ () CONDITIONS. SEE S.D.A. LETTER.

DATE _____ BY _____

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION OR PLANNING STAFF

REVISIONS	DWN	CK	CK	APP	NO	DATE	REVISIONS	DWN	CK	CK	APP

MHG Macris, Hendricks & Glascock, P.A.
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Landscape Architects ■ Surveyors

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DES MAN
Design Management

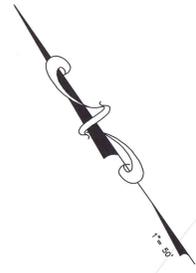
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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
LOT 9 - GARAGE C

FINAL LANDSCAPE PLAN

SCALE: NTS	DATE: 11/09/15
DRAWN BY: GSH	APPROVED:
MEDIMMUNE, INC. DRAWING NO.: 500-000-C412	REV.:



QUINCE ORCHARD ROAD

Future 50' Transit

20' WSSC Right of Way

Parcel B

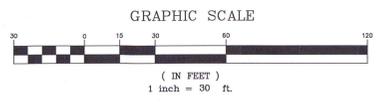
Lot 1 Existing Building

Proposed Centerline of Transitway

Garage 'C-2'
Garage 'C-1'
Proposed Garage 'C'

Existing Garage 'B'

GREAT SENECA HIGHWAY
MD ROUTE 119 - (150' R/W)



NO.	DATE	APP.	CK.	DWN.	REVISIONS

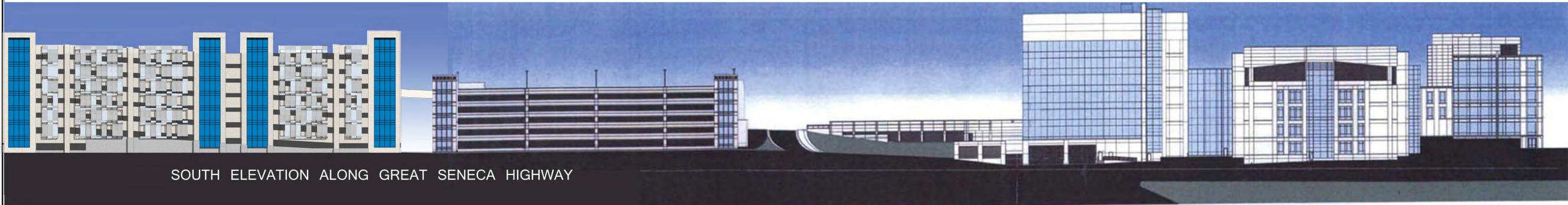
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DESMAN
Design Management

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MEDIMMUNE, INC.
QUINCE ORCHARD PARK - The Ridges
LOT 9 - GARAGE C
LANDSCAPE RENDERING

SCALE: 1"=30'	DATE: 11/17/15
DRAWN BY: GSH	APPROVED:
MEDIMMUNE, INC. DRAWING NO.:	REV.:
Exhibit	



SOUTH ELEVATION ALONG GREAT SENECA HIGHWAY

Planning Commission
SP-7160-2015
Exhibit #12

ISSUE		
NO.	DESCRIPTION	DATE

DRAWING TITLE:

ELEVATION ALONG GREAT SENECA HWY

DRAWING NO.

A 203.1

SCALE: AS NOTED

DATE: NOVEMBER 9, 2015

PROJECT NO: 30-15105

DES.	DRWN.	CKD.
JJ	IM	JJ

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