

Proposed Garage C Final Site Plan Presentation

City of Gaithersburg: Planning Commission

2 Dec 2015



Garage C Business Objectives

- Final Site Plan is one step in an ongoing process
 - March 2002 MedImmune purchases initial plot in Quince Orchard Park
 - March 2013 Mayor & City Council approves Sketch Plan
 - Aug 2015 Childcare Final Site Plan approval
 - Dec 2015 Garage C Final Site Plan presentation
- Desire to enhance campus drives need to build Garage
 - Commitment: Gaithersburg is AstraZeneca's North America R&D hub
 - Current: Interior renovations increase seating capacity
 - Future: Minimize surface parking; Potential Area 7 office building

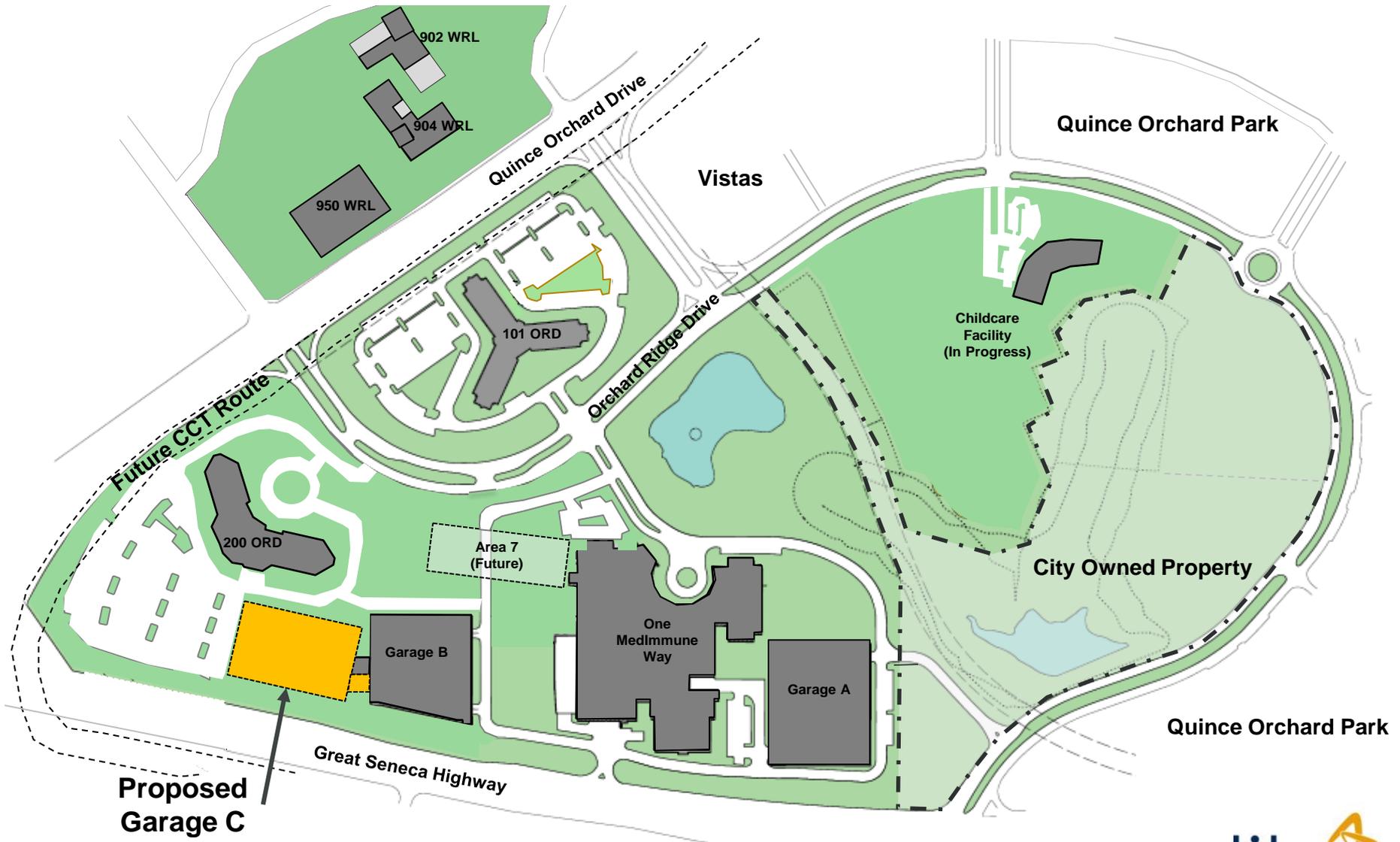


Garage C Building Program

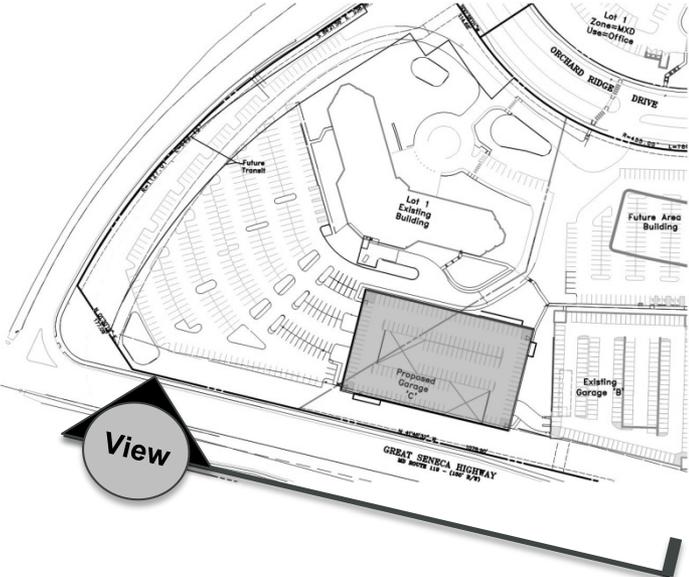
- Located on Ridges Parcel adjacent to main MedImmune building
- 1,400 space capacity completed in 2 phases
 - Phase 1: 964 spaces (plus motorcycle and bicycle parking)
 - Phase 2: 379 spaces 180ft x 300ft building footprint
- 7 tiers above ground (~85 ft. high); 1 tier partially below ground
- Built to meet sustainability building standards
- In process of extinguishing two interior property lines



Garage C Location on Ridges Parcel



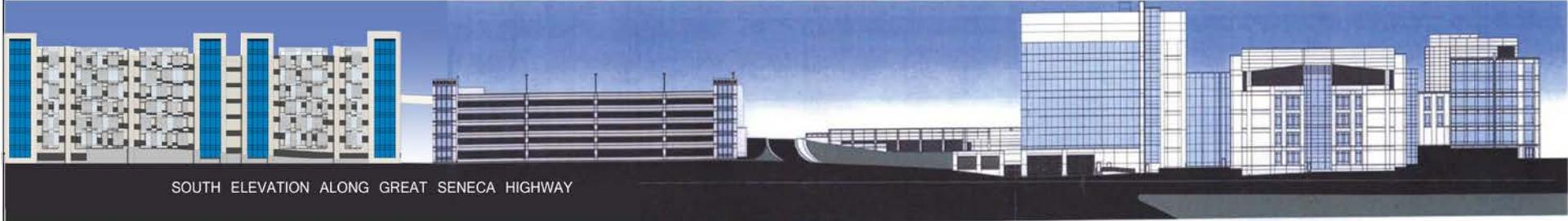
Site Elevation from Great Seneca Highway



Garage C
(Proposed)

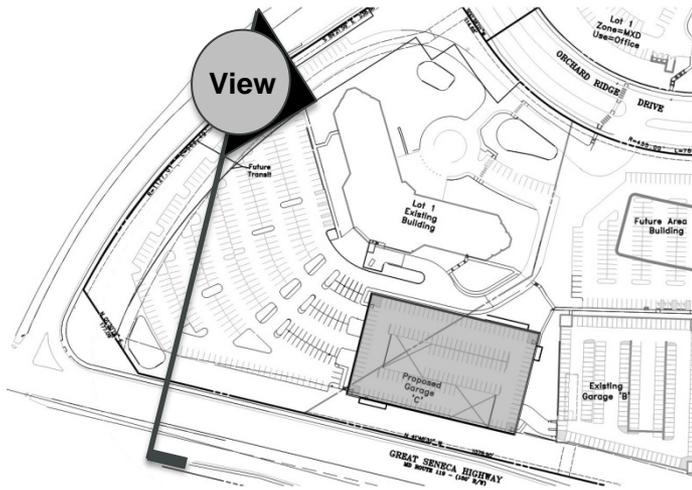
Garage B

OMW Building



SOUTH ELEVATION ALONG GREAT SENECA HIGHWAY

Site Section Looking South from Surface Lot



200 ORD

Garage C
(Proposed)

Kentlands

Future CCT
Station

Future
Building

Great Seneca
Highway

Garage C Detailed Site Plan



Existing 200 ORD

Surface Parking

Entrances

Proposed Garage C

Connector to Existing Garage



Sustainable Elements of Project

- Campus Recycling Program
- Proactive Operational Maintenance
- Construction Waste Management
- Regional Materials
- Regional Labor
- Placemaking
- Access to Mass Transit
- Rideshare Program
- Bicycle Parking
- Halon-Free Fire Suppression
- No VOC Coatings, Paints and Sealants
- Energy Efficient HVAC Systems
- Lighting Controls
- Energy Efficient Lighting System
- Stormwater Management
- Design for Durability



Detailed Plan: Lower Level



LOWER LEVEL

Detailed Plan: Street Level



STREET LEVEL PLAN

Typical Level

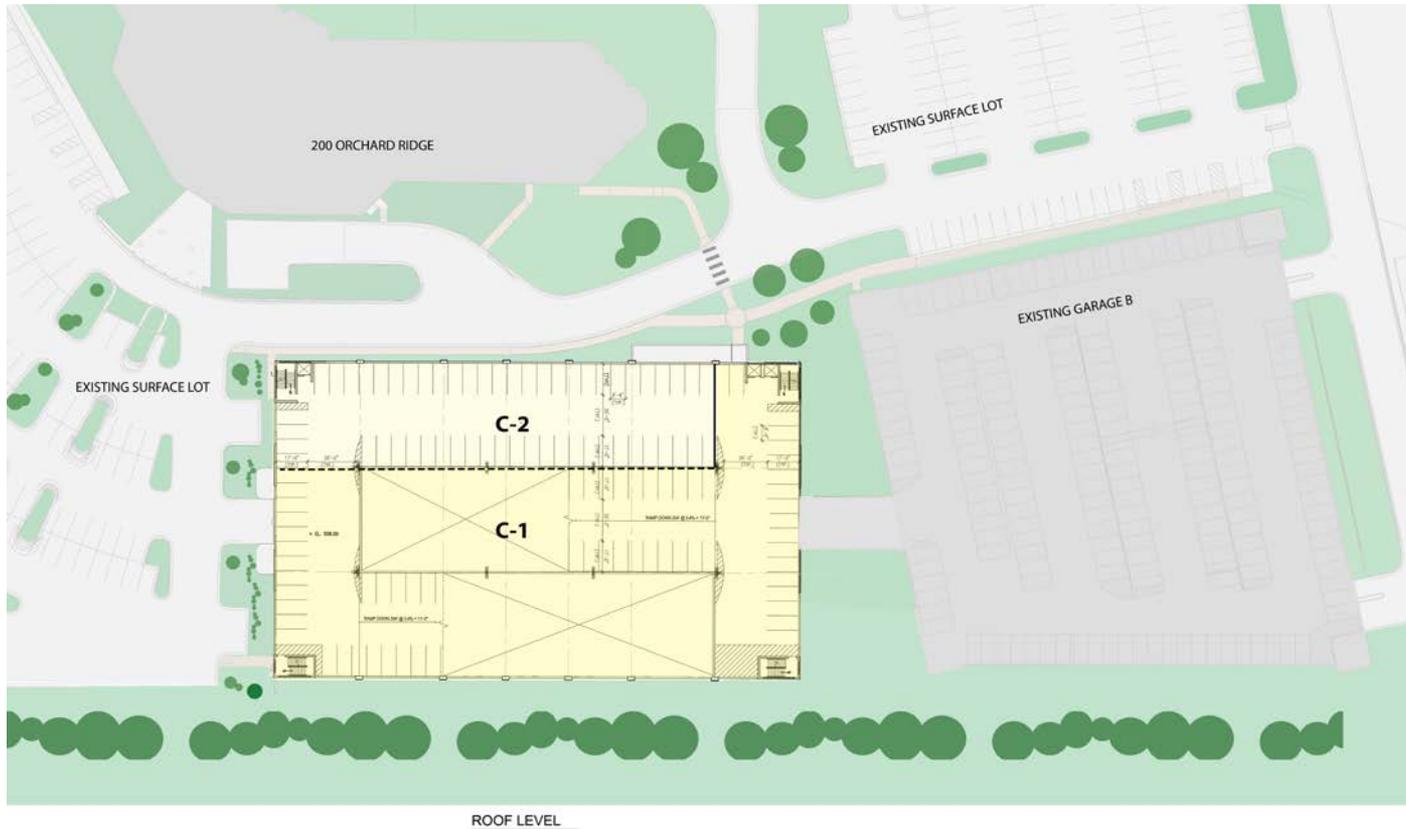


TYPICAL LEVEL PLAN

Level 4



Roof Level



Roof Level Lighting- Existing Garage B



Roof Top View
Selux Saturn Cutoff LED, 16' Pole on 3' Pedestals



Roof Top View
Wall Sconces



View from Great Seneca Highway



Precedent Images



Existing OMW Area 6

OMW Precedent

- Precast Concrete
- Tinted Curtain Walls
- Regular Vertical Constructs
- Irregular Materials Use



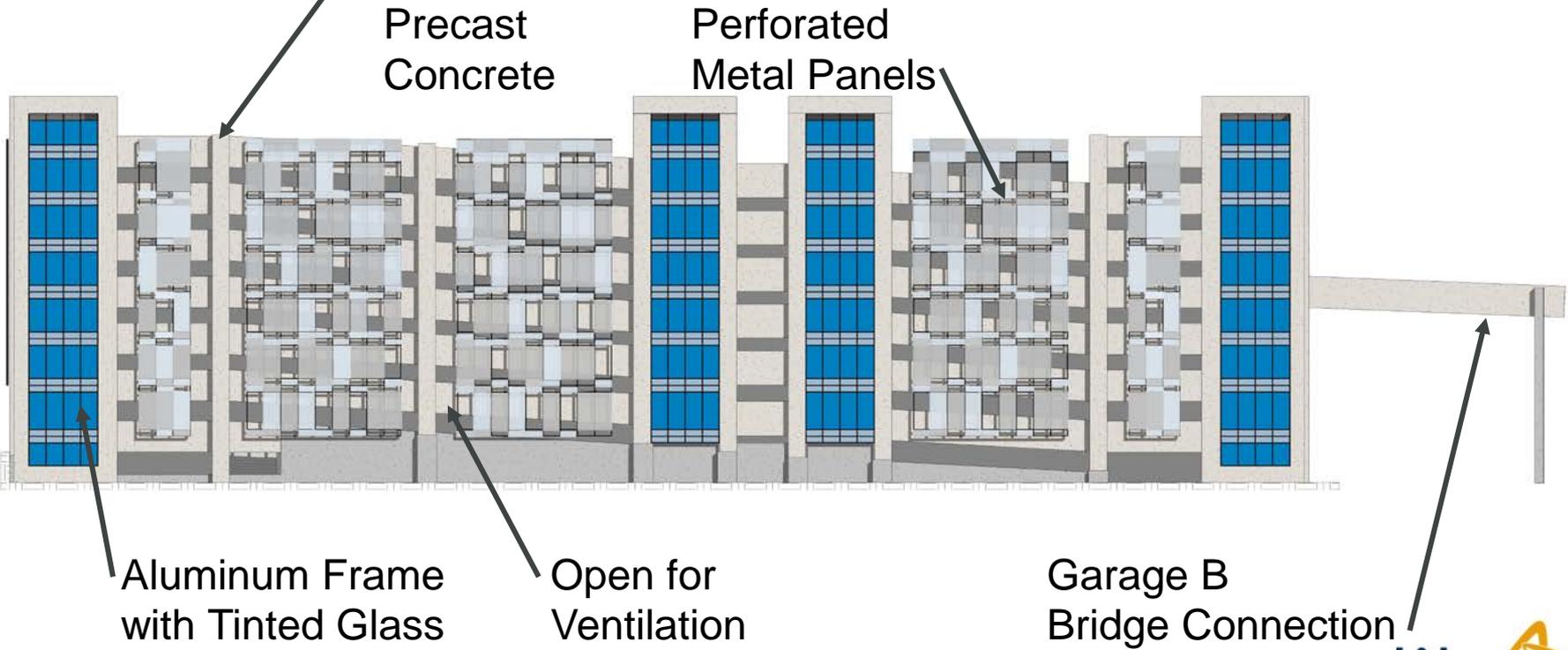
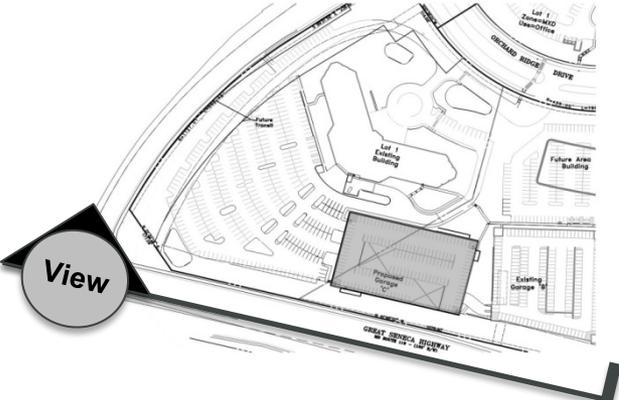
CCT Kentlands Station



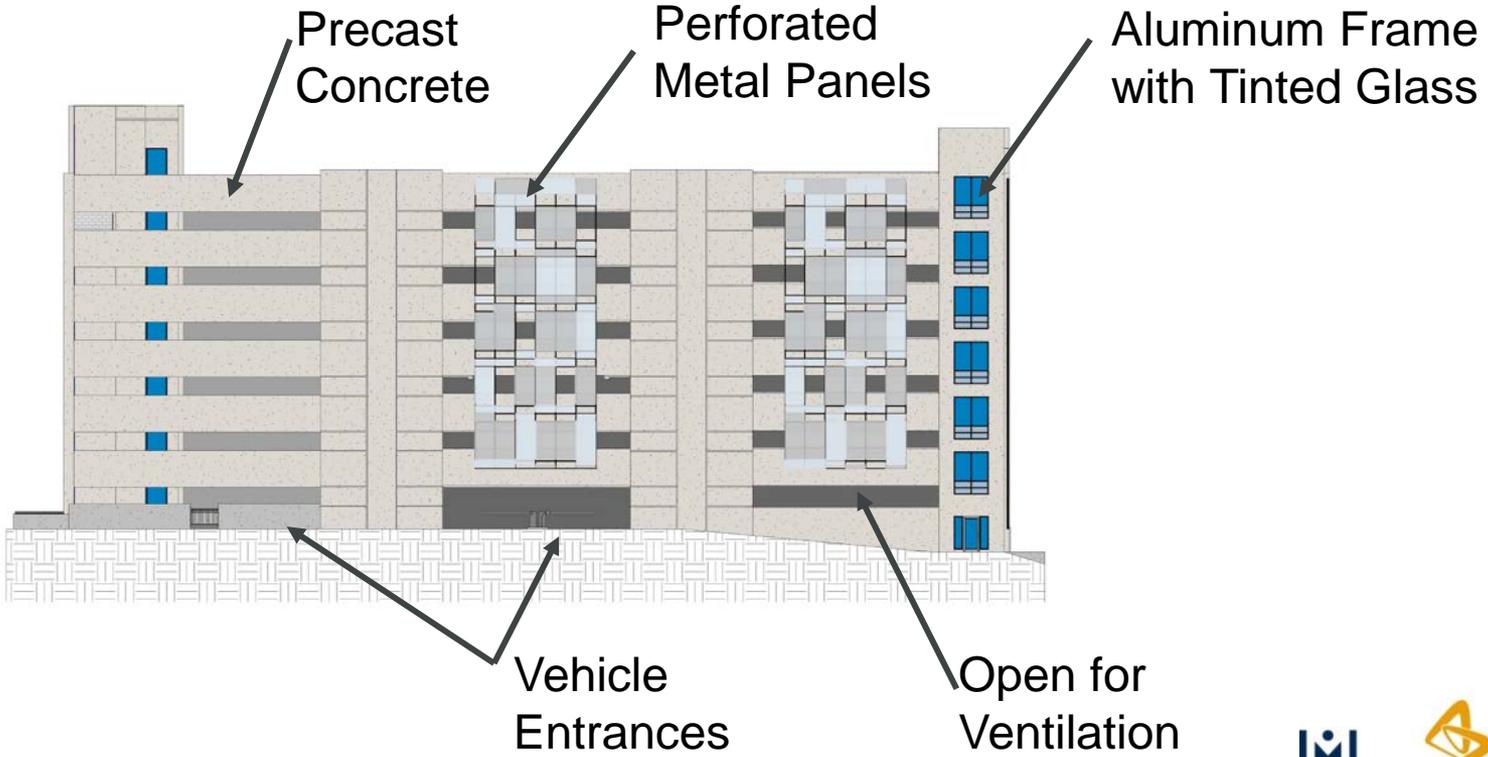
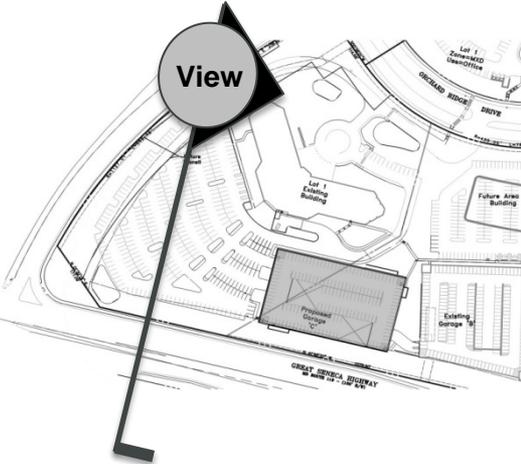
Kentlands Master Plan Blocks D & E



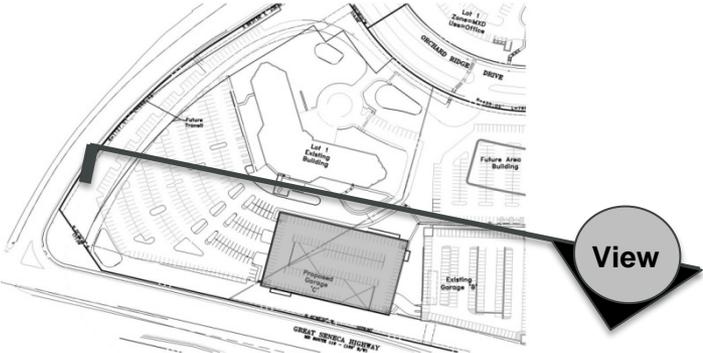
Elevation Looking North from Great Seneca Highway



Elevation Looking East from Surface Lot

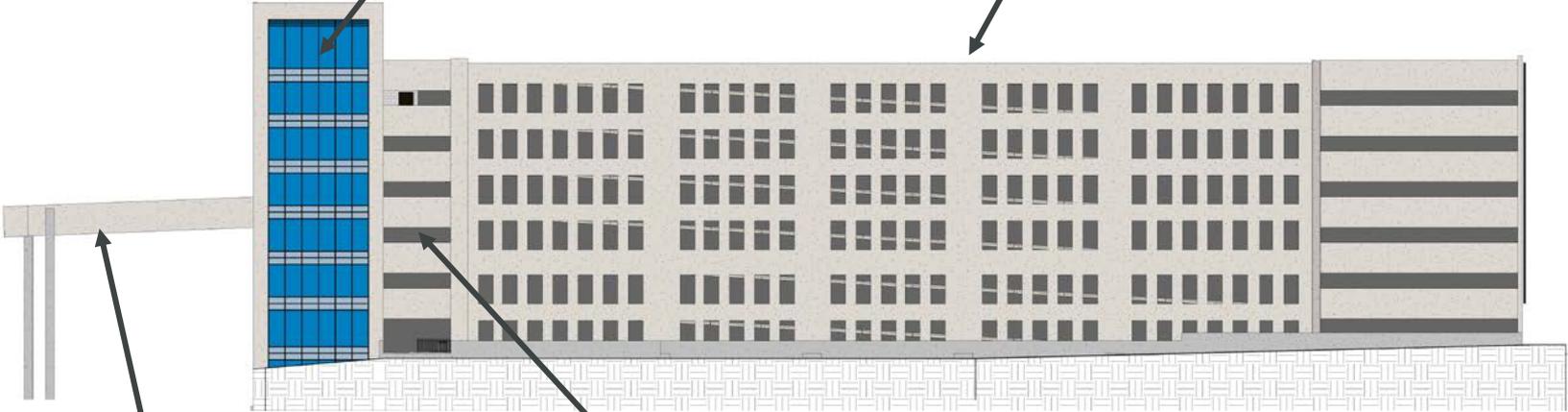


Elevation looking south from 200 ORD (Phase C1)



Aluminum Frame
with Tinted Glass

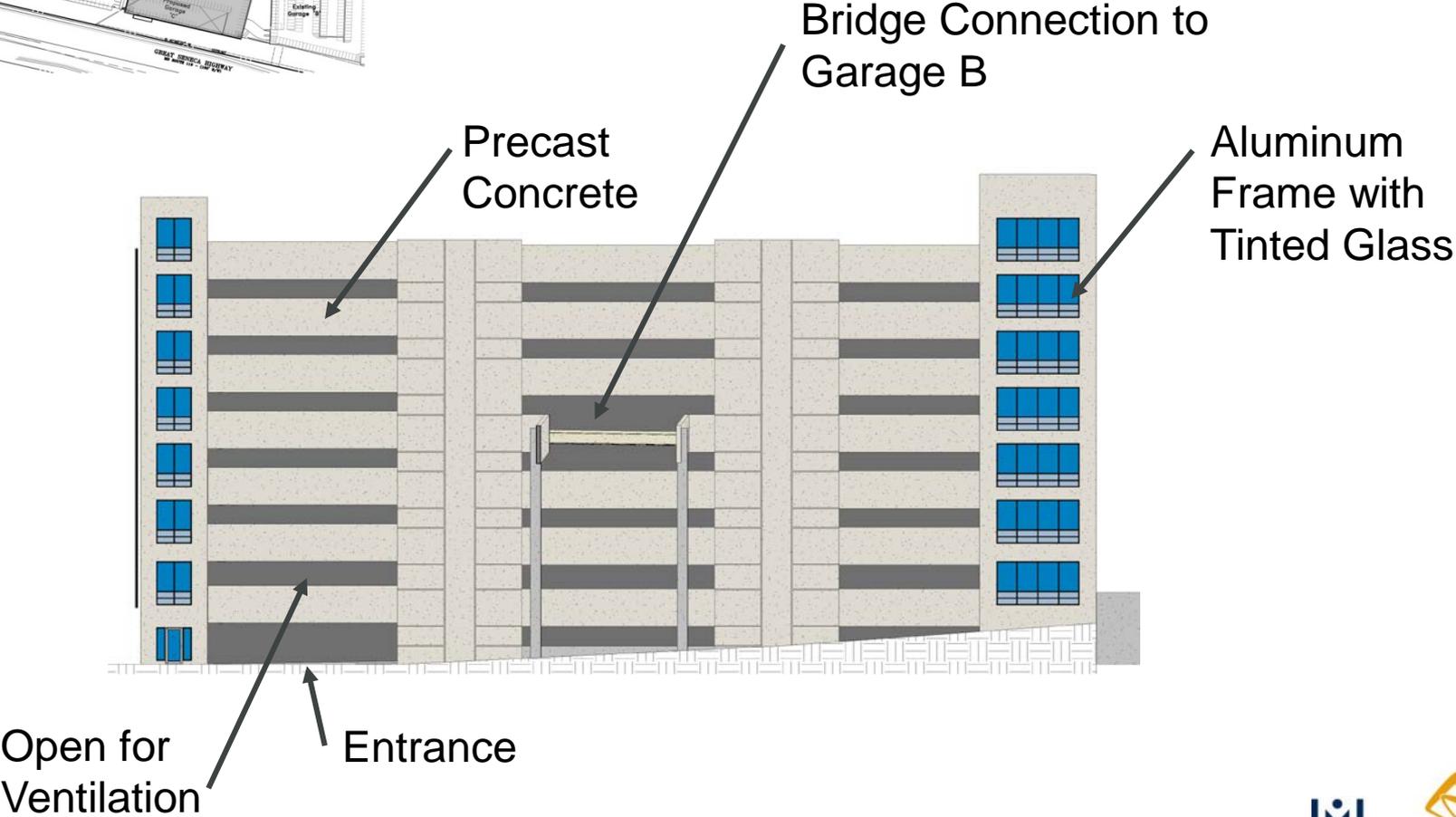
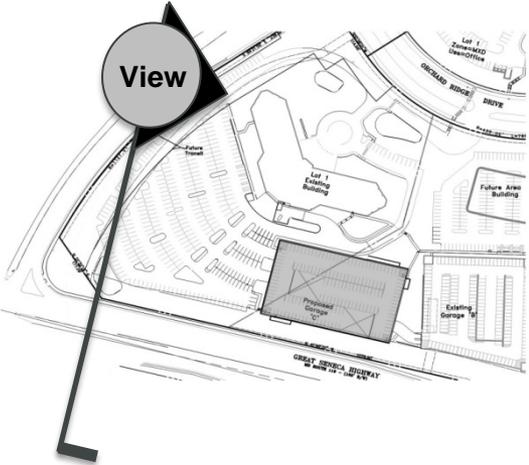
Precast Concrete



Bridge Connection
to Garage B

Open for
Ventilation

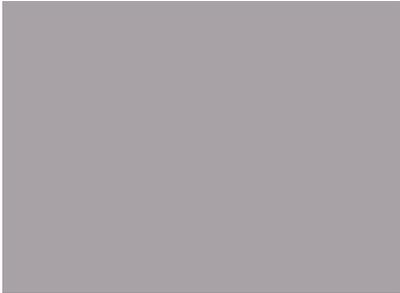
Elevation Looking West



Images of Perforated Metal Panel



Panels



Silverado



Milano Blue



Questions / Discussion

