



SDP-3878-2013  
Exhibit #26

# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# PROPOSED CONCEPT SKETCH

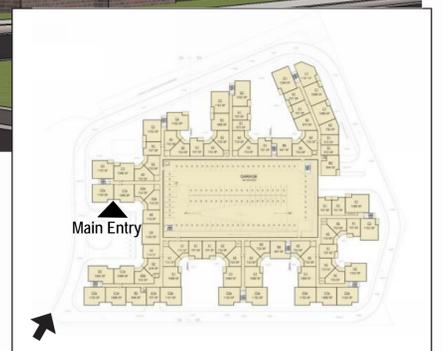
CITY OF GAITHERSBURG, MD  
KTGY # 2012-0669

October 24, 2013

# A-45.60

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Suite 300  
Vienna, VA 22182  
703.992.6116  
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KEY PLAN:

# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

## PERSPECTIVE VIEW

CITY OF GAITHERSBURG, MD  
KTGY-2012-0 669

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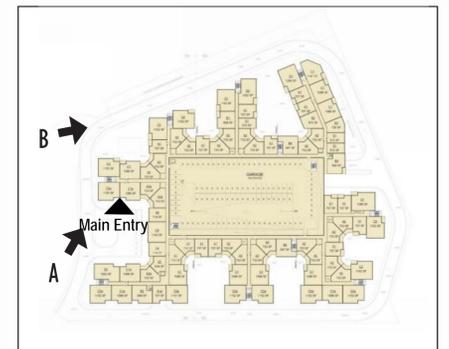




VIEW A: MAIN ENTRANCE



VIEW B: POOL COURTYARD



KEY PLAN:

# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# PERSPECTIVE VIEWS

CITY OF GAITHERSBURG, MD  
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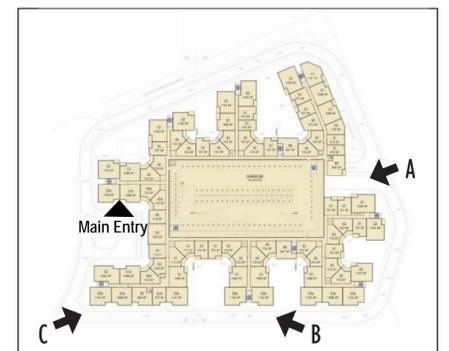
VIEW A: GARAGE ENTRANCE



VIEW B: SOUTH ELEVATION



VIEW C: SOUTH ELEVATION



KEY PLAN:

# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# PERSPECTIVE VIEWS

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NORTH ELEVATION

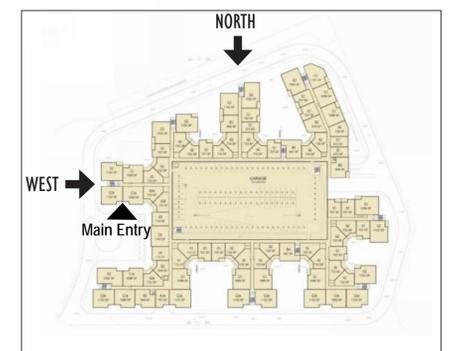


WEST ELEVATION

**MATERIALS:**

1	BRICK 1
2	BRICK 2
3	BRICK 3
4	METAL RAILINGS
5	METAL CANOPY
6	PANEL 1
7	PANEL 2
8	PANEL 3
9	PRECAST CONCRETE
10	TRIM 1
11	TRIM 2
12	WINDOW FRAME

**KEY PLAN:**



# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# ELEVATIONS

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SOUTH ELEVATION



EAST ELEVATION

MATERIALS:

1	BRICK 1
2	BRICK 2
3	BRICK 3
4	METAL RAILINGS
5	METAL CANOPY
6	PANEL 1
7	PANEL 2
8	PANEL 3
9	PRECAST CONCRETE
10	TRIM 1
11	TRIM 2
12	WINDOW FRAME

KEY PLAN:



# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# ELEVATIONS

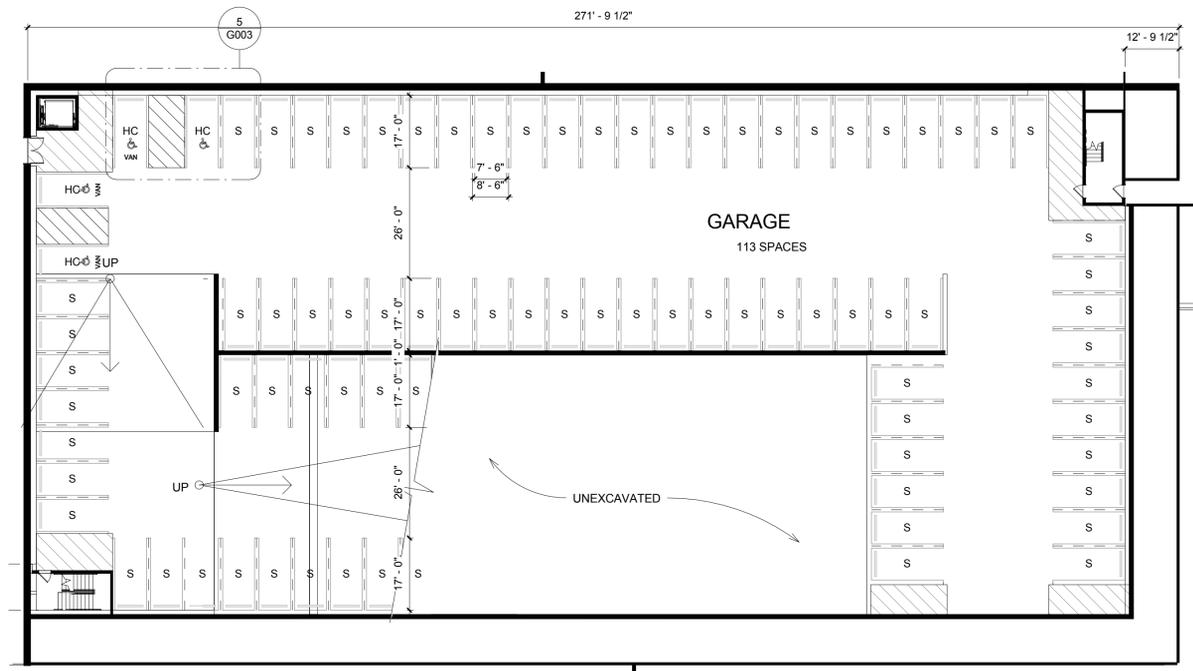
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October 24, 2013

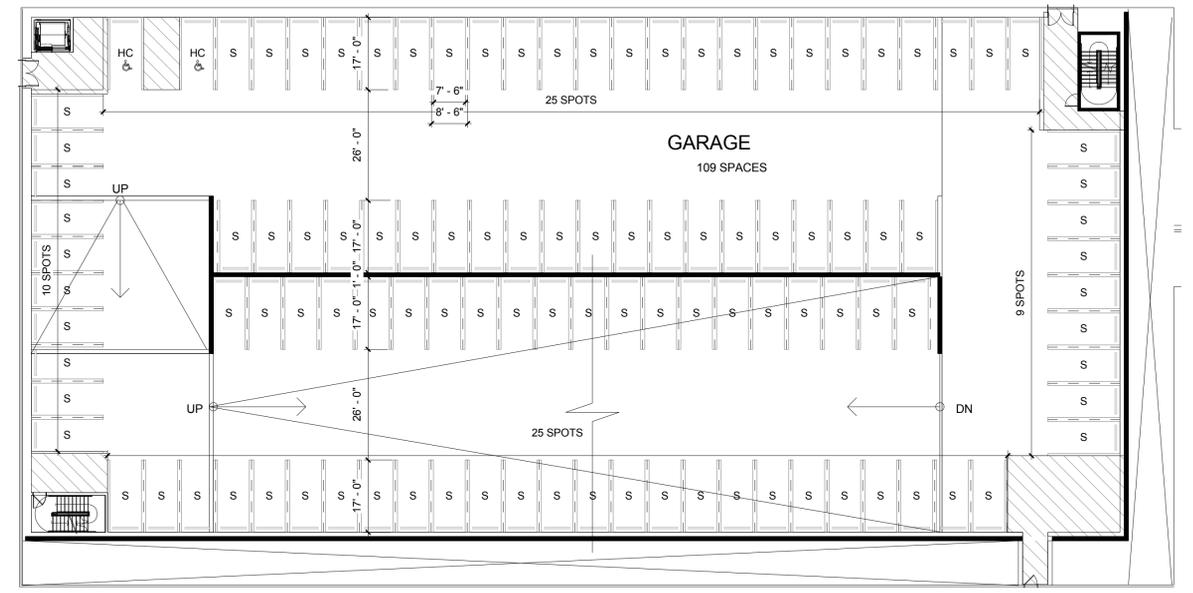
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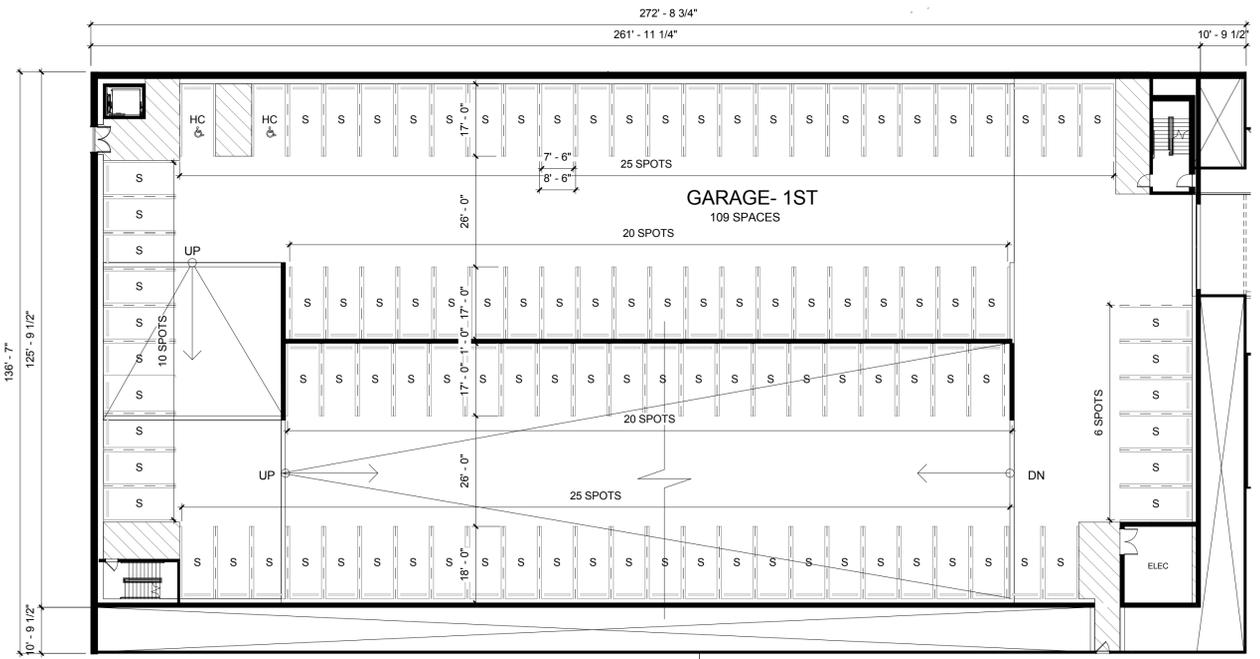




1 GARAGE BASEMENT  
1" = 20'-0"

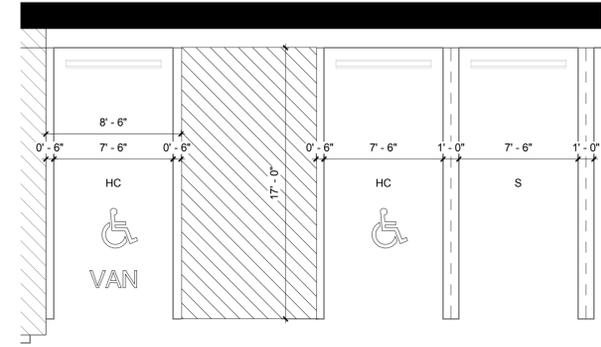


3 TYPICAL FLOOR  
1" = 20'-0"

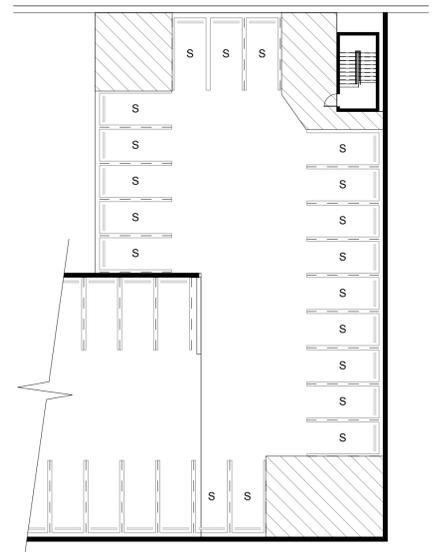


2 GARAGE FIRST FLOOR  
1" = 20'-0"

SPOT/FLOOR	DIMENSIONS		F1	F2	F3	F4	F5	TOTAL SPACES PROVIDED
	WIDTH (CENTER-CENTER)	LENGTH						
STANDARD	8'-6"	17'-0"	109	104	107	107	126	553
HANDICAP PARKING	8'-6"	17'-0"	1	2	2	2	2	9
HANDICAP VAN	8'-6"	17'-0"	3	0	0	0	0	3
TOTAL SPACES PROVIDED	-	-	113	106	109	109	128	565



5 PARKING SIZE  
3/16" = 1'-0"



4 GARAGE PARTIAL  
1" = 20'-0"

# CAMDEN WASHINGTONIAN

CAMDEN PROPERTY TRUST

# PRECAST GARAGE

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G003



# Designer's Report for National Green Building Certification

Generated by the Green Scoring Tool for the National Green Building Standard, v1.00

Project Name - Camden Washingtonian Project Description - Camden Living - <b>Prescriptive</b> Scoring Path - <b>Multi-Unit New Construction</b> Total points claimed in this Project - 363 Green level achieved for this Project - <b>Bronze</b>  <b>Point Minimums for this Project:</b> Bronze: <b>222 Silver: 406 Gold: 558 Emerald: 697</b>
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CHAPTER 5 - Lot Design, Preparation, and Development	
<b>Section 501 -Lot Selection</b>	
<b>Practice 501.1 Lot</b>	
<p>The lot is selected to minimize environmental impact by one or more of the following:</p> <p>An infill lot is selected.</p>	
<b>Conditions met</b>	<b>Points Claimed: 4</b>
<b>Documentation Required</b> - None.	
<b>Practice 501.2 Mass transportation</b>	
<p>A range of mass transportation choices are promoted by one or more of the following:</p> <p>Access to mass transit.</p>	
<b>Conditions met</b>	<b>Points Claimed: 3</b>
<b>Documentation Required</b> - Map showing location of transportation relative to the building.	
Pedestrian activity promoted.	
<b>Conditions met</b>	<b>Points Claimed: 3</b>
<b>Documentation Required</b> - None.	
Community resources (6 or more) close by.	
<b>Conditions met</b>	<b>Points Claimed: 3</b>
<b>Documentation Required</b> - Map showing location of community resources relative to building.	
<b>Section 502 -Project Team, Mission Statement, and Goals</b>	
<b>Practice 502.1 Project team, mission statement, and goals</b>	
A knowledgeable team & mission statement is established.	
<b>Conditions met</b>	<b>Points Claimed: 4</b>

Documentation Required - Project mission statement, goals, and specific team member roles identified.

### Section 503 -Lot Design

#### Practice 503.3 Soil disturbance and erosion

[Soil disturbance and erosion are minimized by one or more of the following: \(also see Section 504.3\)](#)

[Points must be taken here to claim points in 504.1](#)

Clearing/grading limits shown on the plan.

Conditions met

Points Claimed: 5

Documentation Required - Plans showing grading & clearing limits.

#### Practice 503.4 Storm water management

Storm water is managed using one or more of the following low impact development techniques:

***Note: To be awarded points allocated for design, the intent of the design must be implemented.***

Storm water plan used to minimize concentrated flows & simulates natural flows.

Conditions met

Points Claimed: 6

Documentation Required - Storm water management plan.

Hardscape is permeable.

Less than 25%

Points Claimed: 1

Documentation Required - Calculation showing % of hardscape surface covered with permeable materials.

#### Practice 503.7 Mixed-use development

***Note: To be awarded points allocated for design, the intent of the design must be implemented.***

Mixed-use development is incorporated.

Conditions met

Points Claimed: 6

Documentation Required - None.

#### Practice 503.9 Density

***Note: To be awarded points allocated for design, the intent of the design must be implemented.***

Average density on net developable area basis.

≥60 dwelling units per acre (per 4047 square meters)

Points Claimed: 10

Documentation Required - Density calculation of the units per acre for this building.

### Section 504 -Lot Construction

**Practice 504.3 Soil disturbance and erosion**

[On-site soil disturbance and erosion are minimized by one or more of the following: \(also see Section 503.3\)](#)

Limits of clearing/grading are staked out.

**Conditions met** **Points Claimed: 5**

**Documentation Required** - None.

Sediment/erosion controls are installed.

**Conditions met** **Points Claimed: 5**

**Documentation Required** - None.

Topsoil stockpiled/stabilized for later use.

**Conditions met** **Points Claimed: 5**

**Documentation Required** - None.

Disturbed areas are stabilized within 14 days.

**Conditions met** **Points Claimed: 3**

**Documentation Required** - As-built construction schedule

**Section 505 -Innovative Practices**

**Practice 505.1 Driveways and parking areas**

Driveways or parking areas are shared.

**Conditions met** **Points Claimed: 4**

**Documentation Required** - None.

Total points claimed in Chapter 5 - Lot Design, Preparation, and Development: **67**

**Point Minimums for this Chapter:** Bronze: **39** Silver: **66** Gold: **93** Emerald: **119**

**CHAPTER 6 - Resource Efficiency**

**Section 601 -Quality of Construction Materials and Waste**

**Practice 601.1 Conditioned floor area**

Conditioned floor area is limited. Use a weighted average of the individual unit sizes for a multi-unit building.

**≤1,000 square feet (93 square meters)** **Points Claimed: 15**

**Documentation Required** - Plans or other document by architect or designer showing square footage calculation per ANSI Z765. Calculation showing weighted average unit size for multi-family buildings.

**Practice 601.4 Framing and structural plans**

Detailed framing/structural plans, material lists, on-site cut lists for framing/structural materials are provided.

**Conditions met** **Points Claimed: 4**

**Documentation Required** - Framing/structural plans, material and cut lists.

**Practice 601.5 Prefabricated components**

**Precut or preassembled components, or panelized or precast assemblies are utilized for a minimum of 90% for the following system or building:**

Precut/preassembled components, panelized, or precast assemblies are utilized for a minimum of 90% of floor, wall, and/or roof system. If points claimed for these systems, points cannot be claimed for Modular or Manufactured home construction.

**Floor system** **Points Claimed: 4**

**Roof system** **Points Claimed: 4**

Documentation Required - None.

**Practice 601.6 Stacked stories**

Stories above grade are stacked.

**3 or more stacked stories** **Points Claimed: 8**

Documentation Required - None.

**Section 602 -Enhanced Durability and Reduced Maintenance**

**Practice 602.3 Foundation drainage**

Where required by the ICC IRC or IBC for habitable and usable spaces below grade, exterior drain tile is installed. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

Documentation Required - Plans showing exterior drain tile for foundation, if applicable.

Interior and exterior foundation perimeter drains sloped to discharge to daylight, dry well, or sump pit.

**Conditions met** **Points Claimed: 4**

Documentation Required - Plans showing exterior drain tile for foundation, if applicable.

**Practice 602.4 Drip edge**

Drip edge is installed at all eaves & gable edges.

**Conditions met** **Points Claimed: 3**

Documentation Required - None.

**Practice 602.6 Finished grade**

Finish grade at all sides is sloped a minimum of 6" (150 mm) of fall within 10'. Mandatory for certification.

**Positive drainage will be provided at all sides of building as required** **Points Claimed: 0**

Documentation Required - None

**Practice 602.9 Water-resistive barrier**

Where required by the ICC IRC or IBC, a water-resistive barrier and/or drainage plane system is installed behind exterior veneer and/or siding. Mandatory for certification, if applicable.

**Conditions met**

**Points Claimed: 0**

**Documentation Required** - Plans, specification, or scope of work showing WRB or drainage plane.

**Practice 602.10 Ice barrier**

When ice damming is a problem, ice barrier at roof eaves extends at a min. of 24" inside the exterior wall. Mandatory for certification, if applicable.

**Conditions met**

**Points Claimed: 0**

**Documentation Required** - Plans showing ice barrier.

**Practice 602.12 Flashing**

Flashing details on plans & installed at ALL as applicable: exterior fenestrations/doors; roof valleys; deck/balcony intersections; roof/wall & roof/chimney intersections; drip cap above windows/doors not flashed or protected by overhangs.

**Conditions met**

**Points Claimed: 6**

**Documentation Required** - Plans showing flashing details at all required locations.

**Section 605 -Recycled Construction Waste**

**Practice 605.3 Recycled construction materials**

Construction materials are recycled offsite.

**Minimum of 2 types of materials are recycled**

**Points Claimed: 3**

**Documentation Required** - Copy of agreement with and pick-up tickets by recycling contractor, list of material types sent to recycler.

**Section 607 -Resource-Efficient Materials**

**Practice 607.1 Resource-efficient materials**

Products containing fewer materials are used to achieve the same end-use requirements as conventional products.

**1 product**

**Points Claimed: 3**

**Documentation Required** - List materials used.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Total points claimed in Chapter 6 - Resource Efficiency: **54**

**Point Minimums for this Chapter:** Bronze: **45** Silver: **79** Gold: **113** Emerald: **146**

**CHAPTER 7 - Energy Efficiency**

**Section 701 -Minimum Energy Efficiency Requirements**

**Practice 701.3 Mandatory practices: Third-party Review**

A review of the design has been conducted by a third party to confirm that the intent of the Standard with respect to energy provisions has been met.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - None.

**Practice 701.4.1 Mandatory practices: HVAC systems**

Space heating/cooling sized per ACCA Manual J.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Provide software output report using ACCA Manual J or equivalent with recommended HVAC equipment sizes.

Radiant/hydronic heating system designed using industry-approved guidelines. Mandatory for certification, if applicable.

**Conditions do not apply** **Points Claimed: 0**

**Documentation Required** - " When primary heat source in the building is a radiant or hydronic heating system, provide evidence (e.g., statement from qualified professional) of system design using industry-approved guidelines. Check N/A box when primary heat source in the building IS NOT a radiant or hydronic heating system."

**Practice 701.4.2 Mandatory practices: Duct systems**

Ducts sealed with UL181 tape, mastic, or gaskets. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - For buildings with ducted systems provide product spec or trade contractor's scope of work to confirm use of duct sealing using UL 181 tape, mastic, gaskets, or an IRC or ICC/IMC approved system. If building uses NO DUCTS check N/A box at right.

Building cavities are not used as supply ducts. Mandatory for certification.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - None

**Practice 701.4.3 Mandatory practices: Insulation and air sealing**

Insulation is installed in accordance with the manufacturer's instructions or local code. Mandatory for certification.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Provide insulation installation requirements, either manufacturer's instructions or specific local code guidance. Evidence of an approved local code insulation inspection can be used as acceptable evidence for this verification.

Shafts opening to unconditioned space are sealed with blocking or flashing; gaps are sealed with caulk or foam. Mandatory for certification.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - None.

Floors: a) insulation installed to maintain contact w/ subfloor underside, enveloping ductwork & w/out compression or air gaps; b) batt & loose-fill insulation is held in place by permanent attachments. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - If building has NO FLOORS requiring insulation check N/A box at right.

Crawlspace wall insulation permanently attached to the walls. Exposed earth in unvented crawlspaces covered with continuous vapor retarder with overlapping joints that are taped or masticed. Mandatory for certification, if applicable.

**Conditions do not apply** **Points Claimed: 0**

**Documentation Required** - If building has NO CRAWL SPACE check N/A box at right. "

Windows and doors: Caulking, gasketing, flashing tape, foam sealant, or weatherstripping forms a complete air barrier. Mandatory for certification.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Provide window and door installation detail on plans showing how installation will form a complete air barrier.

Band & rim joists insulated & air sealed. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Plan details to show how band or rim joists are to be insulated and sealed. If building has NO BAND JOISTS OR RIM JOISTS check N/A box at right.

(a) Sill sealer is installed between foundation and sill plate; AND (b) Seal the bottom plate of exterior walls. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Product spec to confirm required use of flexible sill sealer or other material between foundation and sill plate and the bottom plate of exterior walls. If building has NO SILL PLATE OR FRAMED WALLS check N/A box at right.

Skylight shafts and knee walls are insulated to the same level as the exterior walls. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - If R values are not obvious through insulation label provide plan details to show insulation is at same level as exterior walls before checking box. If building has NO SKYLIGHTS OR KNEE WALLS check N/A box at right.

Code required building envelope insulation and air sealing are not disrupted at exterior architectural features such as stairs & decks. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Provide details of insulation and air sealing at penetrations. If building has NO stairs, decks or other architectural features that penetrate the envelope check N/A box at right.

Attic access (except unvented attics), knee wall door, or drop-down stair is covered with insulation and gasketed. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - If building has NO ATTIC OR KNEE WALL DOORS OR A DROP-DOWN ATTIC STAIR in the thermal envelope check N/A box at right.

Recessed light fixtures that penetrate the thermal envelope are airtight, IC-rated, and sealed with gasket, caulk, or foam. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Product info to confirm all fixtures penetrating the envelope are IC-rated and airtight. If building has NO RECESSED LIGHT FIXTURES that penetrate the envelope, check N/A box at right.

Where ceiling/attic assemblies or designs have eave vents, baffles minimize air movement into or under the insulation. Mandatory for certification, if applicable.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - None. For buildings with NO VENTED CEILINGS AND/OR ATTICS, check N/A box at right.

**Practice 701.4.4 Mandatory practices: Fenestration**

[Use the ENERGY STAR Window Requirements Tool to determine the window requirements for your zip code.](#)

NFRC-certified windows, exterior doors, skylights, and tubular daylighting devices (TDDs) are ENERGY STAR, or Table 701.4.4.1. Mandatory for certification.

**Conditions met** **Points Claimed: 0**

**Documentation Required** - Labels on units or other documentation.

**Practice 701.1.1-2 Performance vs. Prescriptive**

A building complying with the Performance Path (Section 702) must exceed the ICC IECC by at least 15%. A building complying with the Prescriptive Path must obtain a minimum of 30 points from Section 703. Both Paths require min. 2 items from Section 704.

**Prescriptive Path chosen. This project is eligible to achieve the Bronze, Silver, or Gold Level. Select the Performance Path to be eligible for Emerald.** **Points Claimed: 0**

Documentation Required - None.

### Section 703 -Prescriptive Path

#### Practice 703.1.2 Building envelope: Installation insulation grading

The insulation installation is graded by a third party.

**Grade 1** **Points Claimed: 15**

Documentation Required - If no points were claimed in 703.1.1, provide documentation of 3rd party insulation installation grading results.

#### Practice 703.2.1 Insulation and air sealing: Third party verification

Insulation and air sealing installed.

**Third-party verification performed** **Points Claimed: 15**

Documentation Required - Provide signed 3rd party report that all items in 703.2.1 were followed in the foam insulation, air sealing, plumbing, wiring, HVAC register boots, masonry fireplace, air barrier, together with the wall, ceiling and attic insulation.  
OR

Provide checklist signed by the builder that all items in 703.2.1 were followed in the foam insulation, air sealing, plumbing, wiring, HVAC register boots, masonry fireplace, air barrier, together with the wall, ceiling and attic insulation.

#### Practice 703.4.10 HVAC: Programmable thermostats

An ENERGY STAR programmable thermostat in each heating/cooling zone.

**Conditions met** **Points Claimed: 1**

Documentation Required - Leave labels on T-stat(s) or provide manufacturer's literature/specifications to show ALL T-stats in each unit are ENERGY STAR.

### Section 704 -Additional Practices

#### Practice 704.2.5 Lighting & appliances: ENERGY STAR® appliances

ENERGY STAR or equivalent appliance(s) are installed.

**Refrigerator** **Points Claimed: 5**

**Dishwasher** **Points Claimed: 2**

**Washing machine** **Points Claimed: 4**

Documentation Required - Provide product spec or ENERGY STAR label for appliance.

**Practice 704.5 HVAC design and installation**

ACCA Manual S used to select heating and/or cooling equipment.

**Conditions met** **Points Claimed: 1**

**Documentation Required** - Provide Manual S or equivalent output report showing recommended heating and cooling equipment.

HVAC contractor and service technician are certified by a nationally or regionally recognized program.

**Conditions met** **Points Claimed: 1**

**Documentation Required** - Provide evidence of both contractor's and technician's certification by NATE, BPI, RPA, or manufacturer's training program.

Manufacturer's air handler info states leakage is  $\leq 2\%$  design airflow at 1-inch w.c.

**Conditions met** **Points Claimed: 4**

**Documentation Required** - Provide manufacturer's specification showing air handler leakage at less than 2% of the design airflow.

**Practice 704.6.1 Installation and performance verification**

3rd party inspection verifies ALL of the following, as applicable: ducts per ICC IRC or IMC & ducts are sealed; bldg envelope air sealing installed; insulation installed in accordance w/ 703.1.2; windows, skylights, doors are flashed/caulked/sealed.

**Conditions met** **Points Claimed: 5**

**Documentation Required** - Provide signed 3rd party inspection of all 4 required areas at rough and final inspections. Check here if done by verifier without an inspection report."

Total points claimed in Chapter 7 - Energy Efficiency: **53**

**Point Minimums for this Chapter:** Bronze: **30** Silver: **60** Gold: **100** Emerald: **120**

**CHAPTER 8 - Water Efficiency**

**Section 801 -Indoor and Outdoor Water Use**

**Practice 801.2 Water conserving appliances**

**ENERGY STAR® or equivalent water conserving appliances are installed.**

ALL dishwashers installed are ENERGY STAR (or equivalent). 2 points awarded per dishwasher.

**1 dishwasher installed** **Points Claimed: 2**

**Documentation Required** - None.

All washing machines installed are ENERGY STAR (or equivalent).

**All washing machines installed are ENERGY STAR® or equivalent** **Points Claimed: 8**

**Documentation Required** - None.

**Practice 801.3 Food waste disposers**

Food waste disposer is installed at primary kitchen sink.

**Conditions met**

**Points Claimed: 1**

**Documentation Required** - None.

**Practice 801.4 Showerheads**

The total showerhead flow rate in each shower compartment is per 801.4(1) or 801.4(2) at 80 psi. Showers have automatic compensating valve designed to provide scald protection.

**1 shower compartment complies**

**Points Claimed: 1**

**Documentation Required** - Manufacturer's specifications showing compliance.

ALL shower compartments in the home comply with 801.4(1&2).

**All shower compartments installed meet the above conditions and are 2.0 to**

**Points Claimed: 1**

**Documentation Required** - Manufacturer's specifications showing compliance.

**Practice 801.5 Faucets**

Water-efficient lavatory faucets with 1.5 gpm or less maximum flow rate when tested at 60 psi (414 kPa) in accordance with ASME A112.18.1 are installed.

**1 bathroom (all faucets)**

**Points Claimed: 1**

**Documentation Required** - Manufacturer's specs showing compliance.

ALL lavatory faucets in the home meet the conditions of 801.5.1(1).

**Conditions met**

**Points Claimed: 2**

**Documentation Required** - Manufacturer's specs showing compliance.

**Practice 801.6 & 802.2 Toilets & Urinals**

**Points awarded for either 801.6 OR 802.2 but not both.**

Water closets installed with effective flush volume of &8804;1.28 gallons when tested w/ ASME A112.19.2 & ASME A112.19.14 & EPA WaterSense *Tank-Type High-Efficiency Toilet* OR composting or waterless toilets &/or urinals installed.

**1 water closet installed**

**Points Claimed: 6**

**Documentation Required** - Manufacturer's specs showing compliance.

Total points claimed in Chapter 8 - Water Efficiency: **22**

**Point Minimums for this Chapter:** Bronze: **14** Silver: **26** Gold: **41** Emerald: **60**

**CHAPTER 9 - Indoor Environmental Quality**

**Section 901 -Pollutant Source Control**

**Practice 901.1 Space and water heating options**

Air handling/return ducts are not located in the garage, unless in isolated, air-sealed room w/ outside air source.

**Conditions met** **Points Claimed: 5**

**Documentation Required** - None.

Water heating equipment is installed within conditioned space.

**Power vent water heater** **Points Claimed: 3**

**Documentation Required** - None.

Heat pump air handler is installed.

**Heat pump air handler in conditioned space** **Points Claimed: 5**

**Documentation Required** - None.

**Practice 901.2 Fireplaces and fuel burning appliances**

**Fireplaces and fuel burning appliances (except cooking appliances, clothes dryers, water heaters, and furnaces) located in conditioned space are code compliant, vented to the outdoors, and have adequate combustion and ventilation air provided to minimize spillage or back-drafting, in accordance with the following:**

**All of the following items are mandatory, if applicable, for certification.**

Natural gas & propane fireplaces with power or direct vented have permanent fixed glass fronts or gasketed doors per ANSI Z21.88a/CSA 2.33a or ANSI Z21.50/CSA 2.22. Mandatory, if applicable, for certification.

**Conditions do not apply** **Points Claimed: 0**

**Documentation Required** - Manufacturer's literature or label on unit indicating CSA compliance.

Factory-built, wood-burning fireplaces per UL 127 and EPA certified. Mandatory, if applicable, for certification.

**Conditions do not apply** **Points Claimed: 0**

**Documentation Required** - None.

Woodstove & fireplace inserts per UL 1482 & per EPA Certification & WAC 173-433-100(3). Mandatory, if applicable, for certification.

**Conditions do not apply** **Points Claimed: 0**

**Documentation Required** - Manufacturer's literature or label on unit indicating UL, EPA and Washington State compliance.

Pellet (biomass) stoves/furnaces per ASTM E1509 or EPA certified. Mandatory, if applicable, for certification.

**Conditions do not apply**

**Points Claimed: 0**

**Documentation Required** - Manufacturer's literature or label on unit indicating ASTM or EPA compliance.

Masonry heaters per ASTM E1602 and ICC IBC, Section 2112.1. Mandatory, if applicable, for certification.

**Conditions do not apply**

**Points Claimed: 0**

**Documentation Required** - Manufacturer's literature or label on unit indicating ASTM and IBC 2112.1 compliance.

Fireplaces, woodstoves, pellet stoves, or masonry heaters are not installed. Mandatory, if applicable, for certification.

**Conditions met**

**Points Claimed: 7**

**Documentation Required** - None.

#### **Practice 901.3 Garages**

Where installed in the common wall between the attached garage and conditioned space, the door is tightly sealed and gasketed.

**There is no attached garage**

**Points Claimed: 0**

**Documentation Required** - None.

A continuous air barrier is provided between walls and ceilings separating the garage space from the conditioned living spaces.

**Conditions met**

**Points Claimed: 2**

**Documentation Required** - None.

#### **Practice 901.4(1) Structural plywood & OSB**

**A minimum of 85% of material within a product group (i.e., wood structural panels, countertops, composite trim/doors, custom woodwork, and/or component closet shelving) is manufactured in accordance with the following.**

Structural use plywood per PS 1 or PS 2. OSB per PS 2. All marked Exposure 1 or Exterior. Mandatory for certification.

**Conditions met**

**Points Claimed: 0**

**Documentation Required** - None.

#### **Practice 901.5 Carpets**

Wall-to-wall carpeting is not installed adjacent to water closets and bathing fixtures. Mandatory for certification.

**Conditions met**

**Points Claimed: 0**

**Documentation Required** - None.

## Section 902 -Pollutant Control

### Practice 902.1 Spot ventilation

All bathrooms are vented to the outdoors. Minimum ventilation rate = 50 cfm or 20 cfm if continuous operation. Mandatory for certification.

Conditions met

Points Claimed: 0

Documentation Required - Manufacturer's literature/specifications for the fan showing cfm.

Clothes dryers are vented to the outdoors. Mandatory, if applicable, for certification.

Conditions met

Points Claimed: 0

Documentation Required - None.

### Practice 902.1.4 ENERGY STAR® exhaust fans

Exhaust fans are ENERGY STAR®, as applicable. 6 points maximum awarded.

Total Points Claimed for this Item: 2

ENERGY STAR® or equivalent fans

1 \* 2 points

Documentation Required - Energy Star label or manufacturer's literature.

### Practice 902.3 Radon control

Radon control measures are in accordance with ICC IRC Appendix F. See the EPA Map of Radon Zones to find the level of radon potential for your project area.

Buildings located in Radon Zone 1 have a radon system installed. Mandatory, if applicable, for certification.

Not applicable (building not located in Zone 1)

Points Claimed: 0

Documentation Required - None for active system. Plans/specifications for passive systems.

### Practice 902.4 HVAC system protection

HVAC system protection measures are performed.

HVAC supply registers (boots), return grilles, and rough-ins are covered during construction activities to prevent dust and other pollutants from entering the system

Points Claimed: 3

Documentation Required - None.

Invoice from cleaning contractor showing cleaning and coil inspection.

### Practice 902.6 Living space contaminants

The living space is sealed to prevent unwanted contaminants.

Attic access, knee wall door, or drop down stair is caulked, gasketed, or otherwise sealed

Points Claimed: 2

All penetrations (e.g., top plates, HVAC register boots, recessed can lights) are sealed in the attic/ceiling Points Claimed: 2

All penetrations (e.g., top plates, HVAC register boots) are sealed in the wall Points Claimed: 2

All penetrations (e.g., top plates, HVAC register boots) are sealed in the floors Points Claimed: 2

Documentation Required - None.

## Section 903 -Moisture Management: Vapor, Rainwater, Plumbing, HVAC

### Practice 903.1 Tile backing materials

Tile backing materials installed under tiled surfaces in wet areas are in accordance with ASTM C1178, C1278, C1288, or C1325. Mandatory for certification.

Conditions met OR tile not used in wet areas Points Claimed: 0

Documentation Required - Manufacturer's literature/specification/labeling showing ASTM compliance. Plans/specifications and scope of work showing installation.

### Practice 903.2 Capillary breaks

A capillary break and vapor retarder are installed at all concrete slabs in accordance with Sections 903.2.1(1) or 903.2.1(2), as modified by Section 903.2.1(3). Mandatory, if applicable, for certification.

Conditions met Points Claimed: 0

Documentation Required - Plans/specifications AND scope of work(s) detailing how this mandatory requirement has been met. Photo(s) showing installation. Report from certified professional when 3(a) chosen.

### Practice 903.3 Crawlspace

Damp-proof walls are provided below finished grade. Joints of vapor retarder overlap a minimum of 6 inches (152 mm) and are taped. Mandatory for certification, if there is a crawlspace that extends below finished grade.

Conditions do not apply Points Claimed: 0

Documentation Required - None.

### Practice 903.4 Moisture control measures

Building materials with visible mold are not installed or are cleaned or encapsulated prior to concealment and closing.

Conditions met Points Claimed: 2

Documentation Required - None.

Walls are not enclosed (e.g. with drywall) if the insulation has a high moisture content. Wet insulation products are dry before enclosing. Mandatory for certification if wet-applied insulation is used or insulation becomes wet after installation.

**Conditions met** **Points Claimed: 2**

Documentation Required - None.

**Practice 903.5 Plumbing**

Plumbing distribution lines are not installed in exterior wall cavities.

**Conditions met** **Points Claimed: 2**

Documentation Required - None.

Cold water pipes in unconditioned spaces are insulated OR plumbing is not installed in unconditioned spaces.

**Plumbing is not in unconditioned spaces** **Points Claimed: 5**

Documentation Required - None.

**Practice 903.6 Duct Insulation**

All HVAC ducts, plenums, and trunks in unconditioned attics, basements, and crawlspaces are insulated to a minimum of R-6. Mandatory for certification if ducts located in unconditioned spaces.

**Conditions met** **Points Claimed: 0**

Documentation Required - Manufacturer's literature/specs showing R-value for insulation.

Total points claimed in Chapter 9 - Indoor Environmental Quality: **46**

Point Minimums for this Chapter: Bronze: **36** Silver: **65** Gold: **100** Emerald: **140**

## CHAPTER 10 - Operation, Maintenance, and Building Owner Education

### Section 1002 -Training of Building Owners on Operation and Maintenance for One- and Two-Family Dwellings and Multi-Unit Buildings

#### Practice 1002.1 Operation & Maintenance Training for Owners of One- and Two-Family Dwellings & Multi-Unit Buildings

Owners/occupants are familiarized with the green building practices implemented & the impact of occupants' activities on costs of operating the building. Training is provided regarding ALL equipment operation and control systems including at least ALL of:

1) HVAC filters, 2) thermostat operation and programming, 3) lighting controls, 4) appliances and settings, 5) water heater settings, AND 6) fan controls

**Points Claimed: 6**

Documentation Required - None.

### Section 1003 -Construction, Operation, and Maintenance Manuals and Training for Multi-Unit Buildings

#### Practice 1003.1 Building Construction Manual

A building construction manual is compiled and distributed in accordance with Section 1003.0. 1 point awarded per 2 items. Points awarded for both mandatory and non-mandatory items.

**Total Points Claimed for this Item: 2**

Narrative detailing the importance of constructing a green building, including a list of green building attributes included in the building. Mandatory for certification. Points Claimed: 0.5

Green building program certificate (or place holder), copy of the National Green Building Standard, & the individual measures achieved. Mandatory for certification. Points Claimed: 0.5

Warranty, operation, & maintenance instructions for all equipment, fixtures, appliances, & finishes. Mandatory for certification. Points Claimed: 0.5

As-built drawings of the building Points Claimed: 0.5

Diagram of safety valves & controls Points Claimed: 0.5

Documentation Required - None.

### Practice 1003.2 Operations Manuals

Operations manuals are created/distributed to the responsible parties per 1003.0. 1 point awarded per 2 items. Points awarded for both mandatory and non-mandatory items.

**Total Points Claimed for this Item: 2**

Importance of operating/living in a green building. This narrative is in all responsible parties' manuals. Mandatory for certification. Points Claimed: 0.5

Practices to conserve water & energy. Mandatory for certification. Points Claimed: 0.5

Information on maintaining the building's relative humidity in the range of 30-60%. Mandatory for certification. Points Claimed: 0.5

Info on purchasing renewable energy & info on incentives for renewable energy systems Points Claimed: 0.5

Benefits of energy efficient lighting systems Points Claimed: 0.5

Documentation Required - None.

### Practice 1003.3 Maintenance Manuals

Maintenance manuals are created/distributed per 1003.0. 1 point awarded per 2 items. Points awarded for both mandatory and non-mandatory items.

**Total Points Claimed for this Item: 2**

Narrative detailing the importance of maintaining a green building in all manuals. Mandatory for certification. Points Claimed: 0.5

List of providers for service/maintenance to assure proper performance Points Claimed: 0.5

User-friendly maintenance checklist that includes: a) HVAC, b) thermostat operation and programming, c) lighting controls, d) appliances and settings, e) water heater settings, f) fan controls Points Claimed: 0.5

List of common hazardous materials often used around the building and instructions for proper handling and disposal of these materials Points Claimed: 0.5

A procedure for rental tenant occupancy turnover that preserves the green features	Points Claimed: 0.5
Documentation Required - None.	
<hr/>	
Total points claimed in Chapter 10 - Operation, Maintenance, and Building Owner Education: <b>12</b>	
Point Minimums for this Chapter: Bronze: <b>8</b> Silver: <b>10</b> Gold: <b>11</b> Emerald: <b>12</b>	

Project Name - **Mallory Square**  
 Project Description - **Woodfield Investments- Prescriptive**  
 Scoring Path - **Multi-Unit New Construction**  
 Total points claimed in this Project - **254**  
 Green level achieved for this Project - **Bronze**  
**Point Minimums for this Project:** Bronze: **222** Silver: **406** Gold: **558** Emerald: **697**

Chapter	Required Points	Claimed Points	Additional Claimed Points Above Bronze	Point Shortfall	Mandatory Status
Chapter 5: Lot Design, Preparation, and Development	39	67	28		Not Applicable
Chapter 6: Resource Efficiency	45	54	9		Met
Chapter 7: Energy Efficiency	30	53	23		Met
Chapter 8: Water Efficiency	14	22	8		Met
Chapter 9: Indoor Environmental Quality	36	46	10		Met
Chapter 10: Operation, Maintenance, and Building Owner Education	8	12	4		Met
<b>SECTION TOTALS</b>	<b>172</b>	<b>254</b>	<b>82</b>	<b>0</b>	
<b>Additional Points Above Bronze</b>	<b>50</b>	<b>--</b>	<b>82</b>	<b>0</b>	
<b>TOTAL POINTS</b>	<b>222</b>	<b>254</b>	<b>--</b>	<b>0</b>	



**CITY OF GAITHERBURG  
DIVISION OF HOUSING AND COMMUNITY DEVELOPMENT  
MPDU AND WFHU PROGRAM**

**AFFORDABLE HOUSING PLAN**

This report must be submitted to the City of Gaithersburg prior to SDP or site plan approval

Instructions: Please fill out this form completely and return to Louise Kauffmann, Housing and Community Development Director. Pursuant to City Regulation No. 01-09, this Plan must be submitted, signed and approved prior to approval of any relevant schematic development plan and before receiving Planning Commission approval of any relevant site plan.

**1. Developer Information**

Name of Developer	Camden USA, Inc.	Tax ID	76-0522167
Contact Person	Jay K. Johnson	Title	Director of New Development
Address	1420 Spring Hill Road McLean VA	Zip Code	20171
Phone Number	(703)556-5741	Fax	(703)556-0988

**2. Project Information**

Project Name	Camden Washingtonian
Project Location	Washingtonian North (north of Sam Eig Highway/Washingtonian Boulevard)
Subdivision Name	n/a
Project Type: rental/sale	Rental
Total Number of Units	356 units <b>The final number of units is subject to change at Final Site Plan</b>
Number of Units by Type (1 BR, 2 BR, etc)	Studio – 42, One Bedroom – 160, One Bedroom/Den – 24, Two Bedroom – 113, and Three Bedroom – 17. <b>The final unit mix is subject to change at FSP.</b>

**3. Project Description**

Briefly describe the development concept and design of this project.  
Camden Washingtonian is planned to be an urban wrap project with up to five levels of woodframe construction surrounding a concrete parking garage. The building façade features a contemporary finish and will have enclosed conditioned hallways, elevators, high-end amenities including a club room, fitness studio, internet café, swimming pool, and private courtyards around the building perimeter.

**4. MPDU and WFHU Information:**

Total Number of Units	356 (subject to FSP)	Planned MPDU/WFHU Location in Development	
Number of MPDUs by type (sale)	none	MPDU (Sale)	none
Number of MPDUs by type (rental)	54 (subject to FSP)	MPDU (rental)	Dispersed throughout
Number of WFHUs by type	none	WFHU	none

**5. Proposed Construction Schedule**

Start Date		Finish Date	
MPDU/WFHU	March 2015	MPDU/WFHU	First Lease: March 2017
Market Units	March 2015	Market Units	First Lease: March 2017

**6. Attachments**

1. Attach a statement attesting that the MPDUs and WFHUs shall be of the same appearance and use comparable exterior materials to the market rate units of the same unit type;
2. Attach a statement attesting that the MPDUs and WFHUs shall be generally dispersed throughout the development;
3. Attach a statement attesting that the MPDUs and WFHUs shall be built along with, or before, other units in the development.
4. Attach a statement attesting that the Offering Agreement and Covenants will be submitted in recordable form 120 days prior to offering the first unit.

  
Signature

DIRECTOR OF NEW DEVELOPMENT  
Title

10/9/13  
Date

Oct-13

SDP-3878-2013  
Exhibit #28



1420 Spring Hill Road, Suite 200  
McLean, VA 22102  
703-556-5740 / 703-556-0988 Fax

October 9, 2013

City of Gaithersburg  
Division of Housing and Community Development  
Attn: Louise Kauffman, Director  
31 South Summit Avenue  
Gaithersburg, MD 20877

RE: Camden Washingtonian Affordable Housing Plan - Rental

Dear Ms. Kauffman,

On behalf of Camden USA, Inc., we are pleased to have the opportunity to develop another exceptional Camden community in the Washington DC metropolitan area, and especially in the City of Gaithersburg. As requested with the submittal of the Schematic Development Plan, this letter serves as the attachment to the Affordable Housing Plan and we affirm the following:

1. The Moderately Priced Dwelling Units (MPDUs) will be of the same appearance and have comparable exterior materials to the market rate units of the same unit type.
2. The MDPUs will be generally dispersed throughout the development.
3. The MPDUs will be built concurrently with the other units in the development.
4. The Offering Agreement and Covenant will be submitted in recordable form 120 days prior to offering the first unit.

Please let me know if you have any questions. My direct dial office number is (703)556-5741.

Sincerely,



Jay K. Johnson  
Director of New Development

**From:** [Louise Kauffmann](#)  
**To:** [Johnson, Jay \(JJohnson@camdenliving.com\)](mailto:JJohnson@camdenliving.com)  
**Cc:** [Trudy Schwarz](#)  
**Subject:** FW: SDP-3878-2013 - Preliminary Affordable Housing Plan  
**Date:** Thursday, November 07, 2013 5:54:02 PM

---

Jay,

Although not final, I reviewed your preliminary AHP. Unlike the County's MPDU program, the City calculates the required number of units by rounding to the nearest whole number. In this case, 356 units would require 53.4 MPDUs; therefore the required number would be 53 units, not 54.

Let me know if you have any questions.

Louise

SDP-3878-2013  
Exhibit #29

---

**From:** Trudy Schwarz  
**Sent:** Thursday, November 07, 2013 4:27 PM  
**To:** Louise Kauffmann  
**Subject:** SDP-3878-2013 - Preliminary Affordable Housing Plan

Louise,

Attached is the Preliminary Affordable Housing Plan for Camden as required as part of the Washingtonian North Schematic Development Plan. The Schematic Development Plan will be reviewed at a public hearing on December 16, 2013. At the time of Final Site Plan review, there will be a final Affordable Housing Plan submitted. Please include me on correspondence about this submittal.

Thanks,  
Trudy

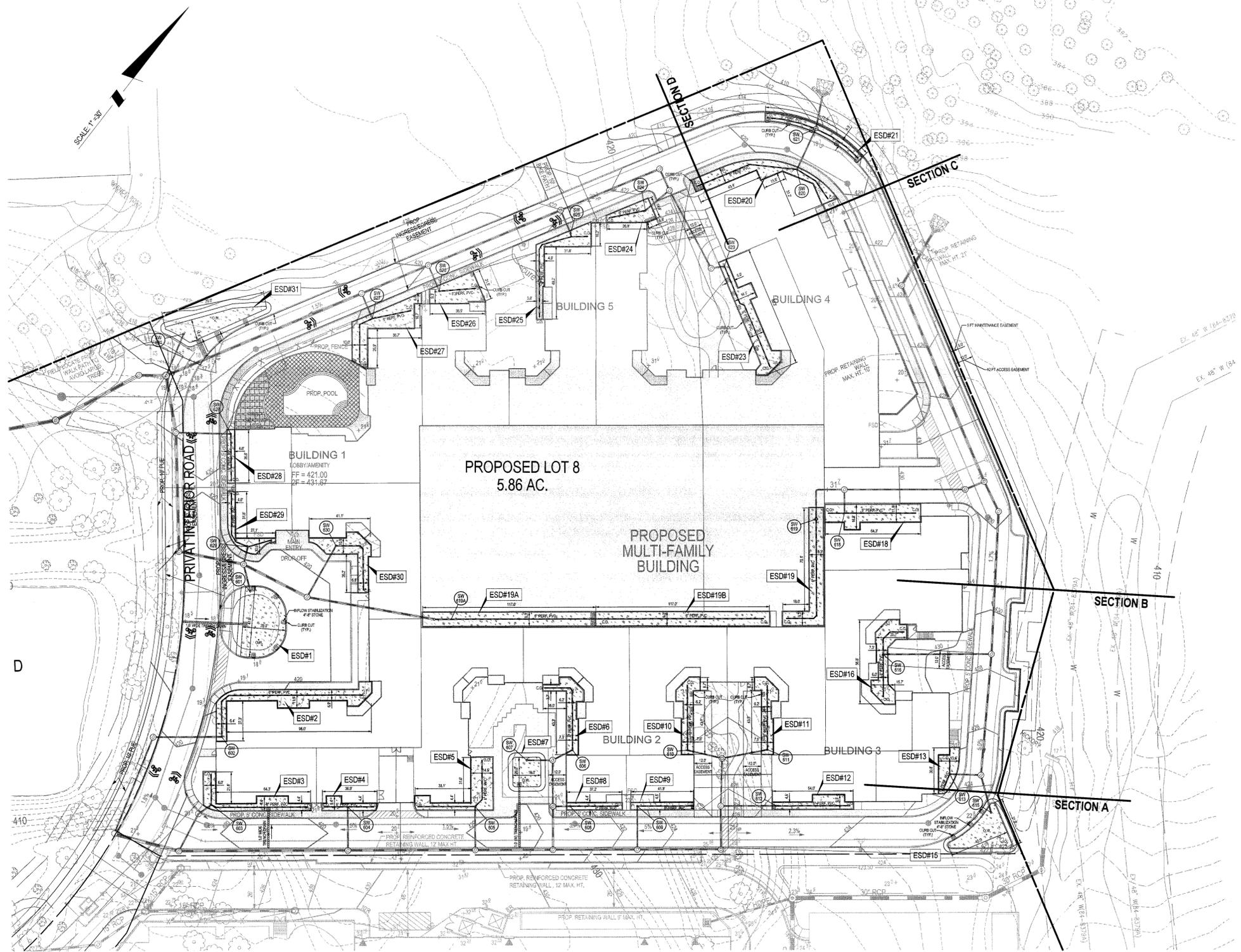
Trudy M. Walton Schwarz, CFM  
Community Planning Division Chief  
Planning and Code Administration  
City of Gaithersburg  
31 South Summit Avenue  
Gaithersburg, Maryland 20877  
Phone: 301-258-6330  
Fax: 301-258-6336  
City Web Site: [www.gaithersburgmd.gov](http://www.gaithersburgmd.gov)

Get weekly e-mail updates of upcoming City meetings and events by registering for myGaithersburg at [www.gaithersburgmd.gov/mygaithersburg](http://www.gaithersburgmd.gov/mygaithersburg)

The opinions expressed in this message are not necessarily those of the City of Gaithersburg Staff, Mayor or Council



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**SWM LEGEND**

PROP. MICRO-BIORETENTION FACILITY

SDP-3878-2013  
Exhibit #30

GRAPHIC SCALE: 1" = 30'

**SOLTESZ**

Rockville  
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ROCKVILLE OFFICE  
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Rockville, MD 20850  
P. 301.948.2750 F. 301.948.9067  
www.soltesz.com

NO.	DATE	DESIGNER	BY	DATE	REVISIONS
	JANUARY 2014	CX			

CAD STANDARDS VERSION: V8 - 2000  
TECHNICAL: CX  
CHECKED: AXD

**MISS UTILITY NOTE**

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

**DEVELOPER/APPLICANT**

CAMDEN LIVING  
1420 SPRING HILL ROAD, SUITE 200  
MELAN, VIRGINIA 22102  
PHONE # (703) 556-5741  
CONTACT: MR. JAY JOHNSON  
DIRECTOR OF NEW DEVELOPMENT

**OWNER**

WASHINGTONIAN NORTH ASSOCIATES, LP  
C/O BOSTON PROPERTIES  
2200 PENNSYLVANIA AVENUE NW, SUITE 2000  
WASHINGTON, DC 20037  
PHONE # (202) 555-0847  
CONTACT: MR. JAKE STROMAN

TAX MAP	FS342 & 343	ZONING CATEGORY	MD
WASC 202 SHEET	221NW 10		222NW 10
SHEET DATE			
HORIZONTAL: NAD 83			
VERTICAL: NAD 83			

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 38090 EXPIRATION DATE: 06/28/2014

**RETAINING WALL SECTION EXHIBIT**

**WASHINGTONIAN NORTH**

LOT 8, BLOCK D  
WASHINGTONIAN CENTER

PREVIOUSLY LOT 8, BLOCK D, WASHINGTONIAN CENTER, PLAT #21856  
GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

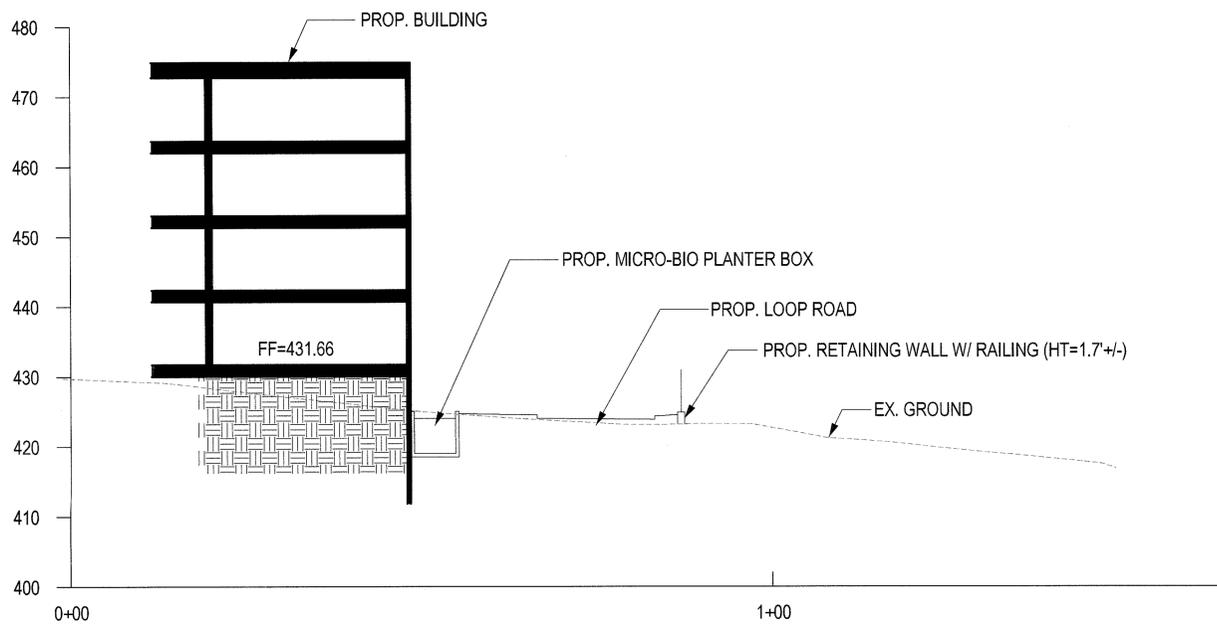
SHEET 1 OF 2

PROJECT NO. 1184-00-01

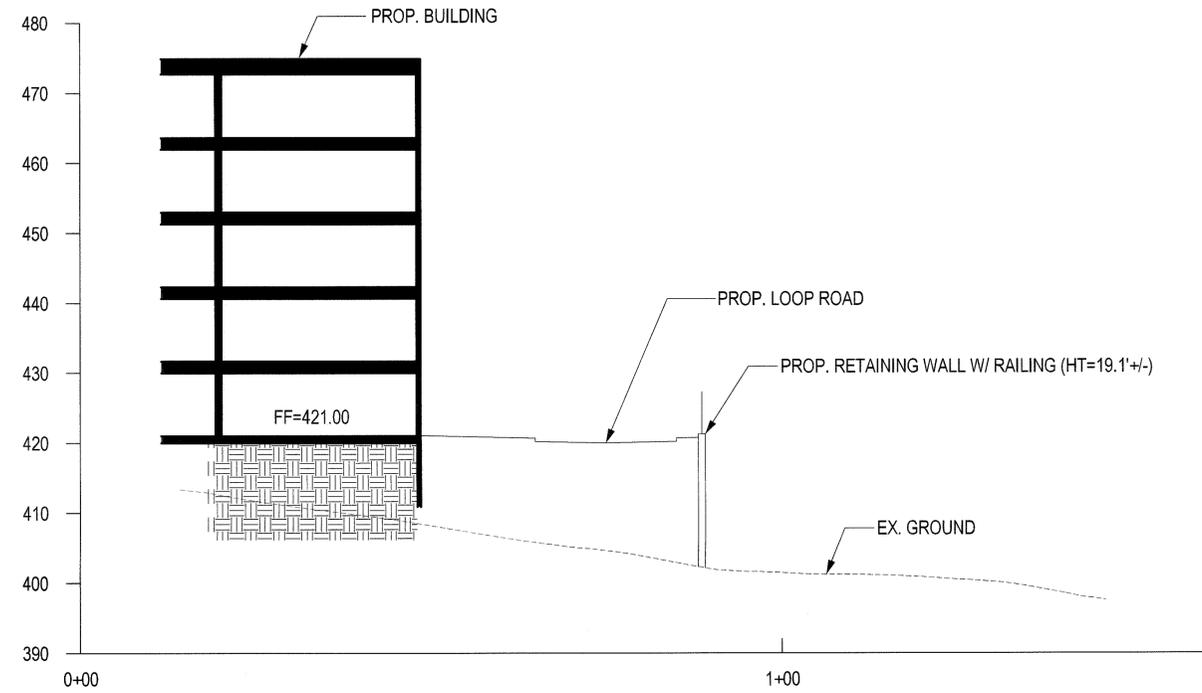
SLAPLOT COMMENTS

REFERENCE TO THE SHEET INDICATED BY THE NUMBER IN THE MARGIN IS NECESSARY TO OBTAIN A COMPLETE UNDERSTANDING OF THE PROJECT. THE INFORMATION CONTAINED HEREIN IS FOR REFERENCE ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SOLTESZ AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SOLTESZ AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

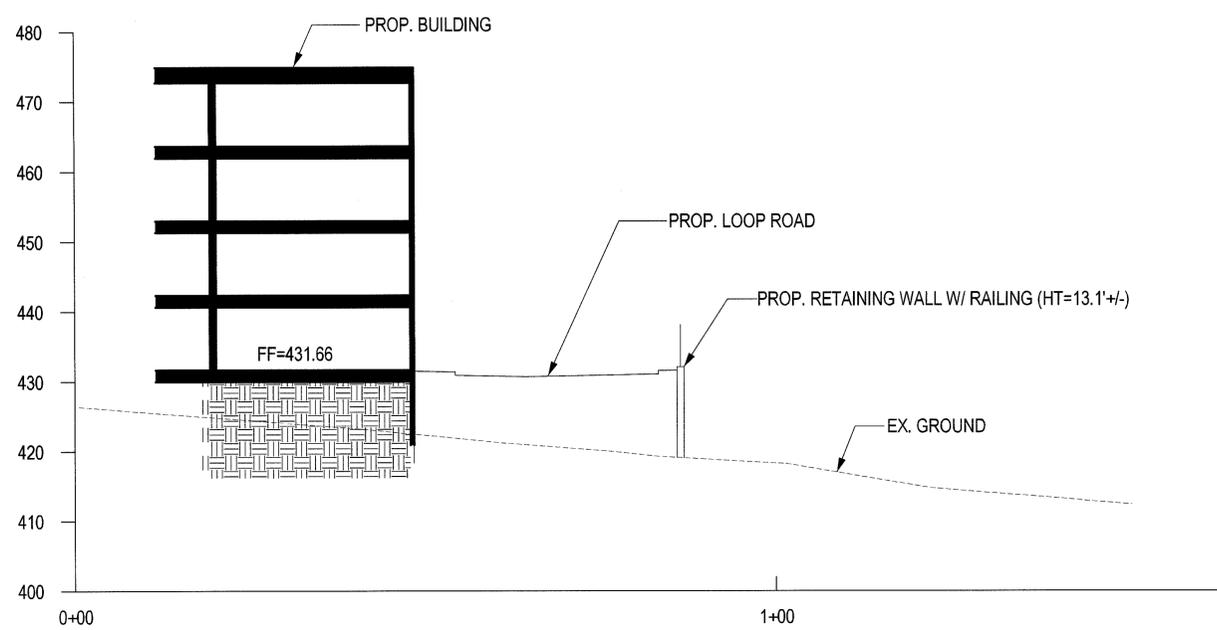
**SECTION A**



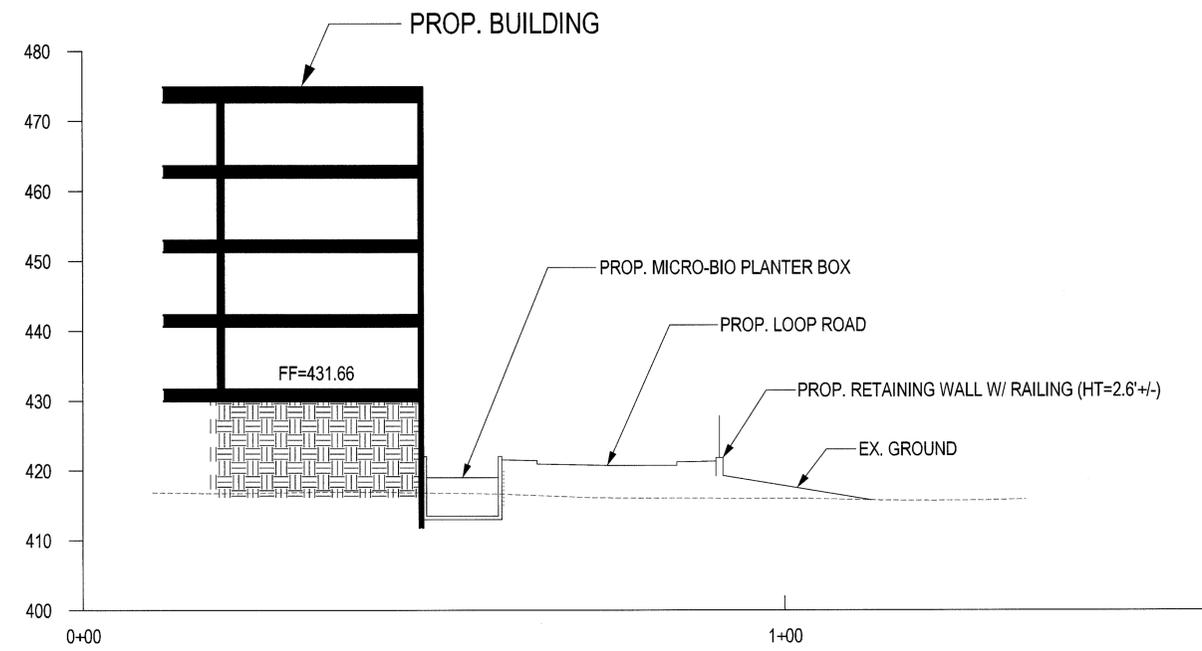
**SECTION C**



**SECTION B**



**SECTION D**



SCALE:  
 HORIZONTAL 1"=10'  
 VERTICAL 1"=10'  
 GRAPHIC SCALE: 1" = 10'

**SOLTESZ**

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 2 Research Place, Suite 100  
 Rockville, MD 20850  
 P. 301.948.2750 F. 301.948.9067  
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NO.	DATE	REVISIONS	BY	DATE

DATE: JANUARY 2014  
 DESIGNED: CX  
 CAD STANDARDS VERSION: V9 - 2000  
 TECHNICIAN: CX  
 CHECKED: AXQ

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 PHONE # (202) 385-0947  
 CONTACT: MR. JAKE STROMAN

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F3342 & 343	ZONING CATEGORY:	MYD		
WSSC 2307 SHEET	2211W 10	2220W 10		
SITE DATUM	HORIZONTAL: NAD 83	VERTICAL: NAD 83		

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 LICENSE NO. 36080 EXPIRATION DATE: 09/28/2014



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PROJECT NO.	1184-00-01
SHEET	2
OF	2

SLAPLOT COMMENTS