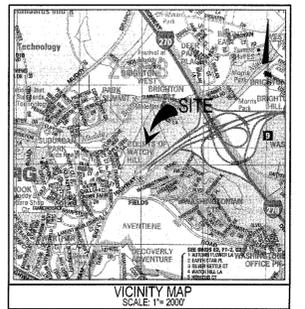


WASHINGTONIAN NORTH

PRELIMINARY LANDSCAPE PLAN

GAITHERSBURG (9th.) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND



DEVELOPER
WASHINGTONIAN NORTH ASSOCIATES, LLC
BOSTON PROPERTIES
2200 Pennsylvania Avenue, NW, Suite 200W
Washington, DC 20037
Attn: Jake Stroman
202.585.0847, 202.585.0888 Fax

DEVELOPER
LTF REAL ESTATE COMPANY, INC.
2902 Corporate Place
Chanhassen, MN 55317
Attn: Aaron Koehler, Development Manager

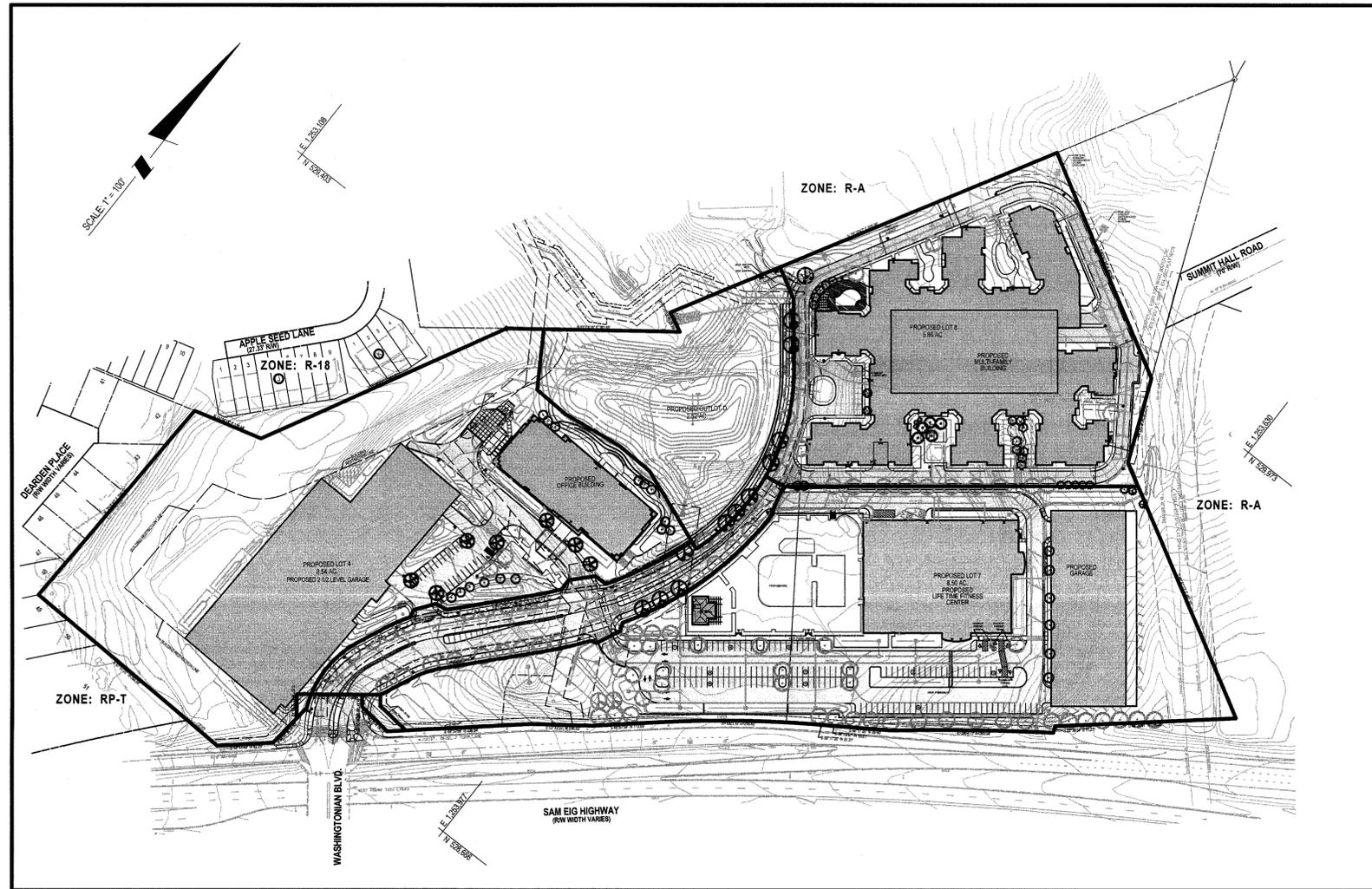
DEVELOPER
CAMDEN USA, INC.
1420 Spring Hill Road, Suite 200
McLean, Va 22102
Attn: Jay K. Johnson
703.556.5766, 703.556.0988 Fax

ATTORNEY
LINOWES & BLOCHER, LLP
7200 Wisconsin Avenue
Bethesda, MD 20814
Attn: Scott C. Wallace
301.654.0504, 301.654.2801 Fax

ARCHITECT
KTGY GROUP, INC
Architecture + Planning
8605 Westwood Center Drive, Suite 300
Tysons Corner, VA 22182
703.992.6116, 703.992.6428 Fax

CIVIL ENGINEER
SOLTESZ, INC.
2 Research Place Suite 100
Rockville, Maryland 20850
301.948.2750, 301.948.9067 Fax

CIVIL ENGINEER
URBAN LIMITED
4200D Technology Ct.
Chantilly, Virginia 20151
703.642.2306, 703.378.7888 Fax



SHEET INDEX

- L-0.0 PRELIMINARY LANDSCAPE COVER SHEET
- L-1.0 PRELIMINARY LANDSCAPE PLAN - LOT 4
- L-2.0 PRELIMINARY LANDSCAPE PLAN - LOT 7
- L-3.0 PRELIMINARY LANDSCAPE PLAN - LOT 8
- L-4.0 PRELIMINARY LANDSCAPE NOTES AND DETAILS

GENERAL NOTES

1. THIS PLAN IS AN AMENDMENT TO SDP-W5(A) PREVIOUSLY APPROVED ON JULY 11, 2001.
2. TOPO BY LOIEDERMAN SOLTESZ ASSOCIATES (MAY 2012) 2' CONTOUR INTERVAL.
3. THE SITE IS IDENTIFIED AS PROPOSED LOT 4, 7 & 8, OUT LOT C & D, BLOCK D, WASHINGTONIAN CENTER, GAITHERSBURG, MARYLAND.
4. ZONED: MXD - MIXED USE DEVELOPMENT.
5. THE SITE IS IN THE MUDDY BRANCH WATERSHED, TRIBUTARY 5.
6. THE PROJECT WILL BE DEVELOPED IN FOUR PHASES. THE FIRST PHASE OF THE PROJECT (OUTLOT D & PRIVATE ROAD) INCLUDES CONSTRUCTION OF THE PROJECT-WIDE INFRASTRUCTURE ELEMENTS, INCLUDING THE SITE ACCESS ROAD, THE CENTRAL STORMWATER MANAGEMENT POND, AND SITE GRADING (THE 'INFRASTRUCTURE PHASE'-PHASE 1-A & PHASE 1-B). THE SECOND PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE MULTI-FAMILY RESIDENTIAL BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE THIRD PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE HEALTH CLUB BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE FOURTH PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE OFFICE BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE INFRASTRUCTURE PHASE WILL BE INITIATED PRIOR TO THE INITIATION OF ANY OTHER PHASE OF THE PROJECT. THEREAFTER, THE PHASES MAY PROCEED IN ANY ORDER, OR SIMULTANEOUSLY.

LEGEND

- PROPOSED SHADE TREE
- PROPOSED PLANTING FOR SPECIMEN TREE REMOVAL MITIGATION
- PROPOSED STREET TREE PLANTING FOR REFORESTATION
- PROPOSED PLANTING FOR AFFORESTATION
- PROPOSED EVERGREEN TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHRUB
- PROPOSED LIGHTING

Joint Hearing - MCC & PC
SDP-3878-2013
Exhibit #80

PRELIMINARY LANDSCAPE PLAN COVER SHEET

WASHINGTONIAN NORTH

LOTS 4, 7, 8, & OUTLOT C, D WASHINGTONIAN CENTER

PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTONIAN CENTER', PLAT # 21856
CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

L-0.0

PROJECT NO.
1184-00-01

SOLTESZ
Engineering
Planning
Environmental Sciences

Rockville
Lanham
Waldorf
Leonardtown
Frederick

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.soltesz.com

NO.	DESCRIPTION	DATE	BY	DATE
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	JANUARY 2013	JDC	FEB 20, 2014

DESIGNED: JDC
CHECKED: AQ

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF CONSTRUCTION. CONTACT "MISS UTILITY" AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF CONSTRUCTION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

APPLICANT

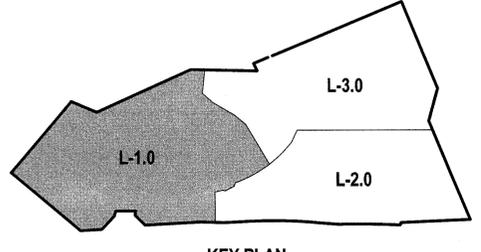
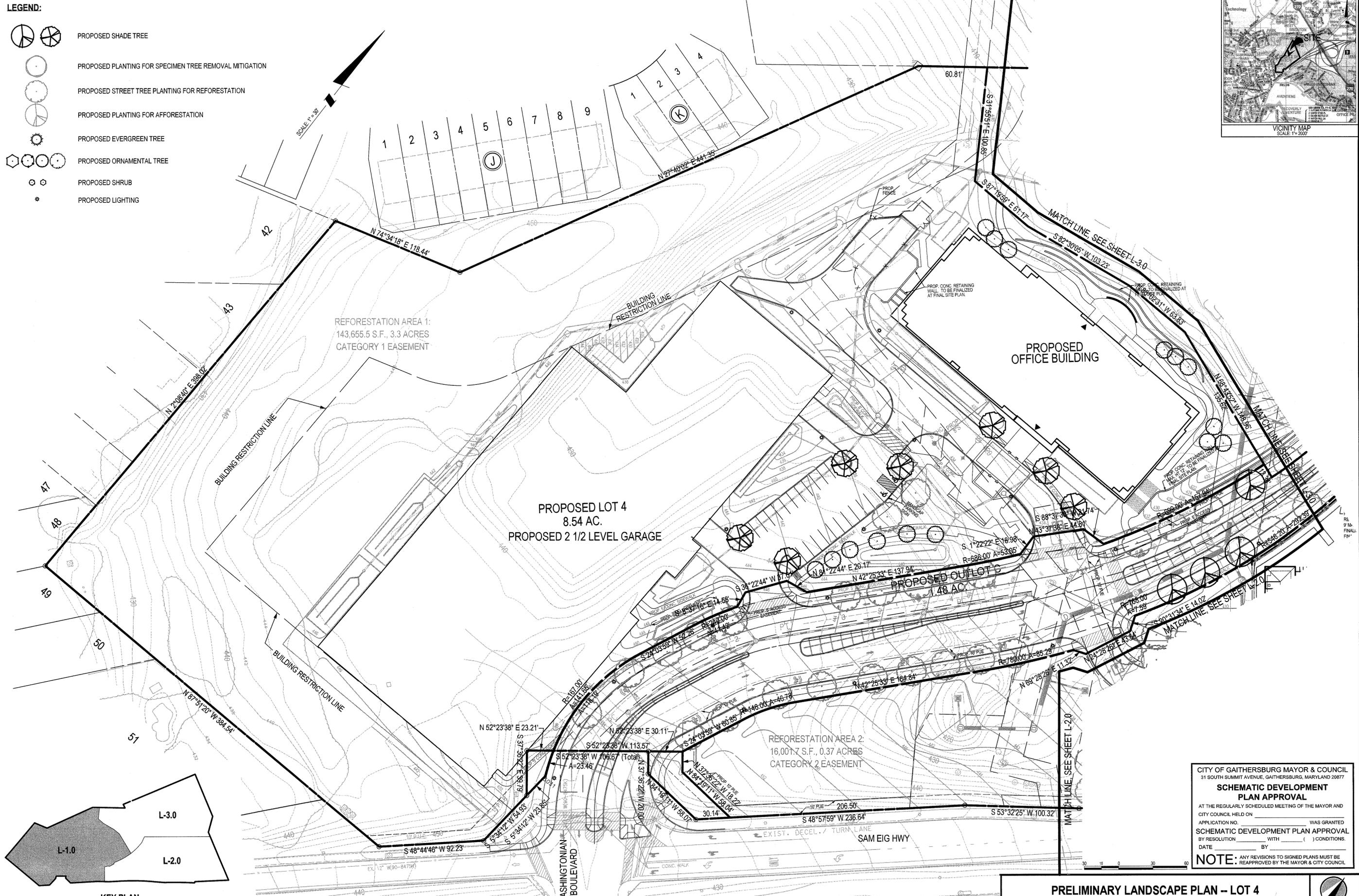
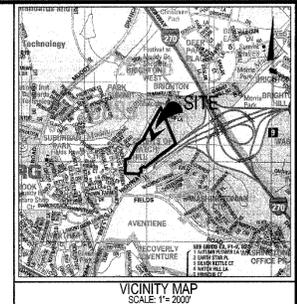
WASHINGTONIAN NORTH ASSOCIATES, LLC
C/O BOSTON PROPERTIES
2200 PENNSYLVANIA AVENUE, NW
SUITE 200W
WASHINGTON, DC 20037
202.585.0847
JAKE STROMAN

COPYRIGHT AND THE MAP PEOPLE PRINTED USE NUMBER 2012020	MAP: 5163	GRID: G.H.182
TAX MAP: FS342 & 343	ZONING CATEGORY: MXD	
MSDC 300 SHEET: 221NW 10		
SITE DATUM: HORIZONTAL: NAD 83		
VERT: CAN: NAD 83		



LEGEND:

-  PROPOSED SHADE TREE
-  PROPOSED PLANTING FOR SPECIMEN TREE REMOVAL MITIGATION
-  PROPOSED STREET TREE PLANTING FOR REFORESTATION
-  PROPOSED PLANTING FOR AFFORESTATION
-  PROPOSED EVERGREEN TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED SHRUB
-  PROPOSED LIGHTING



CITY OF GAITHERSBURG MAYOR & COUNCIL
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION _____ WITH _____ CONDITIONS.

DATE _____ BY _____

NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL

PRELIMINARY LANDSCAPE PLAN -- LOT 4

SOLTESZ

Rockville
 Lanham
 Waldorf
 Leonardtown
 Frederick

ROCKVILLE OFFICE
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 Rockville, MD 20850
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www.soltesz.com

NO.	DESCRIPTION	DATE	BY	DATE
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	JANUARY 2013	JDC	FEB 20, 2014

DATE: JANUARY 2013 CAD STANDARD VERSION: V8 - 2000
 DESIGNED: JDC TECHNICIAN: CDA CHECKED: AQ

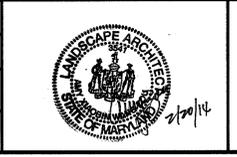
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APPLICANT

WASHINGTONIAN NORTH ASSOCIATES, LLC
 C/O BOSTON PROPERTIES
 2200 PENNSYLVANIA AVENUE, NW
 SUITE 200W
 WASHINGTON, DC 20037
 202.585.0847
 JAKE STROMAN

TAX MAP	FS342 & 343	ZONING CATEGORY	MXD
WSSO 200' SHEET	222NW 10		XXXX
SITE DATUM	HORIZONTAL: NAD 83	VERTICAL: NAD 83	



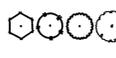
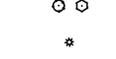
WASHINGTONIAN NORTH
 LOTS 4, 7, 8, & OUTLOT C, D
 WASHINGTONIAN CENTER

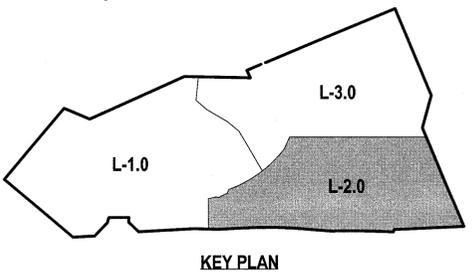
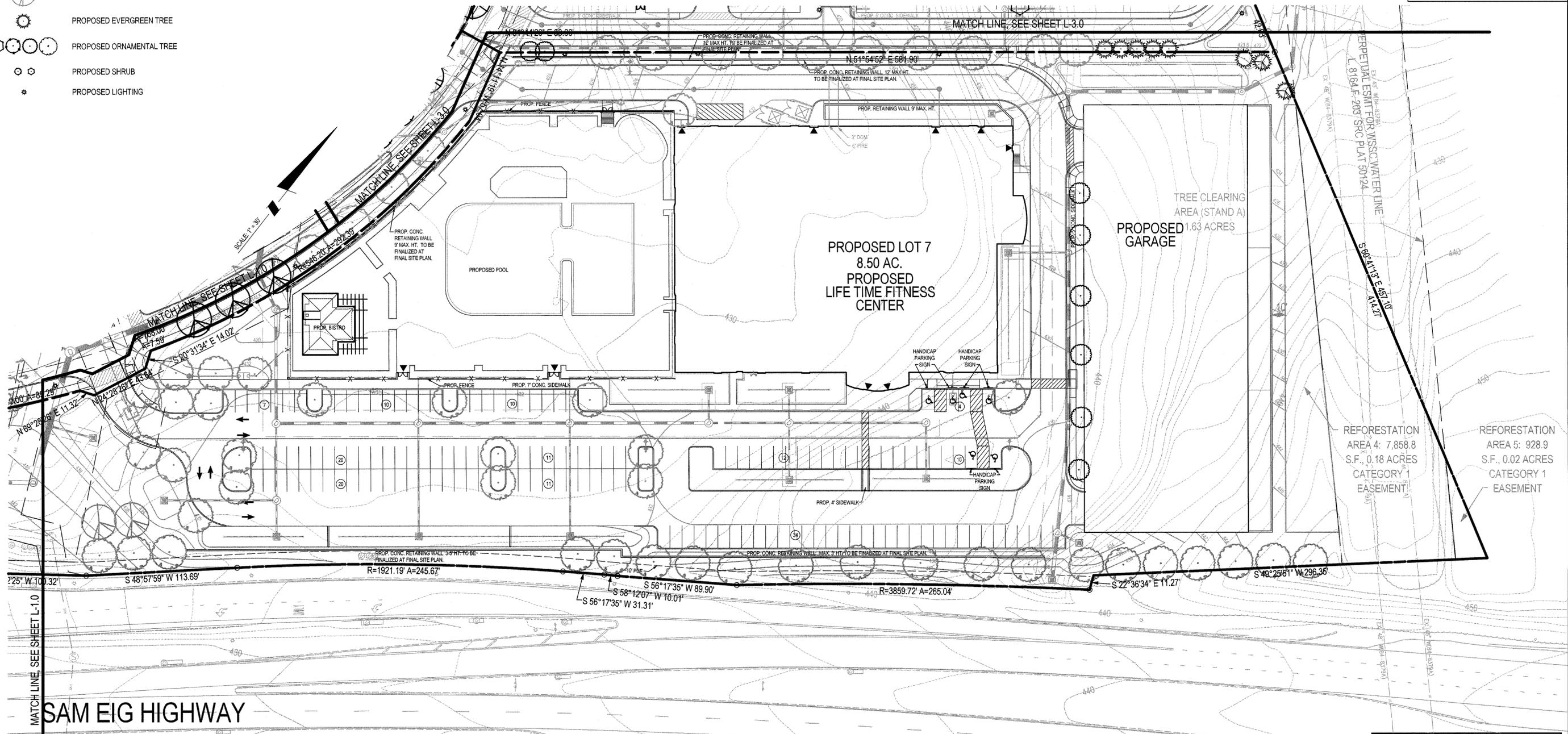
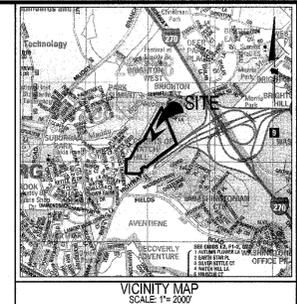
PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTONIAN CENTER', PLAT # 21856
 CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

PROJECT NO. 1184-00-01

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LEGEND:

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CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION _____ WITH _____ () CONDITIONS.

DATE _____ BY _____

NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL

PRELIMINARY LANDSCAPE PLAN -- LOT 7

SOLTESZ

Rockville
Lanham
Waldorf
Leonardtown
Frederick

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P. 301.948.2750 F. 301.948.9067

www.soltesz.com

NO.	REVISIONS	AZ	DATE
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	AZ	FEB. 20, 2014
DATE:	JANUARY 2013	CAD STANDARDS VERSION:	V8 - 2000
DESIGNED:	JDC	TECHNICAL:	CDA
CHECKED:	AJG		

MISS UTILITY NOTE

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APPLICANT

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C/O BOSTON PROPERTIES
2200 PENNSYLVANIA AVENUE, NW
SUITE 200W
WASHINGTON, DC 20037
202.585.0847
JAKE STROMAN

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TAX MAP: FS342 & 343 ZONING CATEGORY: MXD
WSSC 200' SHEET: XXXXX
SITE DATUM: 221NW 10 222NW 10
HORIZONTAL: NAD83 VERTICAL: NAD83



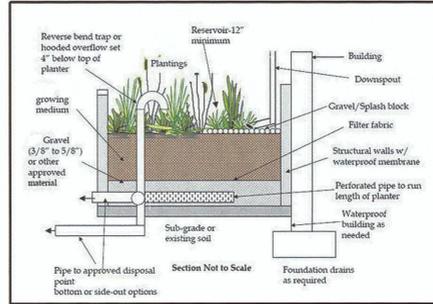
WASHINGTON NORTH
LOTS 4, 7, 8, & OUTLOT C, D
WASHINGTON CENTER

PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTON CENTER', PLAT # 21856
CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

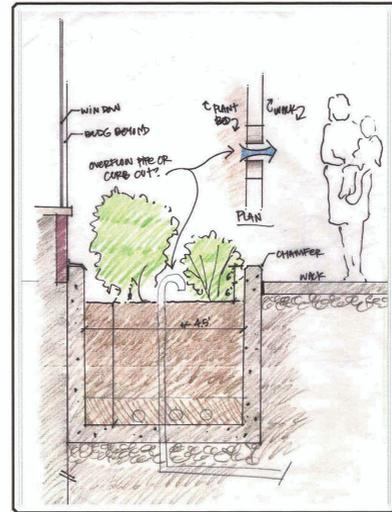
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PROJECT NO. 1184-00-01

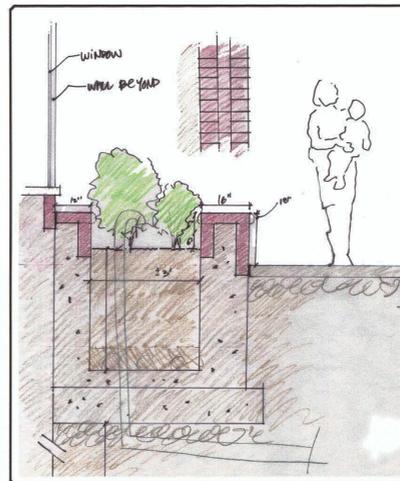
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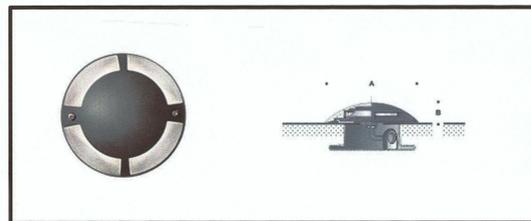
SCHEMATIC SWM PLANTER DETAIL



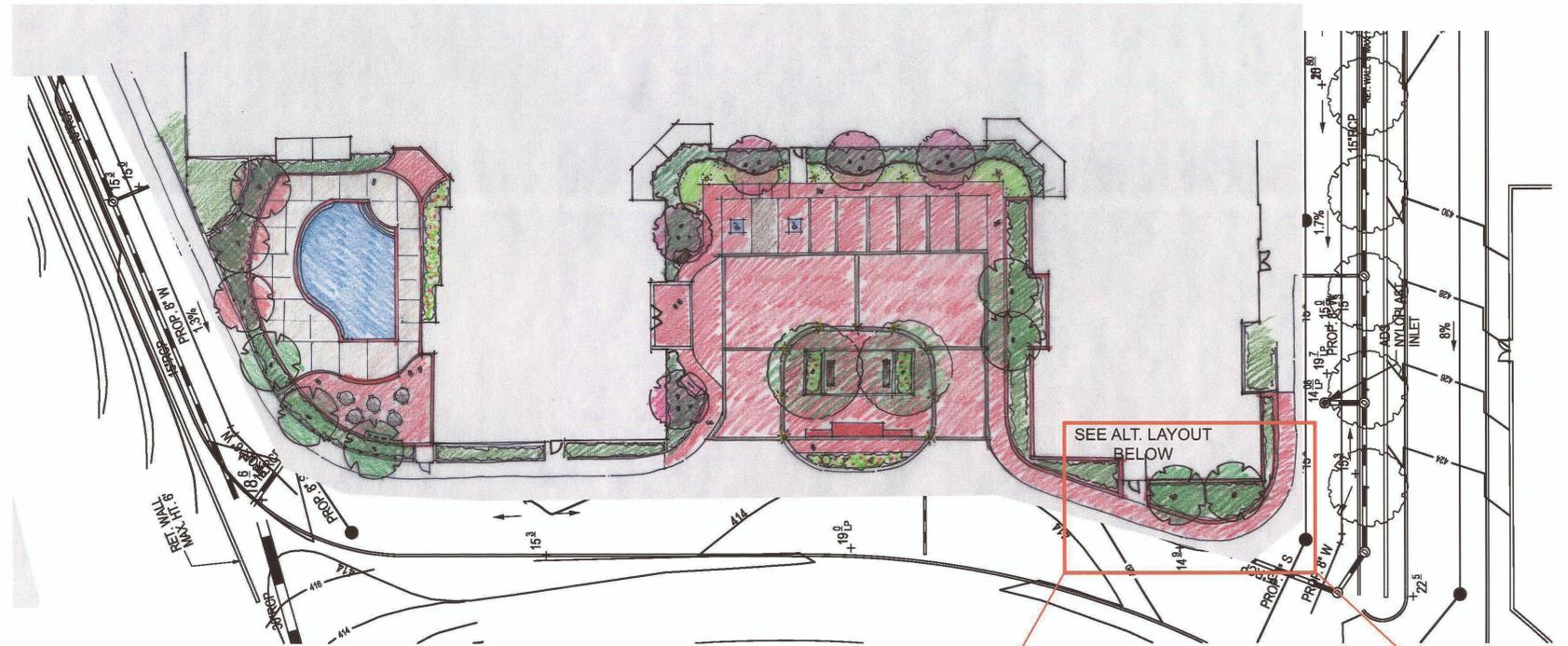
SWM PLANTER - CURB CONDITION



SWM PLANTER - SEAT WALL CONDITION



IN-GROUND LIGHT FIXTURE
* CAN BE DRIVEN OVER

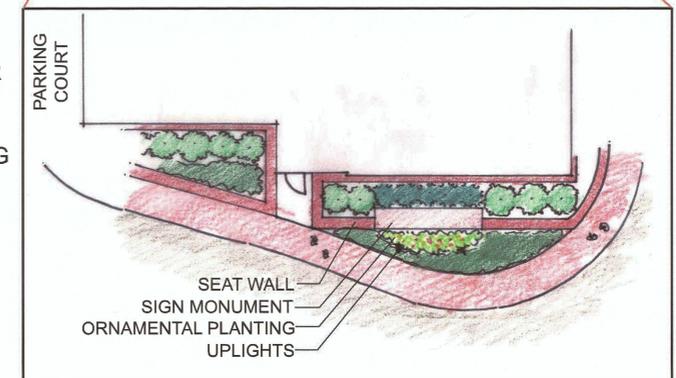


POOL

- * POOL +/- 1,000 sf
- * UNDERWATER BENCH
- * GRILL / KITCHEN AREA
- * ORNAMENTAL PLANTINGS AT VISIBLE LOCATIONS; SWM PLANTING AT PERIPHERY

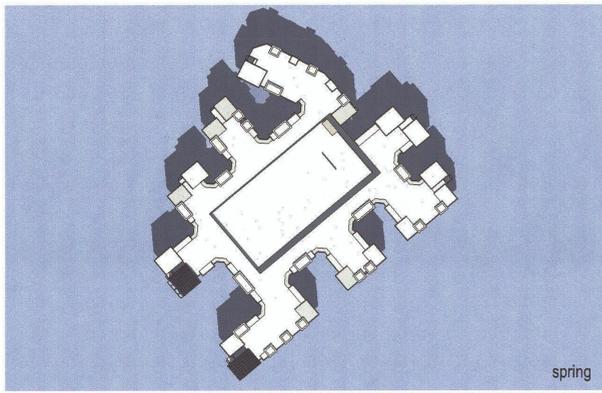
ENTRY PLAZA

- * SIGN MONUMENT FACES OUT
- * SEAT WALLS ALONG EAST BUILDING FACE
- * PERVIOUS PAVERS AT PARKING AND PLAZA
- * PARKING STRIPES IN CONTRASTING PAVER COLOR
- * REGULAR PAVERS IN DRIVE AISLE
- * FLUSH PLAZA BOUNDED BY IN-GROUND LIGHTS
- * BOLLARD LIGHTS BETWEEN BUILDING AND PARKING

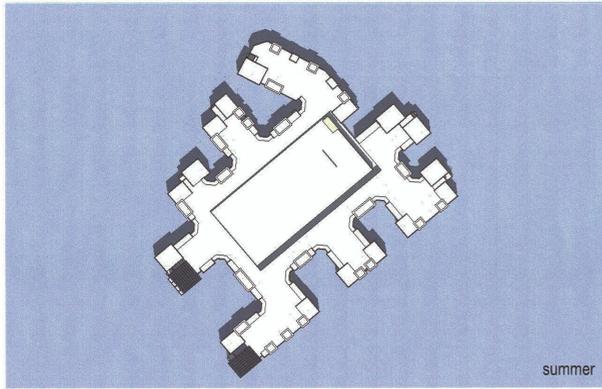


ALTERNATE SIGN MONUMENT LOCATION
1"=10'

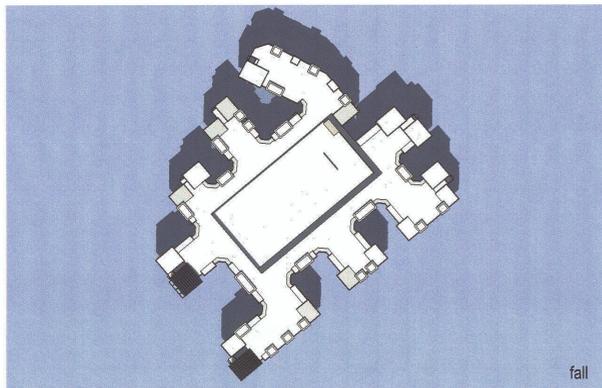
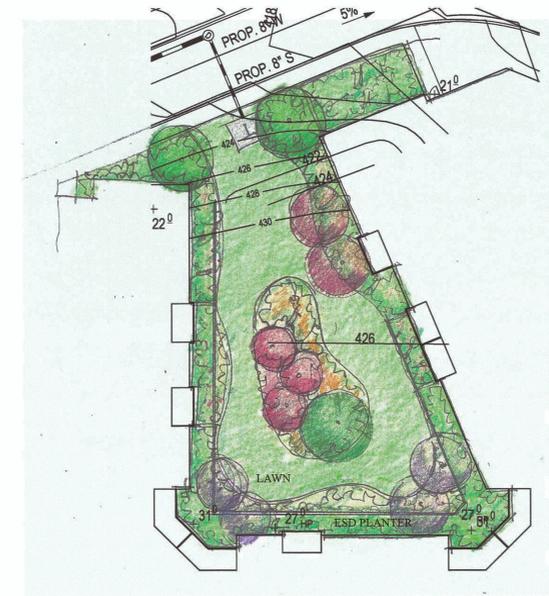
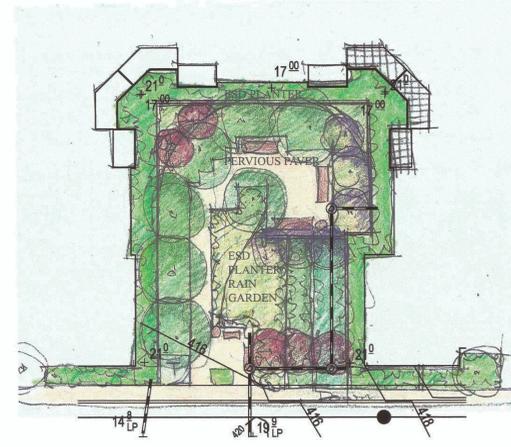
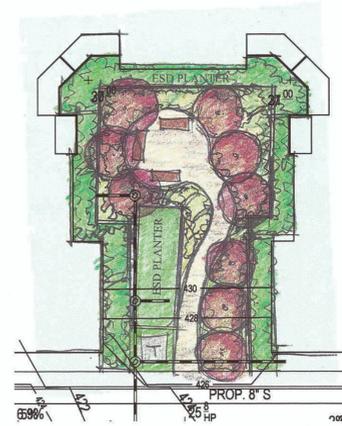




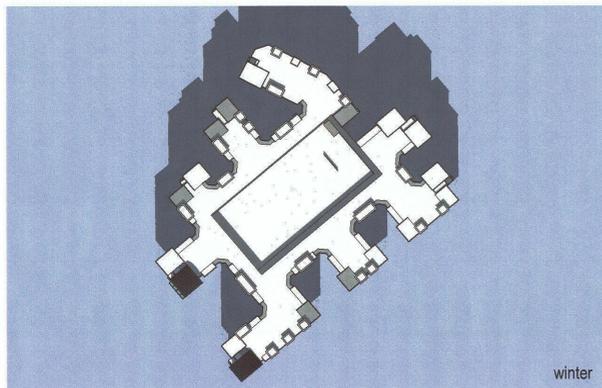
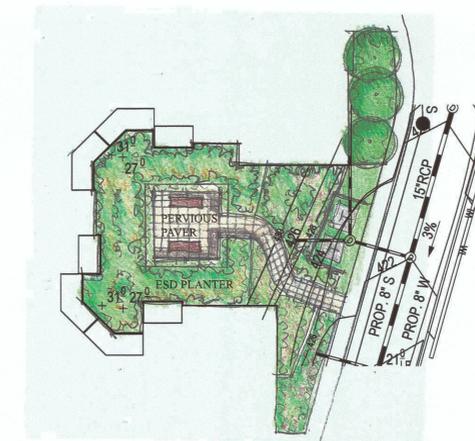
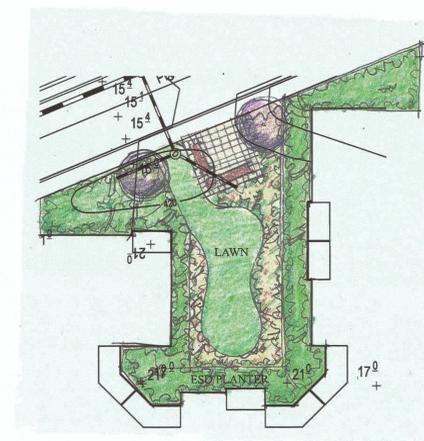
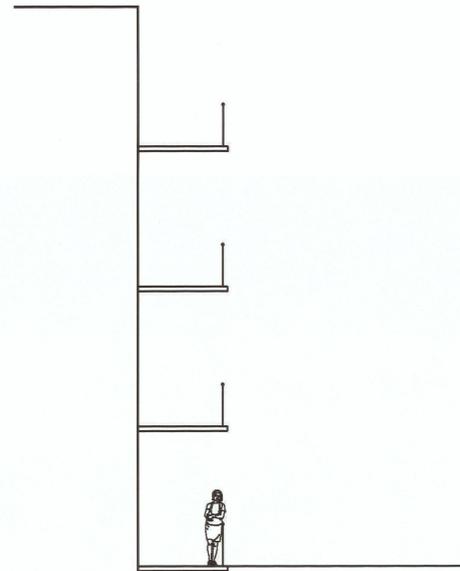
spring



summer



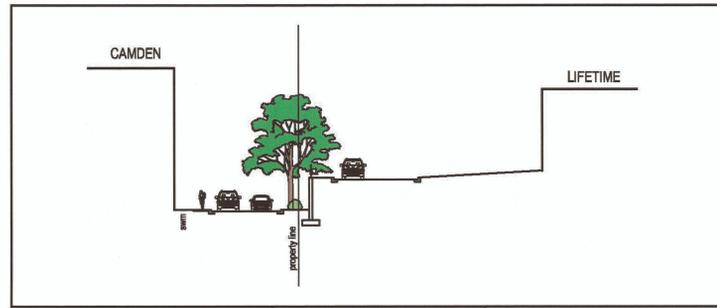
fall



winter

CAMDEN
WASHINGTONIAN NORTH
 CONCEPTUAL DESIGN
 FEBRUARY 20, 2013

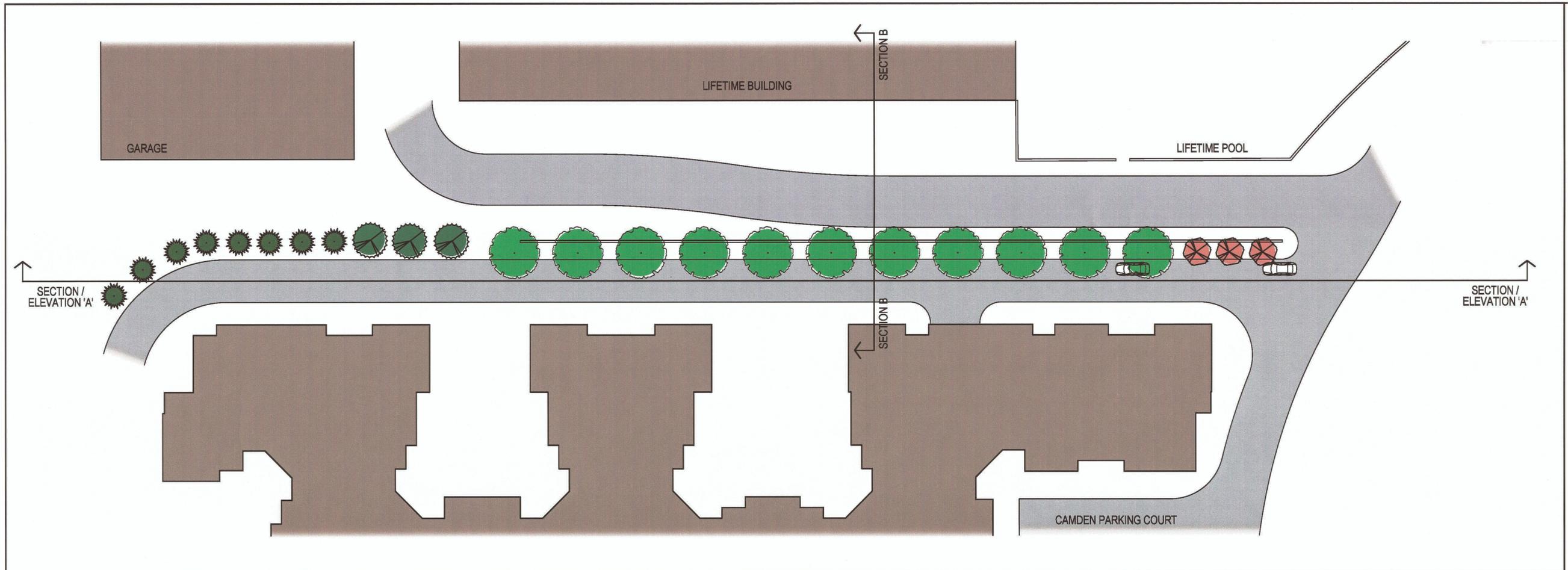




SECTION 'B'
1"=20'



SECTION / ELEVATION 'A'
1"=20'



L-3.3



GENERAL CONDITIONS

- I. SCOPE**
- The landscape contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans, plant list and specifications.
 - Total number of plants shall be as drawn on the landscape plan. If this total differs from the plant key, the landscape contractor is to notify the landscape architect before the bid date.
- II. STANDARDS**
- All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Association of Nurserymen (A.A.N.) conform in general to representative species.
 - The plant material must be selected from nurseries that have been inspected by state or federal agencies. Any certificates required must be provided to owner or representative upon delivery of materials.
- III. SUBSTITUTIONS**
- If a plant is found not to be suitable or available, landscape contractor is to notify the owner before bidding.
 - The owner or landscape architect is then required to select a reasonable alternate or to inform all landscape contractors of the availability of the original plant.
 - If a substitute is selected, it must be of the same size, value and quality as the original plant.
 - Substitutions to be made with written approval of M-NCPPC.
- IV. UTILITIES**
- The landscape contractor shall notify utility companies prior to construction and call "Miss Utility" at (1800)257-7777 to locate main utility lines.
 - If there is a conflict with the utilities and the planting, the landscape contractor shall notify the landscape architect or owner immediately. Any cost of relocating caused by the contractors' failure to notify shall be borne by the contractor.
- V. DRAINAGE**
- Plants shall not be planted in situations that show obvious poor drainage. Such situations shall be brought to the attention of the landscape architect or owner, and if they deem necessary, the plants shall be relocated or the contract shall be adjusted to allow for drainage correction at a negotiated cost.
- VI. WORKMANSHIP**
- During planting, all areas shall be kept clean and neat, and all reasonable precautions shall be taken to avoid damage to existing plants, turf and structures.
 - Upon completion, all debris and waste material from planting operations shall be removed from the project and the area cleaned up.
 - Any damaged areas shall be restored to their original condition at the cost of the contractor.

PLANT MATERIAL

- I. STANDARDS**
- Bare root
 - Bare rooted shrubs shall be dug with adequate fibrous roots.
 - Roots shall be protected during handling and transit and planted to guard against drying out and damage. If not planted soon after arrival, material must be heeled in and maintained.
 - Balled and Burlapped (B&B)
 - Balled and Burlapped plants shall be dug with firm natural balls of earth.
 - Ball sizes shall be in accordance with A.A.N. specifications.
 - Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold soil in container together.
 - All plant material shall be nursery grown unless otherwise specified. Pruning shall be done before planting or during the planting operation.
 - All plant material to be transported in covered container. Locally available material may be covered with a burlap or similar cover to keep from drying out, provided the transporting vehicle maintains a maximum of 35 mph.
 - Anti-desiccants shall be applied on all materials dug while in foliage.
 - Container stock may replace B&B as long as all other criteria are met.
 - Same plant material for location near each other shall be similar in appearance.
 - Hedge material will be similar enough in size and shape, etc. to create a uniform hedge.
- II. MATERIALS**
- A. ANTI-TRANSPIRANTS**
Anti-transpirants shall be an emulsifiable concentrate used to retard excess water loss without harming normal transpiration.
- B. BACK FILL MIXTURES**
- Back fill mixture shall be 1/3 existing soil mixed with 1/3 organic material (or peat) and 1/3 topsoil.
 - If any other additives are found to be needed at the time of planting, it shall be added only with the approval of the landscape contractor, landscape architect and owner or owner's representative.
 - Fertilizer is to be added depending on the size of the plant and the manufacturer's recommendation.
 - * Trees - Use tree fertilizer as required by particular species
 - * Shrubs - Use tree fertilizer as required by particular species
 - * Ground Cover, Vines & Herbaceous Plants - Use tree fertilizer as required by species.
- C. TOPSOIL**
- If used, top soil shall be sandy loam and uniform in color and composition.
 - It shall be free of stones, roots, lumps, plants and other debris over 1 1/2".
 - It shall not contain toxic substances harmful to plant growth.
 - Top soil shall have a Ph range of 5.0 to 7.0 and the organic matter shall be a minimum content of 1.0%
- D. ORGANIC MATTER**
- Organic Matter used in back fill shall be peat or other material approved by the landscape architect or owner.
- E. PEAT MOSS**
- Type I - sphagnum peat moss - is finely divided with a Ph of 4.0 to 5.0.
- F. LEAF MOLD**
- This a composted leaf material to be used with the approval of landscape architect.
- G. COMPOST**
- To be organic matter composted and aged by accepted methods to be used only when specified or by approval of landscape architect.
- H. DOLOMITE LIME**
- This is agricultural grade limestone containing total carbonates of 85% with a minimum of 30% magnesium carbonates.
- I. FERTILIZER**
- Fertilizer shall be granular, packet or pellet with 35% to 85% of the total nitrogen in a slowly available form. To be applied by manufacturer's methods.
 - Fertilizer shall be a complete fertilizer with a minimum analysis as required by soil test and plant material.
- J. TRACE ELEMENTS**
- These slow release materials containing zinc (Zn), molybdenum (Mo), iron (Fe), copper (Cu), boron (B), and magnesium (Mn). To be applied as per manufacturers directions as deemed necessary by soil test.
- III. BACKFILLING A TREE PIT**
- Cut rope or wire on ball of tree and pull burlap back to the edge of the root ball. Remove all plastic wraps and twine. Roll burlap 1/3 of the way down the root ball.
 - Min soil amendments in the mixture either prior to filling pit or as pit is being filled.
 - Make sure plants remain straight during backfilling procedure.
 - Backfill sides of tree pit halfway with soil mixture and tamp as pit is being filled.
 - Finish backfilling sides of tree pit and tamp firmly.
 - NEVER COVER TOP OF TREE BALL WITH SOIL.** Top of root ball should be 1/4 the root ball height above the tree pit.
 - Form a 4" saucer above existing grade and around the outer rim of the tree pit.
 - Mulch top of root ball and saucer within 48 hours to a minimum depth of 2" and not exceed 3".
 - Water thoroughly the interior of the tree saucer until it is filled. **EVEN IF IT IS RAINING.** Provide enough water to ensure saturation of the root ball.
 - Prune out any dead, conflicting or broken branches.
 - In extremely hot weather, reduce foliage surface by pruning or stripping of foliage.
 - Remove all tags, labels, strings, etc. from the tree.

TREES BRACED BY STAKING

- Choose the correct size and number of stakes and size of hose and wire according to the Tree Support Detail and plant requirements. Staking shall be completed within 48 hours of planting the tree.
- Spacing stakes evenly and vertically on the outside of the tree ball drive firmly into the ground (stakes can be slightly angled away from the tree).
- NOTE:** Never drive a stake through the tree ball, as it will damage the tree's root system. Stakes to be 2/3 above ground, 1/3 below.
- Cut pieces of reinforced hose long enough to loop around the trunk of the tree.
- Place the hose around the trunk at the height required to provide optimum support. Then run the 1/2 gauge wire through the hose and pull both ends horizontally beyond the stake by 2'.
- Cut the wire to sufficient length and then twist the wire at the rubber hose to keep it in place.
- Run both ends of wire together around the stake twice and then twist wire back onto itself to secure it. Cut off excess wire and stake.
- The above procedures are to follow for each stake.
- STAKES**
 - Stakes shall be 2"x2" hardwood, reasonably free of knots to be long enough for 1/3rd to be driven into the soil, and 2/3rds above the soil surface.
- WIRE**
 - Wire shall be 12 or 14 gauge galvanized steel or acceptable equal, depending on the size of the tree.
- CABLE**
 - Cable shall be 1/4" or 3/16" galvanized steel, depending on size of tree.
- CLAMPS**
 - Clamps shall be galvanized or zinc and large enough to hold wires or wires used.
- HOSE**
 - Hose shall be corded rubber, uniform in color and either 3/4" to 1" in diameter, depending on the size of the tree.
- MULCH**
 - Material shall be double shredded composted hardwood bark, such as "silvabark" or approved equivalent.
 - Material shall be mulching grade, uniform in size and free of foreign or harmful matter.

INSPECTION

- Plants may be subject to inspection and approval by the owner or owners representative at the place of growth for conformity to specification requirements as to quality, size and variety. This will be at the owner's expense.
- Plants damaged in handling or transportation may be rejected by the owner or owner's representative.

PLANTING PROCEDURES FOR TREES

- I. PREPARING TREE PIT**
- The tree pit must be a minimum of 2 times the size of the root ball at the top.
 - The walls of tree pit shall be dug so that they are scarified.
 - The tree pit shall be deep enough to allow 1/3 of the root ball to be above the existing grade. Any loose soil at the bottom of the pit shall be tamped by hand or with the bucket of the backhoe.
 - Dig pit 6" deeper than depth required for root ball. Fill bottom of pit with 6" compacted soil mix adjusting depth to insure top of root ball is 1/4 above the surface of the soil.
- II. PLACING TREE IN THE PIT**
- Place the tree in the pit by lifting and carrying the tree by its ball (never lift by branches or trunk) and then lowering it into the pit. Contractor is responsible for providing any machinery necessary to lift and move plant material and to insure it is not dropped.
 - Set the tree straight and in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc.).
 - Any dropped material may be rejected by owner or representative. Any dropped material should be flagged with red flagging on its trunk and noted on a plan. Should plant die, it will be replaced by the contractor at no cost to the owner.

PLANTING PROCEDURES FOR SHRUBS

- I. PREPARING SHRUB PIT**
- For a single shrub, the pit shall be dug large enough for the proper setting of the root ball (4" wider than root ball at base, 2 to 3 times the width of the root ball at the top).
 - For a shrub mass planting, the entire bed area shall be retolled 3 to 4" deep. Each shrub pit shall be excavated for the proper setting of the root ball.
 - For a hedge, a trench shall be dug large enough for the proper setting of all of the plants root balls (the trench shall be 2 times wider than the root balls).
 - Form a compacted base in the bottom of the hole to adjust plant height to proper location. Compact sufficiently to prevent settling.
- II. PLANTING SINGLE SHRUBS AND BACKFILLING PIT**
- Remove all plastic wraps, twine, containers, etc.
 - Place the plant in the pit by lifting and carrying in by the root ball.
 - Set the plant straight and in the center of the pit with the most desirable side facing toward the prominent view.
 - Use a soil mixture as specified.
 - Make sure the plant remains straight during backfilling procedure.
 - Backfill side of the pit halfway with soil mixture and tamp as the pit is being filled.
- G.** Pull the burlap back 1/3 the way down the root ball. Make sure burlap does not become exposed above soil surface.
- H.** Finish backfilling the sides of the shrub pit and tamp firmly.
- I.** Form a saucer above the existing grade and around the planting pit.
- J.** Mulch top of root ball and saucer a minimum of 2" depth and not to exceed 3" in depth.
- K.** Water thoroughly, the interior of the shrub saucer to insure root ball is saturated. **EVEN IF IT IS RAINING.**
- L.** Prune out any dead, conflicting or broken branches.
- M.** Remove all tags, labels, strings, etc. from the plant.

PLANTING A SHRUB MASS

- Follow the same procedure as for a single shrub. (Section II A-M)
- Edge and rake the entire planting bed to obtain uniform surface.
- Mulch the entire planting bed a minimum of 2" depth and not to exceed 3" depth.
- Water the entire planting bed thoroughly. **EVEN IF IT IS RAINING.** To saturate top 2" of soil.
- Prune out any dead, conflicting or broken branches.
- Remove all tags, labels, strings.

PLANTING PROCEDURES FOR GROUND COVER

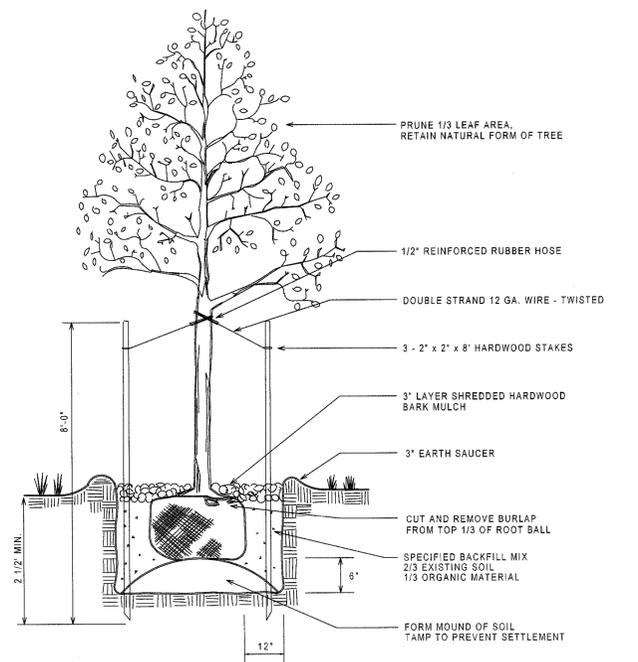
- I. PREPARING GROUND COVER BED**
- A. PREPARING GROUND COVER BED**
- The ground cover bed shall be loosened prior to planting by one of the following methods: hand trowel, shovel, bulb planter or hoe.
 - Soil in the bed shall be amended with a minimum of 1" depth of topsoil (1" deep) or other soil amendment as specified in the specifications.
 - Water the entire ground cover bed to insure uniform moisture throughout the bed.
 - Water the entire ground cover bed to insure uniform moisture throughout the bed.
- II. PLANTING GROUND COVER**
- The ground cover planting holes shall be dug through the mulch with one of the following: hand trowel, shovel, bulb planter or hoe.
 - Before planting, biodegradable pots shall be crushed and the top edges broken down below the surface. Non-biodegradable pots shall be removed. Unwrap any bound roots, do not break root ball.
 - The ground cover (either potted or bare root) shall be planted:
 - So that the roots of the plant are surrounded by soil below the mulch: potted plants being set so that the top of the soil in the pot is even with the existing grade, and bare root plants being covered up to the crown of the plant or soil level.
 - At an equal distance apart (plants and specifications specify the "on center" (o.c.) distance for the ground cover). See spacing guide.
 - The entire ground cover bed shall be edged and thoroughly watered.

SEEDING

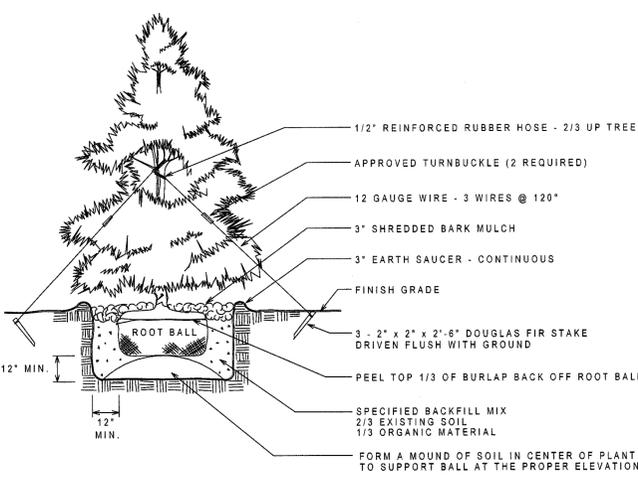
- I. TEMPORARY SEEDING**
- Vegetation - Annual Rye grass or Japanese Millet shall be used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetation cover, permanent seeding is required.
 - Seed Mixtures - Temporary Seeding
 - Preferred: Annual Rye - Winter, 200-300 lbs./acre. (1/2 that amount for over seeding) Japanese Millet - Summer, 250 lbs./acre. (These are preferred because existing and proposed native grasses and wildflowers may not compete well with certain grass species)
 - If seed mixtures used are other than those preferred they must be from table 26 of "Standards and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection. Temporary plant material must be removed prior to seeding of other material.
 - For sites having soil tests performed, the seeding and amendment rates shown in table 26 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for temporary seeding.
- II. PERMANENT SEEDING**
- Seeding grass and legumes to establish ground cover for a minimum period of one year on all disturbed areas generally receiving low maintenance.
- Seed mixtures:**
- Seed mixtures not from table 26 of "Standard and Specifications for Soil Erosion and Sediment Control" by the Maryland Department of Environmental Protection, must be similar or approved by landscape architect. Additional planting specifications for exceptional sites such as shore lines, stream banks or dunes, or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting.
 - For sites having disturbed areas over 5 acres, the rates shown in table 26 of "Standards and Specifications for Soil Erosion and Sediment Control" shall be deleted and the rates recommended by the soil testing agency shall be written in.
 - For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 lbs/1000 sq. ft. (150 lbs./acre). The above recommended soil amendments and hose stated in the soil test to be performed at the time of seeding, or as recommended by state agency and manufacturers products.
 - Do not fertilize area to be seeded around storm water management facilities.
 - Contractor to provide a final product of grass crop creating a lawn of uniform color and texture after three mowings.

SOIL TESTING

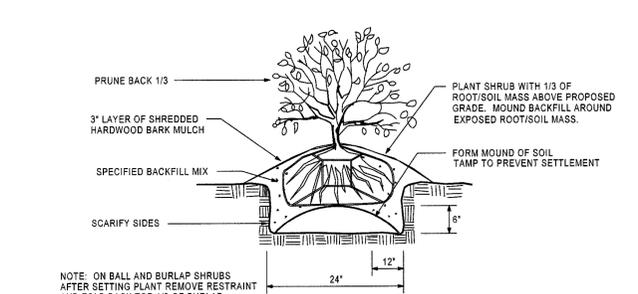
- Contractor to perform soil test as per accepted methods by the local agricultural extension service.
- Samples to be tested by reputable lab.
- Contractor will be held responsible for notifying owner of any problems or deficits determined by the test results.
- Corrections will be discussed and cost negotiated with owner.
- Plant failure based on soil deficits or problems due to failure of contractor to take samples, will be replaced at the cost of the contractor after corrections have been made.



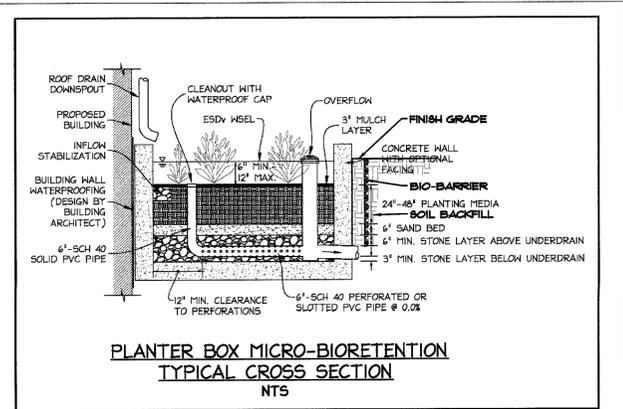
TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL - EVERGREEN TREE
NOT TO SCALE

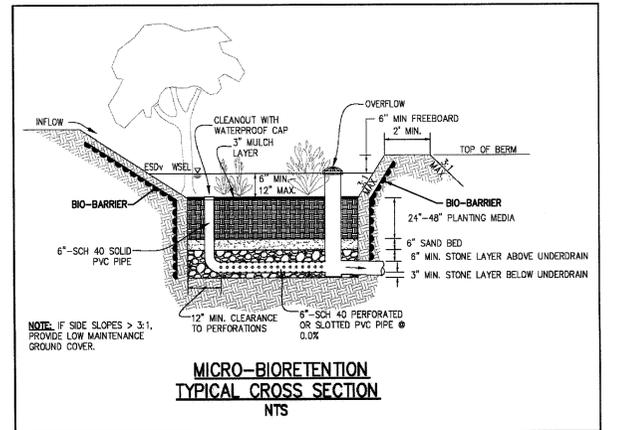


BALL AND BURLAP SHRUB PLANTING DETAIL
NOT TO SCALE



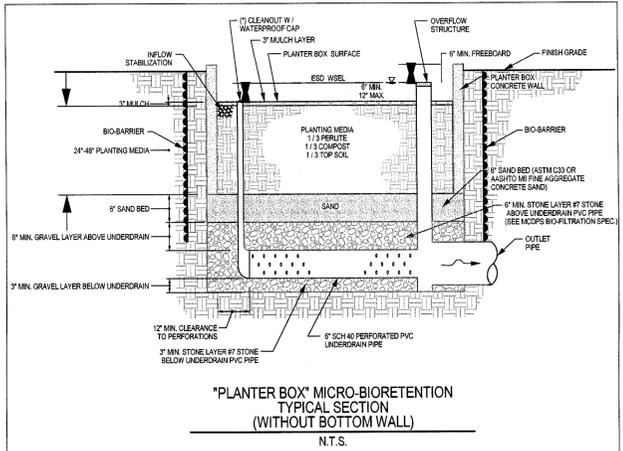
PLANTER BOX MICRO-BIORETENTION TYPICAL CROSS SECTION NTS

LOT 4: ESD# 1, 2, 3, 4, 5, 7, 9, 10, 11, 12 & 13
LOT 8: ESD# 2, 6, 8, 14, 16, 20, 22, 30



MICRO-BIORETENTION TYPICAL CROSS SECTION NTS

LOT 4: ESD# 6, 8
LOT 8: ESD# 15



\"/>

LOT 8: ESD# 1, 7, & 21
INTERIOR ROAD: ESD# 1, 2 & 3

BIO-BARRIER DETAILS

BIO-BARRIER TO BE INSTALLED AT ALL LOCATIONS NEXT TO STORM DRAIN. SEE MANUFACTURER SPECIFICATION AS TO DEPTH AND DISTANCE REQUIREMENTS. BIO-BARRIER DETAILS SHOWN ARE FOR ILLUSTRATIVE PURPOSE ONLY. SEE MANUFACTURER SPECIFICATION FOR CONSTRUCTION PURPOSE.

CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL

BY RESOLUTION _____ WITH _____ () CONDITIONS.

DATE _____ BY _____

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL.

PRELIMINARY LANDSCAPE NOTES & DETAILS

WASHINGTONIAN NORTH
LOTS 4, 7, 8, & OUTLOT C, D
WASHINGTONIAN CENTER

PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK 'D', 'WASHINGTONIAN CENTER', PLAT # 21856
CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

SOLTESZ

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Lanham
Wadon
Leesburg
Frederick

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067 www.soltesz.com

NO.	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	REVISIONS	AZ	DATE
1.	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION		AZ	FEB 20, 2014
DATE:	JANUARY 2013	CAD STANDARDS VERSION:	VER. 2000	
DESIGNED:	JDC	TECHNICIAN:	CDA	CHECKED:
				AQ

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SPECIFIED IN THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

APPLICANT

WASHINGTONIAN NORTH ASSOCIATES, LLC
C/O BOSTON PROPERTIES
2200 PENNSYLVANIA AVENUE, NW
SUITE 200W
WASHINGTON, DC 20037
202.585.0847
JAKE STROMAN

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REGISTERED USE NUMBER 210109

MAP	S183	GRID	GH182
TAX MAP	FS342 & 343	MOID	
WEEK NO. SHEET	221W10	XXXX	
	222W10		
SITE DATUM		XXXX	
HORIZONTAL	NAD 83		
VERTICAL	NAD 83		



1" = 10' NTS

L-4.0

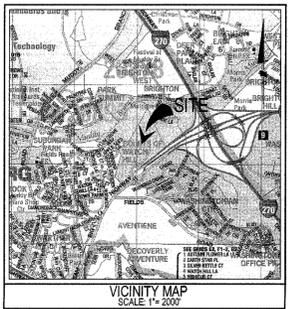
PROJECT NO.
1184-00-01

DATE: 2/19/2014 10:54:34 AM

WASHINGTONIAN NORTH

PRELIMINARY FOREST CONSERVATION PLAN

GAITHERSBURG (9th.) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND



DEVELOPER
WASHINGTONIAN NORTH ASSOCIATES, LLC
BOSTON PROPERTIES
2200 Pennsylvania Avenue, NW, Suite 200W
Washington, DC 20037
Attn: Jake Stroman
202.585.0847, 202.585.0888 Fax

DEVELOPER
LTF REAL ESTATE COMPANY, INC.
2902 Corporate Place
Chanhassen, MN 55317
Attn: Aaron Koehler, Development Manager

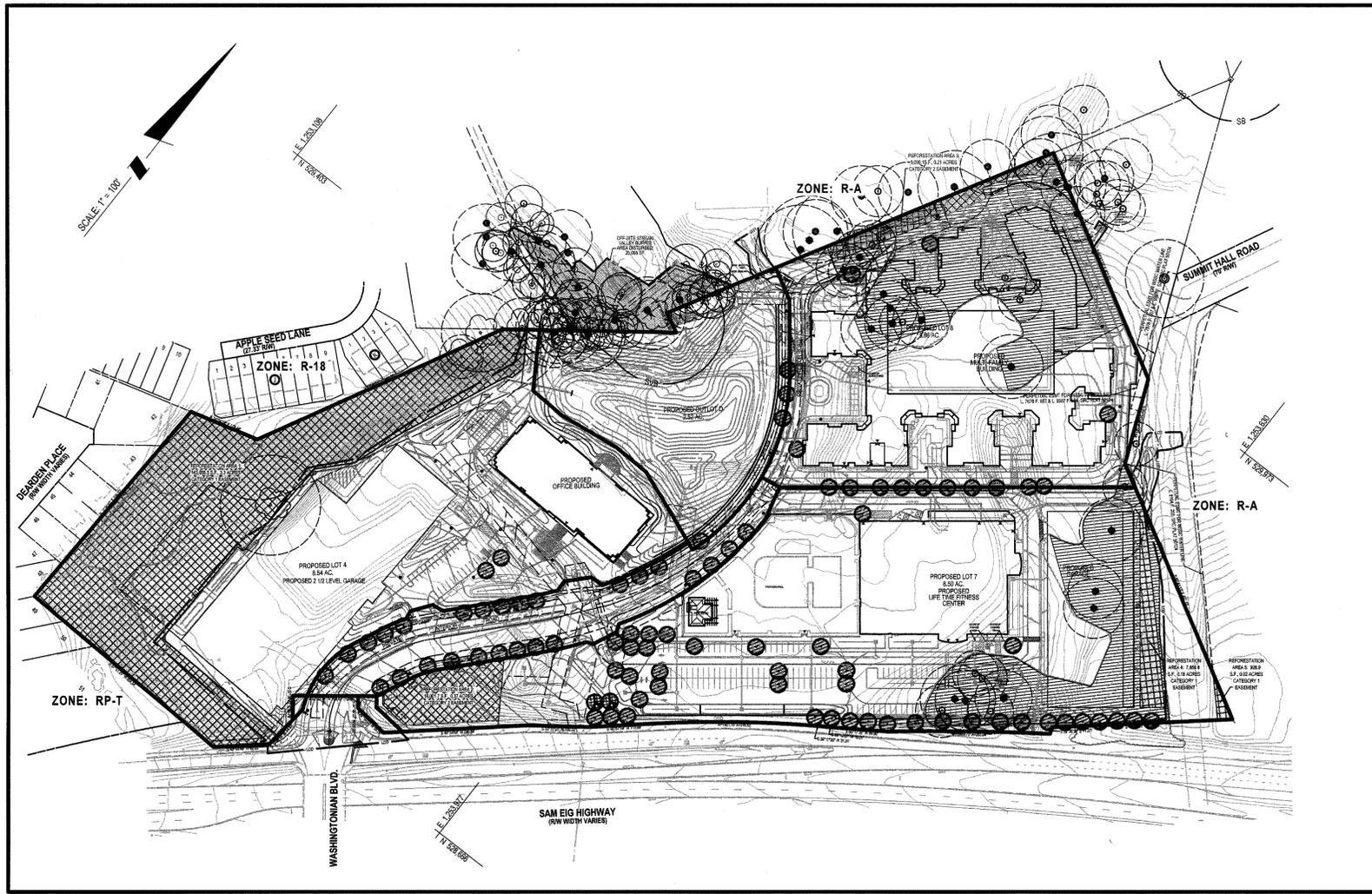
DEVELOPER
CAMDEN USA, INC.
1420 Spring Hill Road, Suite 200
McLean, Va 22102
Attn: Jay K. Johnson
703.556.5766, 703.556.0988 Fax

ATTORNEY
LINOWES & BLOCHER, LLP
7200 Wisconsin Avenue
Bethesda, MD 20814
Attn: Scott C. Wallace
301.654.0504, 301.654.2801 Fax

ARCHITECT
KTGY GROUP, INC
Architecture + Planning
8605 Westwood Center Drive, Suite 300
Tysons Corner, VA 22182
703.992.6116, 703.992.6428 Fax

CIVIL ENGINEER
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2 Research Place Suite 100
Rockville, Maryland 20850
301.948.2750, 301.948.9067 Fax

CIVIL ENGINEER
URBAN LIMITED
4200D Technology Ct.
Chantilly, Virginia 20151
703.642.2306, 703.378.7888 Fax



SHEET INDEX

- FCP-1.0 PRELIMINARY FOREST CONSERVATION COVER SHEET
- FCP-1.1 PRELIMINARY FOREST CONSERVATION PLAN
- FCP-1.2 PRELIMINARY FOREST CONSERVATION PLAN
- FCP-1.3 PRELIMINARY FOREST CONSERVATION PLAN
- FCP-1.4 PRELIMINARY FOREST CONSERVATION NOTES AND DETAILS

GENERAL NOTES

1. THIS PLAN IS AN AMENDMENT TO SDP-W5(A) PREVIOUSLY APPROVED ON JULY 11, 2001.
2. TOPO BY LOIEDERMAN SOLTESZ ASSOCIATES (MAY 2012) 2' CONTOUR INTERVAL.
3. THE SITE IS IDENTIFIED AS PROPOSED LOT 4, 7 & 8, OUT LOT C & D, BLOCK D, WASHINGTONIAN CENTER, GAITHERSBURG, MARYLAND.
4. ZONED: MXD - MIXED USE DEVELOPMENT.
5. THE SITE IS IN THE MUDDY BRANCH WATERSHED, TRIBUTARY 5.
6. THE PROJECT WILL BE DEVELOPED IN FOUR PHASES. THE FIRST PHASE OF THE PROJECT (OUTLOT D & PRIVATE ROAD) INCLUDES CONSTRUCTION OF THE PROJECT-WIDE INFRASTRUCTURE ELEMENTS, INCLUDING THE SITE ACCESS ROAD, THE CENTRAL STORMWATER MANAGEMENT POND, AND SITE GRADING (THE 'INFRASTRUCTURE PHASE'-PHASE 1-A & PHASE 1-B). THE SECOND PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE MULTI-FAMILY RESIDENTIAL BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE THIRD PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE HEALTH CLUB BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE FOURTH PHASE OF THE PROJECT INCLUDES THE CONSTRUCTION OF THE OFFICE BUILDING AND ASSOCIATED INFRASTRUCTURE AND AMENITIES. THE INFRASTRUCTURE PHASE WILL BE INITIATED PRIOR TO THE INITIATION OF ANY OTHER PHASE OF THE PROJECT. THEREAFTER, THE PHASES MAY PROCEED IN ANY ORDER, OR SIMULTANEOUSLY.

LEGEND

- PROPOSED REFORESTATION AREA
- PROPOSED TREE CLEARING AREA
- PROPOSED STREET TREE PLANTING FOR REFORESTATION
- PROPOSED PLANTING FOR AFFORESTATION
- EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
- LIMIT OF DISTURBANCE
- SPECIMEN TREES TO BE REMOVED

Joint Meeting - MCC & PC
SDP-3878-2013
Exhibit #81

PRELIMINARY FOREST CONSERVATION PLAN COVER		
WASHINGTONIAN NORTH LOTS 4, 7, 8, & OUTLOT C, D WASHINGTONIAN CENTER		FCP-1.0
PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTONIAN CENTER', PLAT # 21856 CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND		PROJECT NO. 1184-00-01

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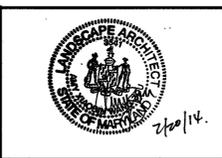
ROCKVILLE OFFICE
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P. 301.948.2750 F. 301.948.9067
www.solteszco.com

NO.	REVISIONS	BY	DATE
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	AZ	FEB. 28, 2014
DATE:	JANUARY 2013	CAD STANDARDS VERSION:	V8 - 2009
DESIGNED:	JDC	TECHNOLOGICAL:	CDA
CHECKED:	AQ		

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TABLE (20 INCHES, WHICHEVER IS LESS), CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

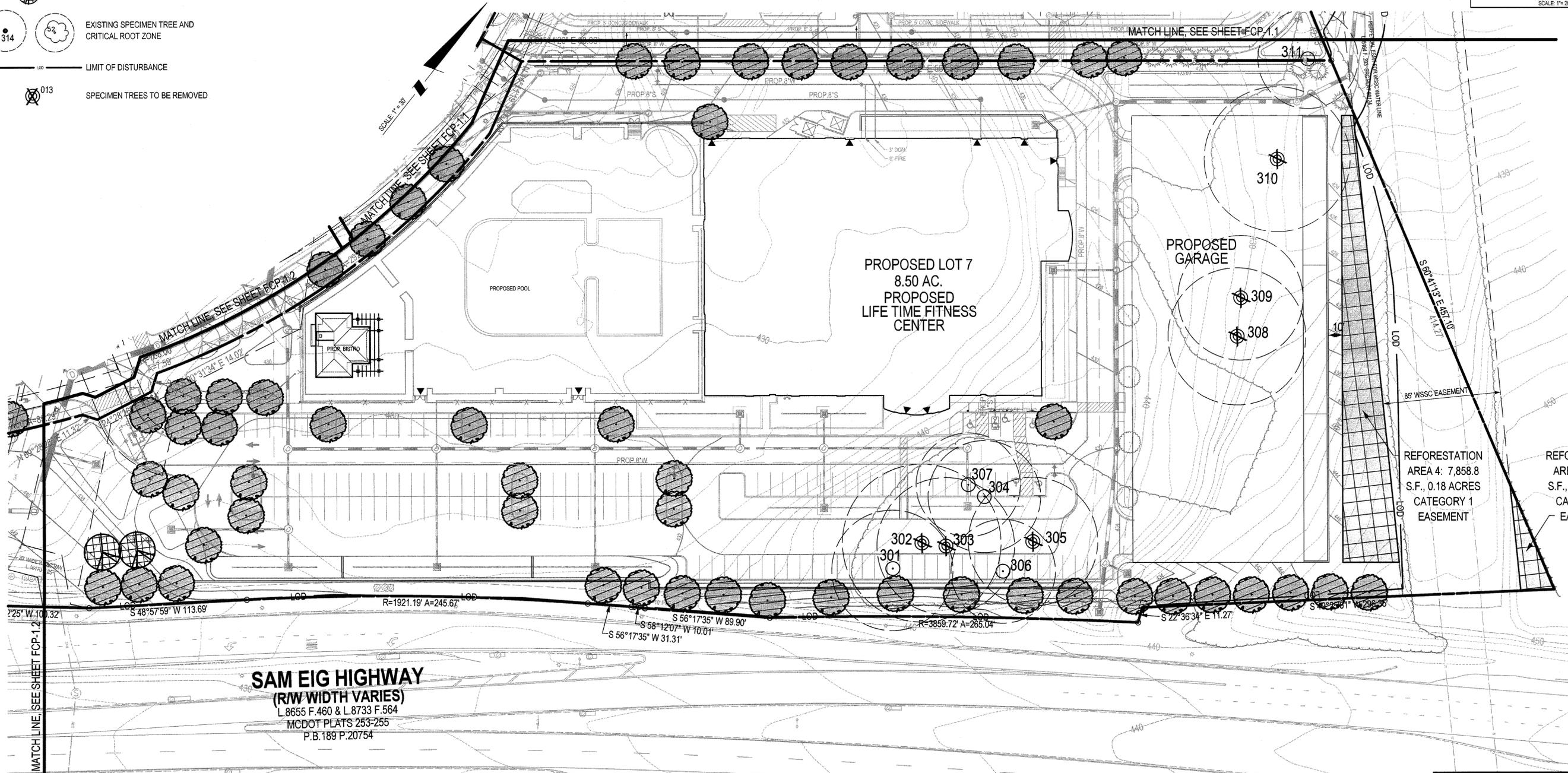
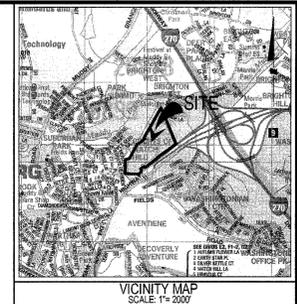
APPLICANT
WASHINGTONIAN NORTH ASSOCIATES, LLC
C/O BOSTON PROPERTIES
2200 PENNSYLVANIA AVENUE, NW
SUITE 200W
WASHINGTON, DC 20037
202.585.0847
JAKE STROMAN

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MAP: 5183	GRID: G.H.1&2
TAX MAP: FS342 & 343	ZONING CATEGORY: MXD
MSDC 2007 SHEET: 221NW 10 222NW 10	XXXX
SITE DATUM: HORIZONTAL: NAD 83 VERTICAL: NAD 83	XXXX



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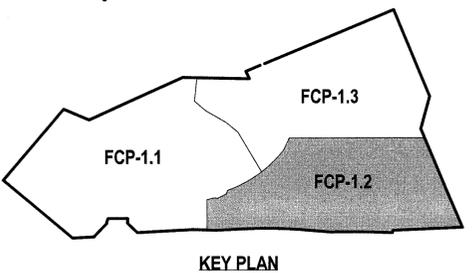
- LEGEND**
-  PROPOSED REFORESTATION AREA
 -  PROPOSED TREE CLEARING AREA
 -  PROPOSED STREET TREE PLANTING FOR REFORESTATION
 -  PROPOSED PLANTING FOR AFFORESTATION
 -  EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
 -  314
 -  52
 -  LIMIT OF DISTURBANCE
 -  013 SPECIMEN TREES TO BE REMOVED



SAM EIG HIGHWAY
 (R/W WIDTH VARIES)
 L.8655 F.460 & L.8733 F.564
 MCDOT PLATS 253-255
 P.B.189 P.20754

REFORESTATION AREA 4: 7,858.8 S.F., 0.18 ACRES CATEGORY 1 EASEMENT

REFORESTATION AREA 5: 928.9 S.F., 0.02 ACRES CATEGORY 1 EASEMENT



CITY OF GAITHERSBURG MAYOR & COUNCIL
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION _____ WITH _____ () CONDITIONS.

DATE _____ BY _____

NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL

PRELIMINARY FOREST CONSERVATION PLAN -- LOT 7

WASHINGTONIAN NORTH
 LOTS 4, 7, 8, & OUTLOT C, D
 WASHINGTONIAN CENTER

PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTONIAN CENTER', PLAT # 21856
 CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

FCP-1.2

PROJECT NO.
1184-00-01

SOLTESZ

Rockville
Lanham
Waldorf
Leonardtown
Frederick

ROCKVILLE OFFICE
 2 Research Place, Suite 100
 Rockville, MD 20850
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 www.soltesz.com

NO.	DESCRIPTION	DATE	BY	CHECKED
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	JANUARY 2013	JDC	AO

MISS UTILITY NOTE

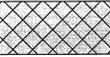
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST OBTAIN THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF CONSTRUCTION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF CONSTRUCTION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

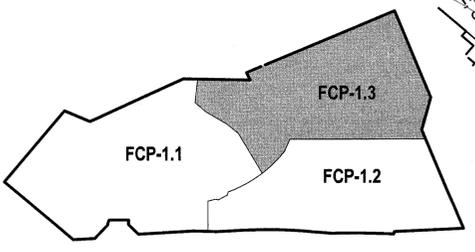
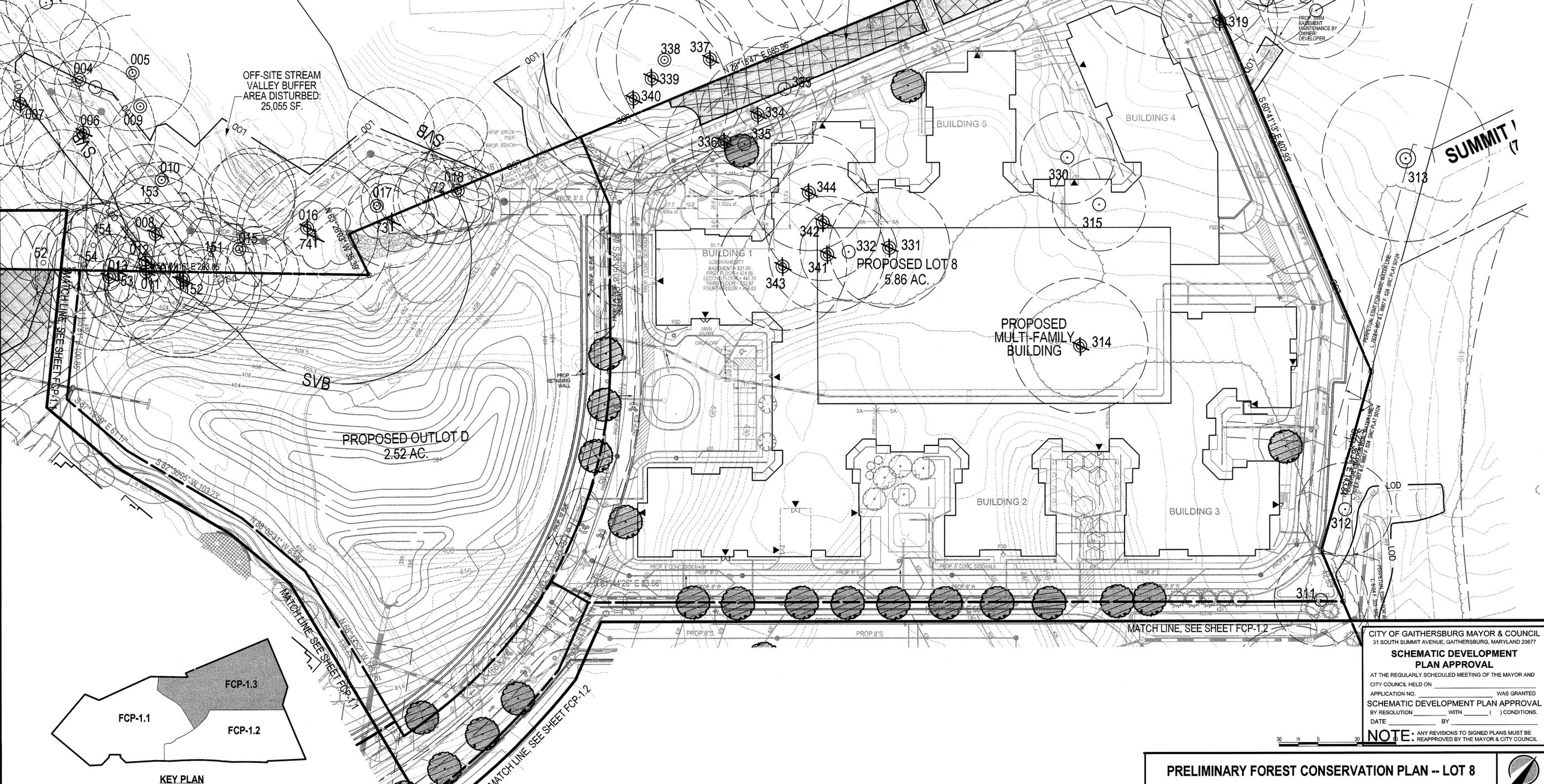
APPLICANT

WASHINGTONIAN NORTH ASSOCIATES, LLC
 CIO BOSTON PROPERTIES
 2200 PENNSYLVANIA AVENUE, NW
 SUITE 200W
 WASHINGTON, DC 20037
 202.585.9847
 JAKE STROMAN

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TAX MAP FS342 & 343	ZONING CATEGORY MWD
MSDC 200' SHEET 221NW 10 222NW 10	XXXX
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: MGD 83	XXXX



- LEGEND**
-  PROPOSED REFORESTATION AREA
 -  PROPOSED TREE CLEARING AREA
 -  PROPOSED STREET TREE PLANTING FOR REFORESTATION
 -  PROPOSED PLANTING FOR AFFORESTATION
 -  EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
 -  EXISTING SPECIMEN TREE AND CRITICAL ROOT ZONE
 -  LIMIT OF DISTURBANCE
 -  SPECIMEN TREES TO BE REMOVED



CITY OF GAITHERSBURG MAYOR & COUNCIL
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SCHEMATIC DEVELOPMENT PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE MAYOR AND CITY COUNCIL HELD ON _____

APPLICATION NO. _____ WAS GRANTED

SCHEMATIC DEVELOPMENT PLAN APPROVAL BY RESOLUTION _____ WITH _____ () CONDITIONS.

DATE _____ BY _____

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE MAYOR & CITY COUNCIL

PRELIMINARY FOREST CONSERVATION PLAN -- LOT 8

SOLTESZ

Rockville
Latham
Waldorf
Leonardtown
Frederick

ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067

www.solteszco.com

NO.	REVISIONS	BY	DATE
1	SCHEMATIC DEVELOPMENT PLAN FINAL SUBMISSION	AZ	FEB. 20. 2014
2			
3			
4			
5			
6			
7			
8			
9			
10			

DATE: JANUARY 2013
DESIGNED: JDC
CAD STANDARDS VERSION: V8 - 2006
TECHNICIAN: CEA
CHECKED: AQ

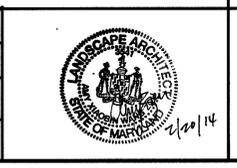
MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST OBTAIN THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-2777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

APPLICANT

WASHINGTONIAN NORTH ASSOCIATES, LLC
C/O BOSTON PROPERTIES
220 PENNSYLVANIA AVENUE, NW
SUITE 200W
WASHINGTON, DC 20037
202.585.0847
JAKE STROMAN

COPYRIGHT AND THE MAP PEOPLE PRINTED: USE NUMBER 2101009	MAP: 5163 GRID: G/H 182
TAX MAP: FS342 & 343	ZONING CATEGORY: MXD
WSSC 2007 SHEET: XXXX	221NW 10 222NW 10
SITE DATUM: XXXXX	
HORIZONTAL: NAD 83	
VERTICAL: NAD 83	



WASHINGTONIAN NORTH
LOTS 4, 7, 8, & OUTLOT C, D
WASHINGTONIAN CENTER

PREVIOUSLY LOTS 4 - 6, & OUTLOT 'B', BLOCK D, 'WASHINGTONIAN CENTER', PLAT # 21856
CITY OF GAITHERSBURG (9th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

FCP-1.3

PROJECT NO. 1184-00-01

Scale: 30,000 ft / 1 in. User: AZou PLT.dwg Date: 2/19/2014 10:38:31 AM

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH INCHES	CONDITION	CRITICAL ROOT ZONE (CRZ) (S.F.)	% CRITICAL ROOT ZONE (CRZ) AFFECTED (S.F.)	% CRITICAL ROOT ZONE (CRZ) REMAIN	SPECIMEN TREE VARIANCE REQUIRED	TREE MITIGATION REQUIRED	OFF-SITE	TREE PROTECTION METHOD
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	17.5"15.5"15.5"	GOOD	2,165	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	23"	GOOD	3,739	188	5%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	20"	GOOD	2,827	222	8%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
001	TULIP POPLAR	LIRIODENDRON TULIPIFERA	34"	POOR	8,171	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
002	TULIP POPLAR	LIRIODENDRON TULIPIFERA	36"	POOR	9,161	445	5%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
003	WHITE OAK	QUERCUS ALBA	28"	FAIR	5,542	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	RED MAPLE	ACER RUBRUM	16.5"	GOOD	1,924	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	20.5"	FAIR	2,971	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	RED MAPLE	ACER RUBRUM	21"	GOOD	3,117	427	14%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	WHITE OAK	QUERCUS ALBA	13"	GOOD	1,965	0	0%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
004	TULIP POPLAR	LIRIODENDRON TULIPIFERA	27.5"	GOOD	5,346	2,698	50%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	21"	GOOD	3,117	1,547	50%	REMOVE	YES	YES	
005	WHITE OAK	QUERCUS ALBA	30"	GOOD	2,971	168	6%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
006	WHITE OAK	QUERCUS ALBA	37.5"	GOOD	9,940	9,940	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	18"18"	FAIR	2,290	1,502	66%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	14.5"	FAIR	1,488	139	9%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
007	WHITE OAK	QUERCUS ALBA	32"	FAIR	7,238	2,267	31%	REMOVE	YES	YES	
NO TAG	AMERICAN HORSEBEAM	CARPINUS CAROLINIANA	14"	GOOD	1,385	260	19%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	21"	GOOD	3,117	986	32%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	15"	GOOD	1,590	92	6%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
008	WHITE OAK	QUERCUS ALBA	30"	FAIR	6,362	6,362	100%	REMOVE	YES	YES	
009	BLACK GUM	NYSSA SYLVATICA	26.5"	FAIR	2,971	892	30%	REMOVE	YES	YES	
NO TAG	WHITE OAK	QUERCUS ALBA	23.5"	GOOD	3,904	2,680	69%	REMOVE	YES	YES	
010	WHITE OAK	QUERCUS ALBA	28"	FAIR	5,542	5,542	100%	REMOVE	YES	YES	
011	WHITE OAK	QUERCUS ALBA	35"	GOOD	8,659	8,659	100%	REMOVE	YES	YES	
012	WHITE OAK	QUERCUS ALBA	30.5"	GOOD	6,576	6,576	100%	REMOVE	YES	YES	
013	TULIP POPLAR	LIRIODENDRON TULIPIFERA	38"	FAIR	10,207	10,207	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	18"	FAIR	2,290	1,950	85%	REMOVE			
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	12"	GOOD	1,018	944	93%	REMOVE			
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	17"	GOOD	2,043	1,439	70%	REMOVE			
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	19"	FAIR	2,552	2,456	96%	REMOVE			
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	29"19"23"	FAIR	5,844	5,401	91%	REMOVE	YES	YES	
014	TULIP POPLAR	LIRIODENDRON TULIPIFERA	40.5"	FAIR	11,594	11,594	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	17"	GOOD	2,043	2,043	100%	REMOVE			
015	BLACK WALNUT	JUGLANS NIGRA	28.5"	POOR	5,741	5,741	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	23.5"	FAIR	3,904	3,904	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	22"	FAIR	3,421	3,421	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	15.5"	GOOD	1,698	1,698	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	17"	FAIR	2,043	2,043	100%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	19"	FAIR	2,552	2,552	100%	REMOVE	YES	YES	
016	AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	36.5"	FAIR	9,417	9,417	100%	REMOVE	YES	YES	
NO TAG	RED MAPLE	ACER RUBRUM	17.5"	GOOD	2,165	2,165	100%	REMOVE	YES	YES	
017	AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	27"	GOOD	5,153	5,153	100%	REMOVE	YES	YES	
NO TAG	RED MAPLE	ACER RUBRUM	14"21.5"	FAIR	3,267	3,267	100%	REMOVE	YES	YES	
NO TAG	RED MAPLE	ACER RUBRUM	22"	GOOD	3,421	3,421	100%	REMOVE			
018	TULIP POPLAR	LIRIODENDRON TULIPIFERA	28"	FAIR	5,542	5,542	100%	REMOVE	YES	YES	
NO TAG	RED MAPLE	ACER RUBRUM	13"	GOOD	1,195	847	71%	REMOVE	YES	YES	
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	22.5"	GOOD	3,578	1,492	42%	REMOVE	YES	YES	
NO TAG	RIVER BIRCH	BETULA NIGRA	16.5"13.5"	GOOD	1,924	39	2%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	TULIP POPLAR	LIRIODENDRON TULIPIFERA	16.5"	GOOD	1,924	1,924	100%	REMOVE			
NO TAG	RED MAPLE	ACER RUBRUM	13.5"	GOOD	1,288	309	24%	REMAIN		YES	TREE PROTECTION METHOD AS REQUIRED BY FINAL GRADING.*
NO TAG	BLACK WALNUT	JUGLANS NIGRA	13"	GOOD	1,195	820	69%	REMOVE	YES	YES	

NOTE: WINTER TREE IDENTIFICATION
*TREE PROTECTION METHODS INCLUDE BUT NOT LIMITED TO: ROOT PRUNING, CROWN REDUCTION, WATER AND FERTILIZER AS NEEDED, TREE PROTECTION FENCE.

SPECIMEN TREE IMPACT LIST

TAG #	Common Name	Botanical Name	DBH In inches	Condition	Critical Root Zone (CRZ) (S.F.)	Critical Root Zone (CRZ) Affected (S.F.)	% Critical Root Zone (CRZ) Affected	Remain / Remove	Variance Required	Tree Mitigation required	Off-site	Tree Protection Method
50	American Sycamore	Platanus occidentalis	55	Fair	21,382	9,052	42%	Remain	Yes			Tree protection method as required by final grading.*
51	White Oak	Quercus alba	43	Good	13,070	0	0%	Remain				
52	White Oak	Quercus alba	31	Fair	6,793	573	8%	Remain	Yes			Tree protection method as required by final grading.*
53	Tulip Poplar	Liriodendron tulipifera	36	Fair	9,161	3,002	33%	Remain	Yes			Tree protection method as required by final grading.*
54	White Oak	Quercus alba	28	Good	5,542	1,048	19%	Remain				Tree protection method as required by final grading.*
72	Green Ash	Fraxinus pennsylvanica	25	Good	4,418	2,472	56%	Remove				
73	American Sycamore	Platanus occidentalis	24	Poor	4,072	1,807	44%	Remove				
74	American Sycamore	Platanus occidentalis	38	Poor	10,207	10,207	100%	Remove	Yes	Yes	Yes	
151	Green Ash	Fraxinus pennsylvanica	29	Fair	5,945	5,945	100%	Remove		Yes	Yes	Tree protection method as required by final grading.*
152	Tulip Poplar	Liriodendron tulipifera	38	Fair	10,207	4,200	41%	Remove	Yes	Yes	Yes	
153	White Oak	Quercus alba	29	Good	5,945	5,945	100%	Remove				
154	Tulip Poplar	Liriodendron tulipifera	24	Good	4,072	201	5%	Remain				Tree protection method as required by final grading.*
155	Tulip Poplar	Liriodendron tulipifera	24	Fair	4,072	0	0%	Remain				
301	Black Oak	Quercus nigra	29	Good	5,945	5,554	93%	Remove				
302	Black Oak	Quercus nigra	38	Broken scaffold	10,207	10,109	99%	Remove	Yes			
303	Black Oak	Quercus nigra	33	Broken leader, Broken scaffold	7,698	7,698	100%	Remove	Yes			
304	Black Oak	Quercus nigra	27	Broken leader, Broken scaffold	5,153	5,153	100%	Remove				
305	Red Oak	Quercus rubra	31	Good	6,793	6,793	100%	Remove	Yes			
306	Pignut Hickory	Carya glabra	25	Bare crown	4,418	4,358	99%	Remove				
307	Black Oak	Quercus nigra	25	Good	4,418	4,418	100%	Remove	Yes			
308	Red Maple	Acer rubrum	33	Good	7,698	7,698	100%	Remove	Yes			
309	Pignut Hickory	Carya glabra	30	Good	6,362	6,362	100%	Remove	Yes			
310	White Oak	Quercus alba	35	Good	8,659	8,659	100%	Remove	Yes			
311	Tulip Poplar	Liriodendron tulipifera	24	Good	4,072	3,572	88%	Remove				
312	Pignut Hickory	Carya glabra	24	Good	4,072	2,690	66%	Remove		Yes	Yes	
313	Tulip Poplar	Liriodendron tulipifera	43	*win splits @ 5.5"	13,070	0	0%	Remain			Yes	
314	Pin Oak	Quercus palustris	35	Good	8,659	8,659	100%	Remove	Yes			
315	White Pine	Pinus strobus	24	Good	4,072	4,072	100%	Remove				
316	Tulip Poplar	Liriodendron tulipifera	54	Good	20,512	11,227	54%	Remove	Yes			
317	Tulip Poplar	Liriodendron tulipifera	27	Good	5,542	3,222	58%	Remove				
318	Tulip Poplar	Liriodendron tulipifera	30	Good	6,362	3,363	53%	Remove	Yes			
319	Tulip Poplar	Liriodendron tulipifera	30	Good	6,362	4,050	64%	Remove	Yes			
320	Tulip Poplar	Liriodendron tulipifera	25	Good	4,418	0	0%	Remain			Yes	
321	Tulip Poplar	Liriodendron tulipifera	25	Good	4,418	0	0%	Remain			Yes	
322	Tulip Poplar	Liriodendron tulipifera	27	Good	5,153	0	0%	Remain			Yes	
323	Tulip Poplar	Liriodendron tulipifera	24	Good	4,072	0	0%	Remain			Yes	
324	Tulip Poplar	Liriodendron tulipifera	25	Good	4,418	0	0%	Remain			Yes	
325	Tulip Poplar	Liriodendron tulipifera	32	Good	7,238	0	0%	Remain			Yes	
326	White Oak	Quercus alba	40	Good	11,310	3,298	29%	Remain	Yes		Yes	Tree protection method as required by final grading.*
327	White Oak	Quercus alba	33	Good	7,698	461	6%	Remain	Yes		Yes	Tree protection method as required by final grading.*
328	White Oak	Quercus alba	27	Good	5,153	0	0%	Remain			Yes	
329	Tulip Poplar	Liriodendron tulipifera	29	Good	5,945	0	0%	Remain			Yes	
330	White Pine	Pinus strobus	24	Good	4,072	4,072	100%	Remove				
331	White Oak	Quercus alba	31	Good	6,793	6,793	100%	Remove	Yes			
332	Dawn Redwood	Metasequoia glyptroloboides	25	Good	4,418	4,418	100%	Remove	Yes			
333	White Pine	Pinus strobus	27	Good	5,153	5,015	97%	Remove				
334	White Pine	Pinus strobus	30	Good	6,362	6,362	100%	Remove	Yes			
335	White Pine	Pinus strobus	27	Good	5,153	5,153	100%	Remove	Yes			
336	White Pine	Pinus strobus	30	Good	6,362	6,362	100%	Remove	Yes			
337	White Oak	Quercus alba	48	Good	16,286	7,222	44%	Remove	Yes	Yes	Yes	Tree protection method as required by final grading.*
338	White Oak	Quercus alba	35	Good	8,659	2,397	28%	Remain	Yes	Yes	Yes	Tree protection method as required by final grading.*
339	White Oak	Quercus alba	49	Good	16,972	7,069	42%	Remove	Yes	Yes	Yes	
340	White Oak	Quercus alba	49	Good	16,972	8,202	48%	Remove	Yes			

BELOW-GROUND INSTALLATION OF THERMOPLASTIC PIPING

FIGURE 13

Table shown below gives the required loop length in feet and offset in inches for various temperature variations.

Snaking of thermoplastic pipe within trench to compensate for thermal expansion and contraction.

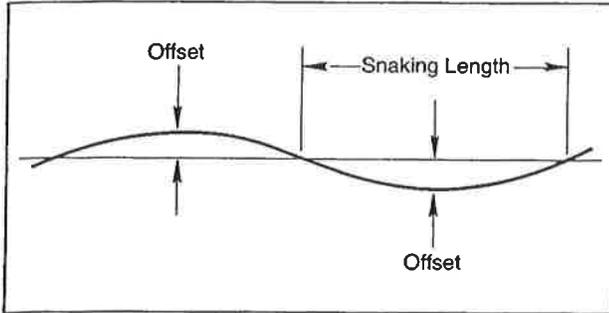


Table 67
SKAKING LENGTH VS. OFFSET (IN.) TO COMPENSATE FOR THERMAL CONTRACTION

SKAKING LENGTH (FT.)	MAXIMUM TEMPERATURE VARIATION (°F) BETWEEN TIME OF CEMENTING AND FINAL BACKFILLING									
	10°	20°	30°	40°	50°	60°	70°	80°	90°	100°
	LOOP OFFSET (IN.)									
20	2.5	3.5	4.5	5.20	5.75	6.25	6.75	7.25	7.75	8.00
50	6.5	9.0	11.0	12.75	14.25	15.50	17.00	18.00	19.25	20.25
100	13.0	18.0	22.0	26.00	29.00	31.50	35.00	37.00	40.00	42.00

DETERMINING SOIL LOADING FOR FLEXIBLE PLASTIC PIPE, SCHEDULE 80

Underground pipes are subjected to external loads caused by the weight of the backfill material and by loads applied at the surface of the fill. These can range from static to dynamic loads.

Static loads comprise the weight of the soil above the top of the pipe plus any additional material that might be stacked above ground. An important point is that the load on a flexible pipe will be less than on a rigid pipe buried in the same manner. This is because the flexible conduit transfers part of the load to the surrounding soil and not the reverse. Soil loads are minimal with narrow trenches until a pipe depth of 10 feet is attained.

Dynamic loads are loads due to moving vehicles such as trucks, trains and other heavy equipment. For shallow burial conditions live loads should be considered and added to static loads, but at depths greater than 10 feet, live loads have very little effect.

Soil load and pipe resistance for other thermoplastic piping products can be calculated using the following formula or using Tables 68 & 69.

$$Wc' = \frac{\Delta X(EI + .061 E'r^3)}{r^3} 80$$

- Wc' = Load Resistance of the Pipe, lb./ft.
- Δx = Deflection in Inches @ 5% (.05 x I.D.)
- E = Modulus of Elasticity
- t = Pipe Wall Thickness, in.
- r = Mean Radius of Pipe (O.D. - t)/2
- E' = Modulus of Passive Soil Resistance, psi
- H = Height of Fill Above Top of Pipe, ft.
- I = Moment of Inertia t³

12

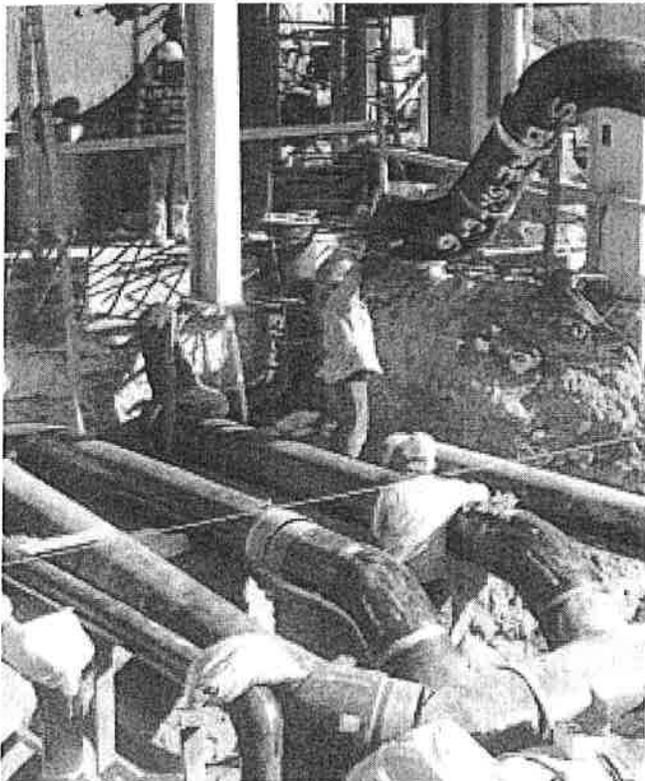


TABLE 68
LIVE LOAD FOR BURIED FLEXIBLE PIPE (LB./LIN.FT)

PIPE SIZE	H20 WHEEL LOADS FOR VARIOUS DEPTHS OF PIPE (LB./LIN.FT.)				
	2	4	6	8	10
2	309	82	38	18	16
3	442	118	56	32	21
4	574	154	72	42	27
6	837	224	106	61	40
8	1102	298	141	82	53
10	1361	371	176	101	66
12	1601	440	210	120	78

NOTE: H20 wheel load is 16,000 lb./wheel



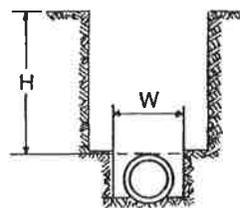
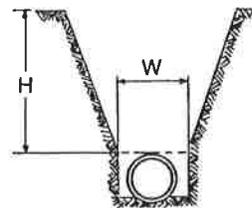
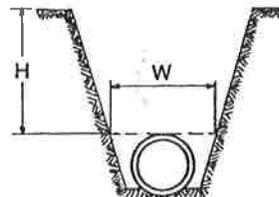
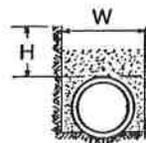
Joint Hearing - MCC & PC
SDP-3878-2013
Exhibit #83

BELOW-GROUND INSTALLATION OF THERMOPLASTIC PIPING

BELOW-GROUND INSTALLATION

TABLE 69
SOIL LOAD AND PIPE RESISTANCE FOR
FLEXIBLE THERMOPLASTIC PIPE
PVC Schedule 40 and 80 Pipe

NOM. SIZE (IN.)	Wc' = LOAD RESISTANCE OF PIPE (LB./FT.)				H (FT)	Wc = SOIL LOADS AT VARIOUS TRENCH WIDTHS AT TOP OF PIPE (LB./FT.)			
	SCHEDULE 40 PIPE		SCHEDULE 80 PIPE			2 FT	3 FT	4 FT	5 FT
	E'=200	E'=700	E'=200	E'=700					
1-1/2	1084	1282	2809	2993	10	106	125	136	152
					20	138	182	212	233
					30	144	207	254	314
					40	—	214	269	318
2	879	1130	2344	2581	10	132	156	170	190
					20	172	227	265	291
					30	180	259	317	392
					40	—	267	337	398
2-1/2	1344	1647	3218	3502	10	160	191	210	230
					20	204	273	321	352
					30	216	306	377	474
					40	—	323	408	482
3	1126	1500	2818	3173	10	196	231	252	280
					20	256	336	392	429
					30	266	266	384	469
					40	—	394	497	586
3-1/2	1021	1453	2591	3002	10	223	266	293	320
					20	284	380	446	490
					30	300	426	524	660
					40	—	450	568	670
4	969	1459	2456	2922	10	252	297	324	360
					20	328	432	540	551
					30	342	493	603	743
					40	—	506	639	754
5	896	1511	2272	2861	10	310	370	407	445
					20	395	529	621	681
					30	417	592	730	918
					40	—	625	790	932
6	880	1620	2469	3173	10	371	437	477	530
					20	484	636	742	812
					30	503	725	888	1093
					40	—	745	941	1110
8	911	1885	2360	3290	10	483	569	621	690
					20	630	828	966	1057
					30	656	945	1156	1423
					40	—	970	1225	1445
10	976	2198	2597	3764	10	602	710	774	860
					20	785	1032	1204	1317
					30	817	1177	1405	1774
					40	—	1209	1527	1801
12	1058	2515	2909	4298	10	714	942	919	1020
					20	931	1225	1429	1562
					30	969	1397	1709	2104
					40	—	1434	1811	2136



H = Height of fill above top of pipe, ft.
W = Trench width at top of pipe, ft.

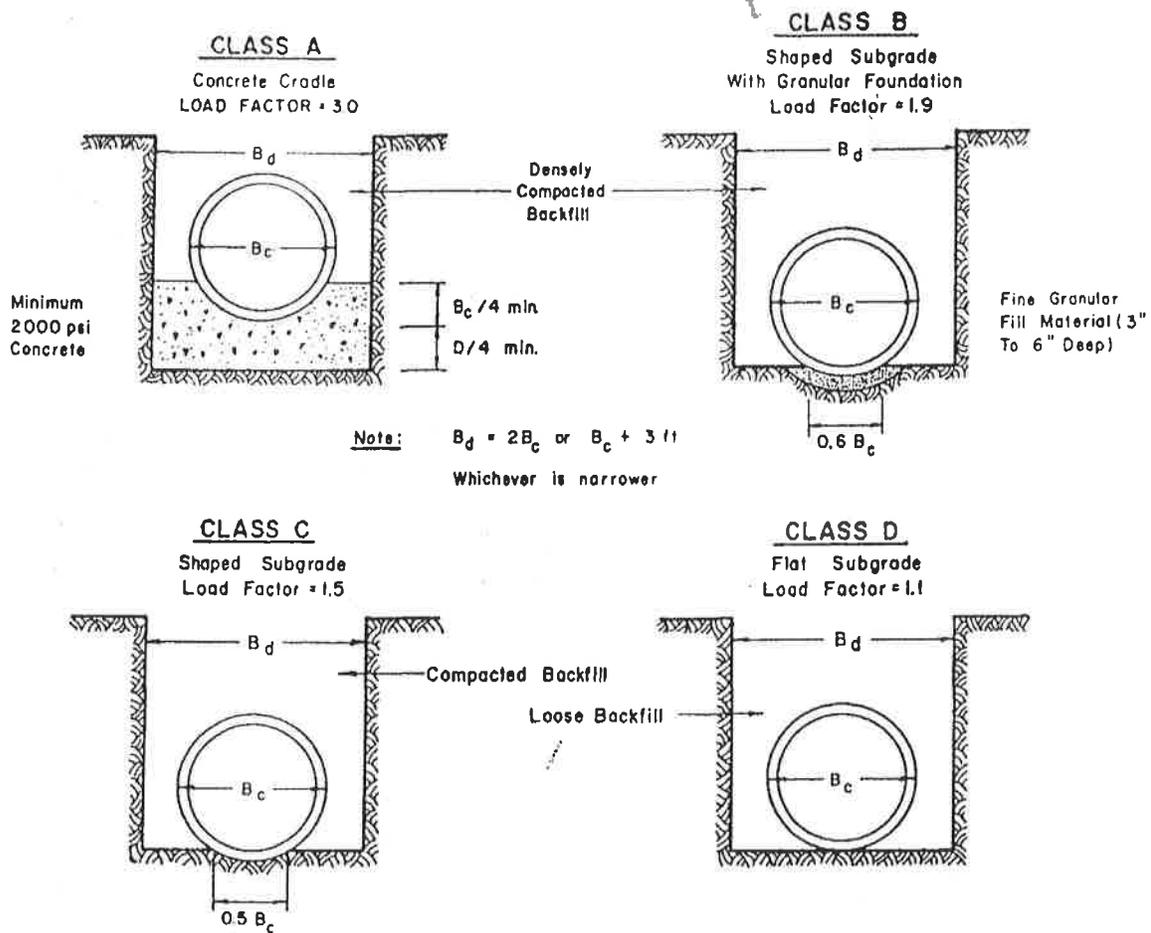
NOTE 1: Figures are calculated from minimum soil resistance values (E' = 200 psi for uncompacted sandy clay foam) and compacted soil (E' = 700 for side-fill that is compacted to 90% or more of Proctor Density for distance of two pipe diameters on each side of the pipe). If Wc' is less than Wc at a given trench depth and width, then soil compaction will be necessary.

NOTE 2: These are soil loads only and do not include live loads.

HEAVY TRAFFIC

When plastic pipe is installed beneath streets, railroads, or other surfaces that are subjected to heavy traffic and resulting shock and vibration, it should be run within a protective metal or concrete casing.

TRENCH BEDDING CONDITIONS





NO OPEN
PERMITTED ON
TENNIS COURT
THE SUPERVISOR
MAY REMOVE
OR DESTROY ANY
EVIDENCE ON THE
COURT.

THIS COURT IS CLOSED
DUSK TO DAWN.
TRESPASSERS WILL BE
PROSECUTED.
NO ALCOHOLIC BEVERAGES
ALLOWED.

NO
HOCKEY

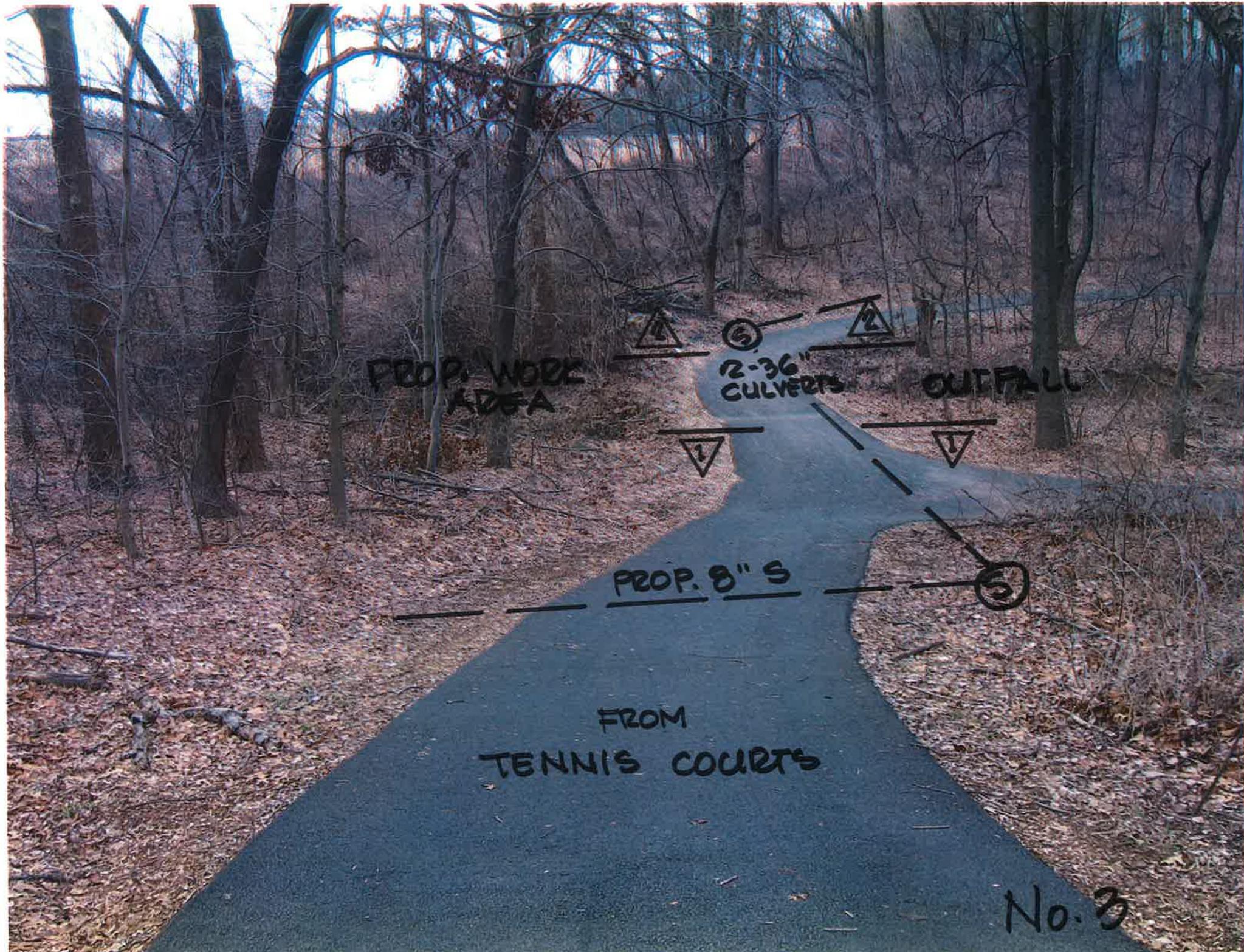
TENNIS PLAY ONLY
ALLOWED ON THESE
COURTS.
ANY OTHER ACTIVITY
IS PROHIBITED.

Joint Hearing - MCC & PC
SDP-3878-2013
Exhibit #84

No. 1



No. 2



PROP. WIDE
AREA



2-36"
CULVERTS

OUTFALL



PROP. 8" S



FROM
TENNIS COURTS

No. 3



→ AWAY FROM
TENNIS COURTS
WORK AREA

No. 4



TO
TENNIS
COURTS

5

PROP. WORK AREA

1

1

X-SECTION 1-1

No. 5



PROP. 3" S

5

PROP. 3" S

5

No. 6



PROP WORK
AREA

2 - 36" CULVERTS

OUTFALL

PROP. 8" S



No. 7



PROPOSED
SWIM
OUTLET
IN STREAM

No. 8



▲ PROP. OUTLINE ABOUT

No. 9



No. 10







From: [Ann Stanley](#)
To: [Trudy Schwarz](#)
Subject: SDP-3878-2013 Washingtonian North Schematic Development Plan
Date: Wednesday, March 05, 2014 4:59:09 PM

RE: SDP-3878-2013 Washingtonian North Schematic Development Plan

Dear Ms. Schwartz;

I am writing on behalf the Baltimore/Washington Brick Distributors Council and in reference to the schematic Development Plan for Washingtonian Center North presented at the joint City Council /Planning Commission Public Hearing on February 3, 2014.

Brick is recognized as an attractive, sustainable and durable building material that is low maintenance and cost-effective over the life of a building. For this reason, many communities across the country specify the use of brick in their design standards for multi-family housing. The intent of these standards is to reduce future maintenance cost shared by residents long after the developer is out of the picture.

In reference to the multi family dwelling units shown in the schematic plans, BIA encourages the city to specify *all brick* or a higher percentage of brick be used for all exterior walls in the final site plan recommendations. The current schematics show the ratio of brick at approximately 35% and as low as 25% for some elevations.

I would be happy to provide you with examples of multi-family design standards used by other communities. I look forward to working with you and hope the Brick Industry Association can be a resource in the development of design standards that will support the high quality development for which Gaithersburg is know.

Respectfully Yours,

Ann Stanley, aicp
annstanley.planning@gmail.com
301-346-9116
Washington, DC

Joint Hearing - MCC & PC
SDP-3878-2013
Exhibit #86



DEPARTMENT OF TRANSPORTATION

Isiah Leggett
County Executive

Arthur Holmes, Jr.
Director

March 5, 2014

Ms. Trudy M. W. Schwarz, CFM
Community Planning Chief
City of Gaithersburg
31 South Summit Avenue
Gaithersburg, Maryland 20877-2038

RE: Schematic Development Plan
No. SDP-3878-2013
Washingtonian North

Trudy
Dear Ms. Schwarz:

We have completed our review of the schematic development plan that was signed and sealed on November 4, 2013.

This letter is limited to the Sam Eig Highway site frontage and the limits of its truncation with the Washingtonian Boulevard interchange; we defer to the City of Gaithersburg for the design and construction of the interior on-site private roads. We recommend approval of the plan subject to the following comments:

All Planning Board Opinions relating to this plan or any subsequent revision, project plans or site plans should be submitted to the Department of Permitting Services in the package for record plats, storm drain, grading or paving plans, or application for access permit. Include this letter and all other correspondence from this department.

1. Necessary dedication for future widening of Sam Eig Highway in accordance with the approved and adopted Great Seneca Science Corridor master plan and subsequent inter-agency coordination efforts.

It is our recollection that these documents are intended to provide two westbound collector (one left turn and one through) lanes; if a double right turn is needed to support the ultimate traffic volumes of this development, we recommend the proposed intersection design be amended to shift the double right turn movements outside the limits of the ultimate through lanes.

Additional right-of-way dedication may be necessary to accommodate the two westbound collector lanes at the east and west ends of the site.

2. Grant necessary slope and drainage easements. Slope easements are to be determined by study or set at the building restriction line.

Division of Traffic Engineering and Operations

100 Edison Park Drive, 4th Floor • Gaithersburg, Maryland 20878
Main Office 240-777-2190 • TTY 240-777-6013 • FAX 240-777-2080
trafficops@montgomerycountymd.gov

3. Size storm drain easement(s) prior to record plat. No fences will be allowed within the storm drain easement(s) without a revocable permit from the Department of Permitting Services and a recorded Maintenance and Liability Agreement.
4. The Traffic Impact Assessment document remains under review at this time. We do not understand why that document did not assess this development's impact on the nearby signalized intersection at Sam Eig Highway and Fields Road; we recommend the document be updated to analyze that impact (and recommend mitigation measures, if necessitated by the additional site traffic volumes).
5. Record plat to reflect denial of access along Sam Eig Highway site frontage, except at the approved intersection with Washingtonian Boulevard.
6. Geometrics for the intersection of Sam Eig Highway collector road and Washingtonian Boulevard will be reviewed by the Department of Permitting Services as part of their review of the site access plan. Included in that review will be the design of any necessary acceleration/deceleration lanes. We advise the applicant to submit their traffic volume data to the DPS Right-of-Way Plan Review Section (in advance of their building permit applications) to verify their intersection improvement requirements and the acceptability of their design.
7. Relocation of utilities along existing roads to accommodate the required roadway improvements shall be the responsibility of the applicant.
8. If the proposed development will alter any existing street lights, signing, and/or pavement markings, please contact Mr. Dan Sanayi of our Traffic Engineering Design and Operations Section at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.
9. If the proposed development will alter or impact any existing County maintained transportation system management component (i.e., traffic signals, signal poles, handboxes, surveillance cameras, etc.) or communication component (i.e., traffic signal interconnect, fiber optic lines, etc.), please contact Mr. Bruce Mangum of our Transportation Systems Engineering Team at (240) 777-2190 for proper executing procedures. All costs associated with such relocations shall be the responsibility of the applicant.

The signal modifications plan will need to be approved by this Office prior to the Department of Permitting Services' (DPS) approval of the site access permit

10. Permit and bond will be required as a prerequisite to DPS approval of the site access permit. The permit will include, but not necessarily be limited to, the following improvements:
 - A. Street grading, paving, curbs and gutters, sidewalks and handicap ramps, storm drainage and appurtenances, and street trees along to construct acceleration/deceleration lanes along Sam Eig Highway collector road at Washingtonian Boulevard.

* **NOTE: the Public Utilities Easement is to be graded on a side slope not to exceed 4:1.**

Ms. Trudy M. W. Schwarz, CFM
SDP-3878-2013, Washingtonian North
March 5, 2014
Page 3

- B. Additional road improvements may be required as a result of a review of the Traffic Impact Assessment.
- C. Erosion and sediment control measures as required by Section 50-35(j) and on-site stormwater management where applicable shall be provided by the Developer (at no cost to the County) at such locations deemed necessary by the Department of Permitting Services (DPS) and will comply with their specifications. Erosion and sediment control measures are to be built prior to construction of streets, houses and/or site grading and are to remain in operation (including maintenance) as long as deemed necessary by the DPS.
- D. Developer shall provide street lights in accordance with the specifications, requirements, and standards prescribed by the MCDOT Division of Traffic Engineering and Operations.

Thank you for the opportunity to review this preliminary plan. If you have any questions or comments regarding this letter, please contact me at greg.leck@montgomerycountymd.gov or (240) 777-2197.

Sincerely,



Gregory M. Leck, Manager
Development Review Team

m:/correspondence/FY14/Traffic/Active/SDP-3878-2013, Washingtonian North – MCDOT plan review comments ltr.doc

cc: Jake Stroman; Washington North Associates, LLC
Aaron Kehler; LTF Real Estate Company, Inc.
Jay K. Johnson; Camden USA, Inc.
Amy Quant; Soltesz, Inc.
Scott C. Wallace; Linowes & Blocher, LLP
Ollie Mumpower; Gaithersburg Traffic
Gaithersburg SDP folder
Plan letters notebook

cc-e: Atiq Panjshiri; MCDPS RWPR
Bruce Johnston; MCDOT DTE
Andrew Bossi; MCDOT DO
Dan Sanayi; MCDOT DTEO
Bruce Mangum; MCDOT DTEO
Monet Lea; MCDOT DTEO
William Haynes; MCDOT DTEO

From: Trudy Schwarz
To: "[Leck, Gregory](#)"; [Ollie Mumpower](#)
Cc: [Amy Quant, P.E.](#); scw@linowes-law.com; [Panjshiri, Atiq](#); [Johnston, Bruce](#); [Bossi, Andrew](#); [Sanayi, Dan](#); [Mangum, Bruce](#); [Lea, Monet](#); [Haynes, William](#)
Subject: RE: SDP-3878-2013, Washingtonian North - MCDOT plan review comments
Date: Monday, March 10, 2014 6:25:00 PM

Greg,

Thanks for your letter of March 5, 2014. I did want to clarify information in regards to a few of the items mentioned in the Letter.

#1 – The current right of way of Sam Eig Highway at this location and at the interchanges meets or exceeds the recommended right of way of 250 feet from the Great Seneca Science Center master plan.

The plan has been modified to have a single right turn lane into the property. Additionally, there will still be a left-turn and through lane. The City's Department of Public Works would like to be included in the inter-agency coordination efforts of Sam Eig Highway as it relates to properties in the City jurisdiction and roadways that are maintained by the City (Washingtonian Boulevard).

#4 – As you may recall, this property has a current Schematic Development Plan (i.e., Preliminary Subdivision/Site Plan) approval for 850,000 square feet of office space. The traffic count and its impact for that size development has always been included in traffic studies since its approval in 2001. This has been done for Traffic Studies for surrounding development (in both the County & the City) including the development of the Crown properties. Also, remember that this property is part of the Washingtonian/Fields Road Club which limits the amount of road improvements.

Since the proposed plans did not increase the amount of traffic from the site from the previously approved plan, in accordance with the City's Traffic Impact Study Standards and our Adequate Public Facilities ordinance, a full Traffic Impact Study (TIS) is not required. However, City staff does realize the impact on the Washingtonian Boulevard and Sam Eig Highway intersection and required the submission of the Traffic Impact Assessment. This Assessment will assist the County in assessing the required signalization modifications for the intersection and bringing the intersection up to current design requirements. I understand that the applicant's representative has discussed the need for signal modifications preliminarily with Bruce Mangum in February and asked to set up a meeting with MCDOT, Gaithersburg & the applicant. We look forward to working with both the County and the applicant on this matter. We will appreciate your assistance in facilitating a meeting to discuss this within the next month.

#6 – The City would like the applicant to work with the Department of Permitting Services for their review of the site access plan. Can you please advise me as to who the traffic volume data should be sent to at DPS Right-of-Way Plan Review Section to "verify their intersection improvement requirement and acceptability of their design." The City would like to know the time period needed for this review so that we can plan accordingly.

Greg, thanks again for sending comments about the Schematic Development Plan. We look forward

Joint Hearing - MCC & PC
SDP-3878-2013
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to meeting with you and MCDOT to finalize transportation needs for this property. Please call me about setting up these meetings.

Best regards,
Trudy
Trudy M. Walton Schwarz, CFM
Community Planning Division Chief
Planning and Code Administration
City of Gaithersburg
31 South Summit Avenue
Gaithersburg, Maryland 20877
Phone: 301-258-6330
Fax: 301-258-6336
City Web Site: www.gaithersburgmd.gov

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The opinions expressed in this message are not necessarily those of the City of Gaithersburg Staff, Mayor or Council

From: Leck, Gregory [mailto:Greg.Leck@montgomerycountymd.gov]
Sent: Wednesday, March 05, 2014 5:16 PM
To: Trudy Schwarz; Ollie Mumpower
Cc: Amy Quant, P.E.; scw@linowes-law.com; Panjshiri, Atiq; Johnston, Bruce; Bossi, Andrew; Sanayi, Dan; Mangum, Bruce; Lea, Monet; Haynes, William
Subject: SDP-3878-2013, Washingtonian North - MCDOT plan review comments ltr is attached

Hi Trudy,

Thank you for your reminder email on this review; the plan review ltr is attached.

As you will see, we are still reviewing the TIS and have concerns about the intersections being studied.

By copy of this email, I am asking Amy and/or Scott to forward these comments to their clients.

Thanks all.

Greg

*Greg Leck, Manager
Development Review Team
Division of Traffic Engineering and Operations
Montgomery County Department of Transportation*

*100 Edison Park Drive, 4th floor
Gaithersburg, Maryland 20878*

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