
STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: October 23, 2013

SITE PLAN: **SP-3655-2013**

TITLE: Y Site

REQUEST: **CONSENT APPROVAL
FINAL SITE PLAN - REAPPROVAL**
Five-story multifamily residential building
with a six story parking garage

ADDRESS: **200 Olde Towne Avenue**

Zone: CBD Zone (Central Business District)

Applicant/Owner: Gaithersburg Y Site, LLC,
c/o RST Development, LLC

Architect: A.R. Meyers and Associates Architects, Inc. AIA

Engineer: Mike Goodman, VIKA, Inc.

Staff Liaison: Lauren Pruss, Planning Division Chief

Enclosures:

Staff Comments

Exhibit 1: Application

Exhibit 2: Letter from Scott Copeland, dated October 15, 2013

Exhibit 3: Site Development Approval SP-11-0002

Exhibit 4: Certificate of Approval, HAWP-55C

Exhibit 5: Adjacent Property Notification

Exhibit 6: Approved Final Site Plan, SP-11-0002

Full record for the previously approved final site plan SP-11-0002:

<http://www.gaithersburgmd.gov/sirepub/mtgviewer.aspx?meetid=189&doctype=AGENDA>

STAFF COMMENTS

I. BACKGROUND:

The Planning Commission granted approval of SP-11-0002 on April 27, 2011, for the Y Site, which provided for the development of the subject property with a 199 unit, five-story multi-family building with a six story parking garage. The subject property is located at 200 Olde Towne Avenue within the Central Business District (CBD) Zone.

Section 24-173 of the City Code establishes the validity period of the site plan as follows:

"Sec. 24-173. Development of property subject to plan.

(a) One or more of the uses proposed for land which is the subject of the site development plan shall be established on such land within two (2) years after the date of approval of the plan or the plan shall become void; provided, that the planning commission may extend such time upon request filed within the two-year period and may grant further a one-year extension upon request filed within the period of any extension; provided, that the total length of the original approval and extension shall not exceed three (3) years. Such extension requests may be processed as consent items as described in section 24-172A(a)."

Although a building permit for construction of the project was issued in early 2013, construction of the project has not commenced. As the applicant did not request an extension of the approved site plan prior to the plan expiration date of April 27, 2013, the Commission's approval of SP-11-0002 has expired. The applicant has filed application SP-2655-2013 requesting re-approval of the previously approved site plan in its entirety, with no changes. **Note that the following staff report is being provided to offer full justification for approval of SP-3655-2013 in accordance with Section 24-171, Site Plan Review, but is largely* in the same form as that provided within the staff analysis for the approval of SP-11-0002 (*updates have been provided within the sections "HDC Approval" and "Prior Conditions for Approval").**

II. SCOPE OF REVIEW:

Site plan approval is required by § 24-168 of the Zoning Ordinance, which states:

No building or structure shall be hereafter erected, moved, added to or structurally altered under circumstances which require the issuance of a building permit under this chapter, nor shall any use be established,

altered or enlarged under circumstances which require the issuance of a use and occupancy permit under this chapter, upon any land, until a site development plan for the land upon which such building, structure or use is to be erected, moved, added to, altered, established or enlarged has been approved by the city planning commission.

Further, this property is governed by Division 21, §§ 24-160F.1. through 24-160F.9., the CBD (Central Business District) Zone.

III. SITE PLAN ANALYSIS AND FINDINGS:

In accordance with §24-171, the Planning Commission has the authority to review and make determinations regarding the proposed plan for the purpose of protecting the public health, safety and welfare. Accordingly, staff provides the following comments and findings for Planning Commission consideration:

Site Location/Surrounding Land Use

The subject property is Lot 7 on Olde Towne Avenue, which was previously the "Y" train turn around (detailed historical background information provided below). Currently there are no buildings on the site which is developed with two unstriped asphalt parking lots and areas of lawn. The property is separated from the adjacent CSX tracks by a chain link fence to the north and fronts Olde Towne Avenue to the south. To the west of the site, the property narrows with a small grass area at the end of the parking lot. To the east is the City Parking Garage. Located across Olde Towne Avenue is the Amatucci Brothers AutoBody car repair shop and open space owned by the State Highway Administration (SHA).

Environmental Characteristics

The Natural Resources Inventory (NRI) was approved by the City on December 9, 2010. There are no forested areas located on the subject property, there are no significant specimen trees, and the area is not located in a flood plain. The property is located in the Great Seneca Creek Watershed and no rare, threatened, or endangered species were noted at the time of the NRI field work.

The Final Forest Conservation plan has been reviewed by the City and is in substantial conformance with City forest conservation regulations (SP-11-0002, Exhibit 6). Staff has requested minor modifications to the notes on the plan, which has been covered by a recommended condition for approval.

History

The Y Site, located on Olde Towne Avenue, is a locally designated property, designated by Resolution HDC-1-86 on October 6, 1986 as HD-13. It is listed as M-21-166 on the Maryland Historical Trust Inventory. The Historic Preservation Element of the Master Plan describes the property as follows:

"In 1888, the Metropolitan Branch of the Baltimore and Ohio Railroad purchased a 2.16-acre tract from the Fulks-DeSillum family and constructed the turning "Y"; a self-describing arrangement of railroad tracks that enabled the early steam locomotives to turn around, reversing their direction. Located at Frederick and Cedar Avenues, now Fulks corner, the "Y" was of importance given that before its creation, Gaithersburg could only be served by through trains. Following its construction, trains could originate or terminate in Gaithersburg. Later, the Gaithersburg "Y" was used to turn "helper" steam locomotives; cars that were used to push trains, coming from the west, up the grades to Gaithersburg. These locomotives, using the "Y", were then uncoupled from the eastbound trains and could return west again. In later years, reversing diesel engines made the "Y" superfluous for the railroad, and the site became a siding track for a lumber yard and the location of assorted light industrial uses. The rails having being lifted, the "Y" site is currently used as a commuter parking lot."

In 1997, HAWP-55 was granted approval by the HDC for the conversion of the site into a temporary commuter parking lot. In 2001, HAWP-55A approved a request for the construction of MD 117 through the site to East Cedar and Olde Towne Avenues. Today, the site remains vacant.

Olde Towne Master Plan: Sector 1 Recommendations

The "Y" site was included in the Olde Towne Master plan (OTMP), adopted by the Mayor and City Council in 2005 (SP-11-0002, Exhibit 19). At that time, the Historic Preservation Advisory Committee (HPAC) was involved in providing recommendations for historic sites in Olde Towne. The "Y" site is in Sector 1, which recommended the following:

This sector is characterized by a large city-owned, underutilized parcel known as the "Y" site. The site represents significant importance to the historic development of the City of Gaithersburg. Prior to the construction of the railroad tracks in the pattern of a "Y" enabling early steam locomotives to turn and reverse direction on the site, the city of Gaithersburg was served by through trains only. The "Y" pattern of tracks permitted trains to originate and terminate within City limits. The tracks have long since been removed, and the "Y" site is not underutilized as a commuter parking lot.

The "Y" site enjoys high visibility from Frederick Avenue and direct access from Fulks Corner Avenue and Summit Avenue. Accessibility to the site is further enhanced from points west by the direction connection to I-270 via Olde Towne Avenue/West Diamond Avenue. Proposed development in Sector 1 leverages this visibility and access, as well as the presence of the MARC rail station to significantly increase Olde Towne's density and preserve the historic character found along Diamond and Summit Avenues.

Proposed buildings in this area should complement the character of development already established by the recent construction of the class "A" office, luxury apartments, and public parking structures. Ground floor retail uses fronting Olde Towne Avenue and residential or office uses on the upper floors are proposed in buildings up to five stories in height.

One building on the "Y" site is proposed to reach up to 9 stories in height to become a recognizable Olde Towne landmark. Constructed against the railroad tracks, this building would be an exciting residential or office address. Adequate soundproofing measures to temper the noise from passing trains would need to be considered in construction. Parking for these uses would be accommodated in parking structures located behind the buildings. Market forces will dictate the specific mix of uses to occur in each building, though a restaurant use should be encouraged in the ground level of the proposed building at Summit Avenue next to the railroad tracks.

A key feature of Sector 1 is the proposed "grand stairway" and plaza. This plaza space and "grand stairway" would serve as an additional gathering space for residents, providing access to the pedestrian bridge over the tracks and seating to relax and enjoy a cup of coffee. The "Y" site's rail history should be reflected in the final design of this plaza space. As the largest contiguous development opportunity in Olde Towne, quality of design and construction must be of the highest standards.

The proposed plan is consistent with the Sector 1 recommendations of the Olde Towne Master Plan in that it provides a signature residential building that will reflect the history of the site within the design. The applicant has designed the north side of the building to mimic a northeastern-style warehouse look which the applicant has tentatively coined "The Switchback Building." Further, interpretive signage will be provided on site that references the history of the site. Finally, it should be noted that while the development does not provide for a pedestrian bridge within the design, the development does not preclude the construction of a pedestrian bridge further west should the City or future development partners choose to do so.

The proposed plan further complies with the recommendations established by the Master Plan which include:

- New development that capitalizes upon City-owned property,*
- Consolidating the parking supply,*
- Strengthening Olde Towne as a vibrant destination and the heart of civic life,*
- Improvements to the public realm including new parks, plazas and cultural resources*

If approved, the proposed plan will fulfill these goals and recommendations of the Master Plan by developing an underutilized City-owned property, by providing parking in a consolidated manner, providing additional density to support future development of commercial and destination uses, by facilitating new parks, and by strengthening the site as a cultural and historic resource through interpretive signage.

Adequate Public Facilities Ordinance

Schools: The school test of the Adequate Public Facilities Ordinance is applied at preliminary site plan in accordance with Section 24-246, Adequacy of Capacity, of the Zoning Ordinance. At the time of preliminary plan approval, the following was noted regarding the previously approved plan: "The proposed preliminary site plan is currently located within the Gaithersburg Cluster of the Montgomery County Public School (MCPS) system. Students generated by this development will attend Gaithersburg Elementary School, Forest Oak Middle School, and Rosemont Elementary School. The staff review of the *2011-2016 MCPS Capital Budget and Capital Improvements Program* in July 2010 indicated none of the schools within the Gaithersburg Cluster serving the subject site are above the capacity level of 110 percent. Therefore, the site is in compliance with §24-246, Adequacy of School Capacity."

Traffic: On February 4, 2011, the applicant submitted a final TIA that indicates with the development of the subject site, all the study area intersections are currently operating and projected to continue to operate within the congestion standard of 1425 Critical Lane Volumes (CLV) in the City, stating further that the proposed development of the Y Site will not have an adverse impact on the nearby road network. The TIA was approved by Ollie Mumpower, Engineering Services Director, on March 4, 2011 (SP-11-0002, Exhibit 18).

Water & Sewer: The subject property currently has WSSC water and sewer categories of W-1 and S-1 respectively.

Emergency Services:

The following stations provide ten minute response times to the site:

- Rockville Fire Station 31 located near Darnestown Road/Quince Orchard Roads;
 - Gaithersburg Fire Station 28 located near Shady Grove/Muncaster Mill Roads;
 - Gaithersburg-Washington Grove Fire Station 8, located on Russell Avenue;
- and

Therefore, the site complies with the requirements for the Adequate Public Facilities requirements for Emergency Services.

Affordable Housing

Section 24-255 of the City Code states Affordable Housing requirements shall not apply to residential construction in the Olde Towne Central Business District; however developers shall be required to pay a per unit fee for each dwelling unit to a City affordable housing fund. The fee is \$1.00/unit.

Site Plan Analysis, Transportation and Parking

The site plan proposes to redevelop the site with a five-story multifamily building containing 199 dwelling units. The project features outdoor amenity space for its residents, including a pool and two courtyard areas, as well as indoor public amenities, including a fitness center, cyber-café, and club room space. These amenity areas will front upon the landscaped plaza at the main entry to the building (Sp-11-0002, Exhibit 2).

While the current site plan and landscape plans indicate that the streetscape will be of traditional suburban design with a seven foot grass parkway and five foot sidewalk, staff has asked the applicant to redesign the streetscape to provide a more urban pedestrian environment (Exhibit 4). The plans will be revised to provide wider sidewalks that extend to the curb and incorporate tree planter beds. The sidewalks will be comprised of brick or a combination of paving materials. Of further note, the applicant has agreed to provide a preliminary design and cost estimate for a linear park to be developed within the existing State Highway Administration (SHA) right of way (ROW) adjoining the west end of the site. The City has been working with SHA on a ROW transfer agreement to transfer the ROW to the City. It is the City's intent to develop the site as a linear park once this transfer is complete.

An additional aspect to this application is the integration of a new six-level parking garage with the existing City of Gaithersburg Olde Towne Parking garage with the construction of an addition to the existing City parking garage (Sp-11-0002, Exhibit 2). The proposed addition will have gated access from the existing garage to provide 185 private parking spaces for the residents. The City and the applicant have agreed upon the preliminary terms of an agreement that provides for an additional one hundred (100) designated spaces within the existing garage for the proposed residential development (reference Condition #9). An additional 8 parking spaces will be provided on Olde Towne Avenue, bringing the total proposed number of spaces to 293. A total of 283 parking spaces are required for the proposed development. It should be further noted that the City is also considering additional on street parking on Olde Towne Avenue further west to the Father Cuddy Memorial Bridge. Finally, while the applicant has provided the total required number of parking spaces, they are not all provided on the subject property as is required by the Off Street Parking Ordinance. As such, the applicant is requesting a waiver of this requirement so that the required parking spaces can be provided within the City's parking garage (SP-11-0002, Exhibit 17).

In accordance with §24-160F.5 of the City's Zoning Ordinance, the Mayor and City Council granted a height waiver, allowing the structure to be taller than four stories as outlined in the Development Standards of the CBD Zone. The resolution was approved on February 7, 2011.

Architecture

As the elevations indicate, materials include brick veneer, fiber-cement panels and siding, and metal railings. The front elevation features a metal canopy flanked by two towers. The rear elevation mimics a northeastern-style warehouse look and will be constructed entirely of brick veneer (Sp-11-0002, Exhibit 2).

HDC Approval

Because the subject property is a locally designated historic resource, on May 5, 2011, the application was reviewed by the Historic District Commission (HDC) for SP-11-0002 as historic area work permit HAWP-55C. This historic area work permit was approved with no conditions. Similar to the site plan approval, the approval of HAWP-55C has also expired. A new historic area work permit will be reviewed by the Historic District Commission on November 13, 2013.

Prior Conditions for Approval

The Commission approved SP-11-0002 subject to the following conditions:

1. *The applicant shall work with staff to finalize a maintenance agreement for maintenance of private storm drains in public right-of-ways or on City property to be approved by Department of Public Works;*
2. *The final street design for Olde Towne Avenue is to be reviewed and approved by the DPW prior to issuance of Public Works permits;*
3. *The applicant shall obtain all applicable easements for work adjoining or within the CSX and SHA rights of way;*
4. *The applicant shall complete abandonment of the existing public storm drain easement prior to issuance of building permits;*
5. *Final design of parking garage addition to be reviewed and approved by DPW;*
6. *The applicant shall work with staff to finalize details on the forest conservation, landscape and hardscape plans to modify the notes, provide additional planting details and an urban streetscape design prior to issuance of building permits;*

7. *The applicant shall continue to work with staff to provide a preliminary design and cost estimate agreed to by staff and applicant for a linear park to be located adjacent to the site within the existing SHA right of way;*

8. *The applicant shall continue to coordinate with staff on the design and installation of interpretive signage and any public art prior to the issuance of building permits;*

9. *The applicant to execute a parking agreement with the City prior to issuance of building permits.*

10. *The applicant shall work with staff to finalize trim, window, and balcony details prior to issuance of building permits;*

11. *The applicant is to work with staff to facilitate an off-site pedestrian bridge crossing over the CSX railroad.*

All of these conditions were resolved prior to the issuance of the building permit earlier this year, and as such, these conditions will not follow through with this approval.

IV. SUMMARY OF FINDINGS:

Staff is in support of the Y site final site plan, which will provide a much-needed redevelopment project in Olde Towne Gaithersburg. The proposed plan is consistent with the Master Plan by proposing the redevelopment of the site and it leverages the site's visibility and access, as well as the presence of the MARC rail station to significantly increase Olde Towne's density. The project's gateway location will stimulate the area with a residential project that is close to public transportation, will provide an opportunity for public community amenities around the site, and respects the City's heritage and integrity.

V. CONCLUSION.

Staff recommends granting **SP-3655-2013, THE Y SITE, FINAL SITE PLAN APPROVAL, FINDING IT IN COMPLIANCE WITH AND 24-170 OF THE CODE, WITH THE FOLLOWING CONDITION:**

- 1. Applicant to receive Historic District Commission approval for a new Historic Area Work Permit prior to commencing construction.**



SP-3655-2013
10/7/13

PLANNING AND CODE ADMINISTRATION

City of Gaithersburg · 31 South Summit Avenue · Gaithersburg, Maryland 20877 · Telephone: (301) 258-6330 · Fax: (301) 258-6336
plancode@gaitthersburgmd.gov · www.gaithersburgmd.gov

SITE or SCHEMATIC DEVELOPMENT PLAN APPLICATION

All information must be complete to initiate processing of application

SUBJECT PROPERTY

Street Address or Location 200 Olde Towne Avenue

APPLICANT/BILLING CONTACT

Business Name Gaithersburg Y Site, LLC, c/o RST Development, LLC

Primary Contact M. Scott Copeland

Street Address 6001 Montrose Road Suite No. 710

City Rockville State Maryland Zip Code 20852

Telephone Numbers: Work (301) 816-4243 Cell (703) 328-2648 E-mail Address scott@rstdevelopment.com

OWNER

Business Name Gaithersburg Y Site, LLC

Primary Contact M. Scott Copeland

Street Address 6001 Montrose Road Suite No. 710

City Rockville State Maryland Zip Code 20852

Telephone Numbers: Work (301) 816-4243 Cell (703) 328-2648 E-mail Address scott@rstdevelopment.com

DEVELOPER

Business Name Gaithersburg Y Site, LLC c/o RST Development, LLC

Primary Contact M. Scott Copeland

Street Address 6001 Montrose Road Suite No. 710

City Rockville State Maryland Zip Code 20852

Telephone Numbers: Work (301) 816-4243 Cell (703) 328-2648 E-mail Address scott@rstdevelopment.com

ATTORNEY

Business Name N/A

Primary Contact _____

Street Address _____ Suite No. _____

City _____ State _____ Zip Code _____

Telephone Numbers: Work _____ Cell _____ E-mail Address _____

ARCHITECT

Business Name A.R. Meyers and Associates Architects, Inc. AIA

MD Registration No.

SP-3655-2013
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Primary Contact Alan Meyers

Street Address 8720 Georgia Avenue Suite No. 503

City Silver Spring State Maryland Zip Code 20910

Telephone Numbers: Work (301) 588-3100 Cell (301) 299-2332 E-mail Address alan.meyers@armeyers.com

ENGINEER

Business Name VIKA, Inc. MD Registration No. 2772111
Primary Contact Mike Goodman
Street Address 20251 Century Blvd Suite No. 400
City Germantown State Maryland Zip Code 20874
Telephone Numbers: Work (301) 916-4100 Cell (301) 233-8234 E-mail Address mgoodman@vika.com

PLAN TYPE (check one only) Concept Preliminary Final Schematic Development

PROPOSED PRIMARY USE (check one only) Residential Non-Residential Mixed Use

PROPOSED UNIT TYPE

<input type="checkbox"/> Office/Professional	<input type="checkbox"/> Restaurant	<input type="checkbox"/> Retail/Commercial
<input type="checkbox"/> Residential Single Family	<input type="checkbox"/> Mixed Use	<input checked="" type="checkbox"/> Residential Multi-Family
<input type="checkbox"/> Other Use (specify) _____		

PARKING Parking Waiver Needed Height Waiver Needed

Number of Spaces Required 283

PROJECT DESCRIPTION

Construction of 5 story multi-family building and addition to city parking garage with 205 spaces

SITE DETAILS

Site Area Square Feet	<u>95,158</u>	Number of Lots	<u>1</u>
Site Area Acres	<u>2.18</u>	Number of Dwelling Units/Acre	<u>91.28</u>
Green Area	<u>28,185</u>	Parking Spaces Provided	<u>205 + 8</u>
Green Area %	<u>30</u>	Height of Tallest Building (ft.)	<u>59</u>
		Height of Tallest Building (stories)	<u>6</u>

SQUARE FOOTAGE - NON-RESIDENTIAL

Retail	_____	Office/Professional	_____
Restaurant (A)	_____	Educational/Institutional/Religious	_____
Restaurant (B)	_____	Industrial	_____
Restaurant (C)	_____	Other (please specify)	_____

UNIT COUNTS - RESIDENTIAL

Single Family Detached Units	_____	Apartment Units	<u>199</u>
Townhouse Units	_____	Condominium Units	_____
Duplex Units	_____	Other (please specify)	_____

Total Number Residential Units 199

SEE FOLLOWING PAGES FOR SUBMISSION REQUIREMENTS



October 15, 2013

VIA EMAIL AND U.S. MAIL

Ms. Lauren Pruss
Planning Director
City of Gaithersburg
31 South Summit Avenue
Gaithersburg, Maryland 20877

Re: The Y Site
Development Update

Dear Lauren:

As you are aware, an extension of the validity period of the Final Site Plan Approval has been requested for the above referenced development. Please accept this correspondence as a brief update on the status of the approved development.

Since receiving Final Site Plan Approval, RST Development, LLC, on behalf of Gaithersburg Y Site, LLC has worked diligently with its design professionals and members of the City's staff to secure building permits. We have posted the required bonds associates with the issuance of building permits and building permits have been issued (and paid for) for the construction of the project.

While it was our intent to begin construction of the project in March or April of this year, unfortunately several factors beyond our control have altered those initial plans. Specifically, capital sources that have traditionally been available for projects such as the Y Site are not currently available (or are not offering competitive terms) in this particular submarket due to the amount of other competing projects that have recently been built or are scheduled to be built in the near future. While this may delay the proposed development, it in no ways means that the Y Site project will not ultimately be constructed as planned. Once some of the existing competing assets have been absorbed into the marketplace, the Y Site development will move forward.

In the meantime, we continue to explore various opportunities to get the proposed development started in the near future, including joint venture opportunities with debt and equity providers as well as other development companies.

Should you have any additional questions or comments, please do not hesitate to contact me at (703) 328-2648 or via email at scott@rstdevelopment.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "MSC".

M. Scott Copeland

RST DEVELOPMENT, LLC



6001 MONTROSE ROAD, SUITE 710 ROCKVILLE, MARYLAND 20852
PHONE 301-816-4242 FAX 301-816-4272

SP-3655-2013
2

SITE DEVELOPMENT APPROVAL

Applicant:

GAITHERSBURG Y SITE
 C/O RST DEVELOPMENT
 6001 MONTROSE ROAD SUITE 710
 ROCKVILLE MD 20852 20852

Project:

Site Plan: SP-11-0002
Proj Name: The Y Site
Lot\Block:
Address:
Action: Planning Commission Approval

Description: Five story multifamily apartment building with an addition to the City's parking garage

Dear Applicant:

The Planning Commission of the City of Gaithersburg, at their meeting held on **April 27, 2011**, has reviewed and approved your application, finding the plan in conformance with Zoning Ordinance Sec. 24-170 and/or Sec. 24-172A as shown in the staff report..

All permits required by the Ordinance of the City of Gaithersburg may now be applied for at the Planning and Code Administration at City Hall, 31 South Summit Avenue. See procedure described on the reverse side of this form.

This approval is issued subject to all contingencies enumerated on the reverse side of this form. Additional requirements of this approval are listed below:

- 1: The applicant shall work with staff to finalize a maintenance agreement for maintenance of private storm drains in public right-of-ways or on City property to be approved by Department of Public Works;
- 2: The final street design for Olde Towne Avenue is to be reviewed and approved by the DPW prior to issuance of Public Works permits;
- 3: The applicant shall obtain all applicable easements for work adjoining or within the CSX and SHA rights of way;
- 4: The applicant shall complete abandonment of the existing public storm drain easement prior to issuance of building permits;
- 5: Final design of parking garage addition to be reviewed and approved by DPW;
- 6: The applicant shall work with staff to finalize details on the forest conservation, landscape and hardscape plans to modify the notes, provide additional planting details and an urban streetscape design prior to issuance of building permits;
- 7: The applicant shall continue to work with staff to provide a preliminary design and cost estimate agreed to by staff and applicant for a linear park to be located adjacent to the site within the existing SHA right of way;
- 8: The applicant shall continue to coordinate with staff on the design and installation of interpretive signage and any public art prior to the issuance of building permits;
- 9: The applicant to execute a parking agreement with the City prior to issuance of building permits.
- 10: The applicant shall work with staff to finalize trim, window, and balcony details prior to issuance of building permits;
- 11: The applicant is to work with staff to facilitate an off-site pedestrian bridge crossing over the CSX railroad.

Date: April 28, 2011 Planner: _____


 Lauren Pruss

SP-3655-2013
3

CONTINGENCIES OF ISSUANCE:

1. Conditions may be attached to the S.D.A. (Site Development Approval) as deemed reasonable and necessary to assure that the proposed use will be consistent with the purpose and intent of the Zoning Ordinance of the City of Gaithersburg.
2. **Note:** Deviation from the plans (including elevations) so approved shall **not be permitted** without reapproval of the Planning Commission. Any such deviation without prior approval shall constitute a violation of the City's Zoning Ordinance.
3. Construction or operation shall commence within two years days of the date of the original approval by the Planning Commission; if not, a new final approval becomes necessary if extension request has not been filed with the Community Planning staff of the Planning and Code Administration. No permits shall be issued without S.D.A. approval (see below).
4. The staff shall not be empowered to waive dedication of right-of-way and easements required by the General Plan or Master Plans for particular planning areas.
5. Issuance of S.D.A. shall not constitute the right to occupy the property; only a subsequent Occupancy Permit and Inspection Approval issued by the Permits and Inspections staff of the Planning and Code Administration can do this.
6. Issuance of the S.D.A. by the City of Gaithersburg shall not relieve the applicant of the responsibility to comply with any additional City requirements, or those of other governmental jurisdictions.

BUILDING PERMIT PROCESS:

The following procedure must be followed by an applicant with respect to obtaining a building permit for a site which has received *final* approval from the City of Gaithersburg's Planning Commission:

1. Applicant receives **S.D.A.** (Site Development Approval) form with conditions from Planning and Code Administration immediately following approval of plan by the Planning Commission.
2. To begin permit process, applicant must submit a full package of **original plans and one paper print package** (including but not limited to site plan, landscape plan, storm/paving plans, forest conservation plan (FCP), sediment control plans, storm water management plans and architectural elevations as applicable) to the Director of Public Works for his/her signature. When package is signed, Public Works will notify applicant to pick-up original plans. The paper print package is retained by the Director of Public Works.
3. The applicant must submit a full paper print package and the original plans package as defined above to the Planner, who will then sign the **original site plan, landscape plan, forest conservation plan, and building elevation only**; however, the entire package of originals will remain together. When signature of Planner has been affixed, Planning and Code Administration staff will notify applicant to pick-up entire signed original plan package. The paper print package is retained by the Planning and Code Administration.
4. When applying for: a **sediment control, grading and/or sitework permit**, applicant submits four (4) complete sets of paper prints of the signed plans and a copy of the S.D.A. to Permits and Inspections staff of the Planning and Code Administration.
5. When applying for a **building permit**, applicant submits a copy of site plan and three (3) full sets of Maryland Architect stamped construction/design plans and a copy of stamped and Planning Commission approved building facade elevation and a copy of the S.D.A., in addition to other items required on the Building Permit Application.

A historic area work permit is required for alterations to public or private property containing a historic resource. No work can be undertaken prior to issuance of a Certificate of Approval by the Historic District Commission.



Gaithersburg
A CHARACTER COUNTS! CITY

CERTIFICATE OF APPROVAL

TITLE: Historic Area Work Permit-55C
REQUEST: Construction of a Five-Story, Multi-Family Building
ADDRESS: Olde Towne Avenue
HISTORIC DISTRICT: N/A, HD-13
APPLICANT: Scott Copeland, RST Development

The City of Gaithersburg Historic District Commission hereby grants approval to Historic Area Work Permit-55C (HAWP-55C) finding that the request for the construction of a five-story, multi-family building in the areas as defined on the applicant's site plan to be in compliance with the Secretary of the Interior's Standards for Rehabilitation #8 and #9:

- #8: *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- #9: *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic Property and its environment would be unimpaired.*

The Wye Site (HD-13) is a locally designated historic resource. This application was heard at a public hearing at the May 5, 2011, Historic District Commission meeting. This approval is granted with the following five conditions:

1. *The exact courtyard location and the design of the interpretative signage shall be submitted for future review and approval by the Historic District Commission.*
2. *Any work on the off-site stem of the Wye-Site, the railroad bumper and surrounding area located across Olde Towne Avenue, which is not included in this approval, shall be subject to approval as a separate Historic Area Work Permit.*
3. *Final project identity signage on the north elevation shall be subject to a Courtesy Review by the Historic District Commission.*
4. *The applicant shall work with staff to make reasonable efforts to protect, preserve, or remove for conservation archaeological resources prior to construction.*
5. *As balconies, porches, cornice details, trim details, and additional building materials are specified, the applicant will continue to work with staff to further evolve the "West 355/Gateway Entrance Elevation."*

City of Gaithersburg • 31 South Summit Avenue, Gaithersburg, Maryland 20877-2098
301-258-6300 • FAX 301-258-6149 • TTY 301-258-6430 • cityhall@gaitthersburgmd.gov • www.gaithersburgmd.gov

MAYOR
Sidney A. Katz

CITY COUNCIL MEMBERS
Jud Ashman
Cathy C. Drzyzgula
Henry F. Marraffa, Jr.
Michael A. Sesma
Ryan Spiegel

CITY MANAGER
Angel L. Jones

SP-3655-2013

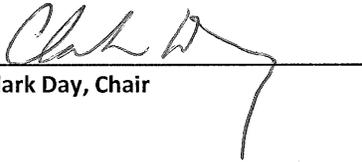


Gaithersburg
A CHARACTER COUNTS! CITY

Deviation from the plan approved on this date shall not be permitted without submission of an amended plan which is subject to the approval of the City of Gaithersburg Historic District Commission. Any such non-compliance shall serve automatically to revoke this Historic Area Work permit Approval. Work on an approved project should be completed within two years of the dates of the issuance of this Certificate, or within other specified time frames, or the Certificate expires.

The Certificate does not constitute the right to commence construction or relieve the applicant of City Code requirements, or those of other governmental jurisdictions. The applicant should contact the Department of Planning and Code Administration in City Hall for further information and assistance regarding the City's permit procedures.

City of Gaithersburg Historic District Commission



Clark Day, Chair

Date of Approval: May 5, 2011

City of Gaithersburg • 31 South Summit Avenue, Gaithersburg, Maryland 20877-2098
301-258-6300 • FAX 301-258-6149 • TTY 301-258-6430 • cityhall@gaitersburgmd.gov • www.gaitersburgmd.gov

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AMENDMENT TO FINAL SITE PLAN
PLANNING COMMISSION CONSENT AGENDA

ADJACENT PROPERTY OWNERS NOTIFICATION

In accordance with Chapter 24, Article V, Section 24-172A of the City Code

To be completed by applicant:

ADDRESS OF SUBJECT SITE: 200 Olde Towne Avenue, Gaithersburg, Maryland
LOT: 7 BLOCK: _____ SUBDIVISION: Weem's Addition
CHANGES REQUESTED: _____

(see reverse side for appropriate references from Section 24-172A(a)(1) of the Zoning Ordinance)

To Whom It May Concern:

The City of Gaithersburg Planning and Code Commission has received an application for an amendment to an approved final site plan for the above property. The application was submitted by Gaithersburg Y Site, LLC (name of the applicant) to the City on October 10, 2013 (date). For your reference a copy of the proposed site plan can be reviewed at City Hall, in the Planning and Code Administration, Monday through Friday, 8 a.m to 5 p.m.

This application is scheduled to be considered by the Planning Commission on October 23, 2013 (insert date) as a consent agenda item. Consent agenda items are not public hearing items. Accordingly, no public testimony is taken at the meeting. Any comments you wish to make should be directed to the Planning and Code Administration by 5 p.m of the scheduled date of the Planning Commission Meeting. Please note that your comments should specifically address the proposed modifications.

Given to owners of abutting and confronting properties (see Section 24-172A(a)(1) of the City Code) on October 15, 2013 (date).

Owner: AMATUCCI GUY M & S MET AL
Address: 3527 TODDSBURY LANE, OLNEY, MD 20832
or - Lot: _____ Block: _____ Subdivision: _____

NOTE: Any reproduction of this form must include the back side.

AMENDMENT TO FINAL SITE PLAN
PLANNING COMMISSION CONSENT AGENDA

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Given to owners of abutting and confronting properties (see Section 24-172A(a)(1) of the City Code) on October 15, 2013 (date).

Owner: CSX TRANSPORTATION, INC. C/O SPECIAL ASSM S/C J915
Address: 301 W. BAY STREET, SUITE 800, JACKSONVILLE, FL 32202
or - Lot: _____ Block: _____ Subdivision: _____

NOTE: Any reproduction of this form must include the back side.

FINAL SITE PLAN

THE Y SITE

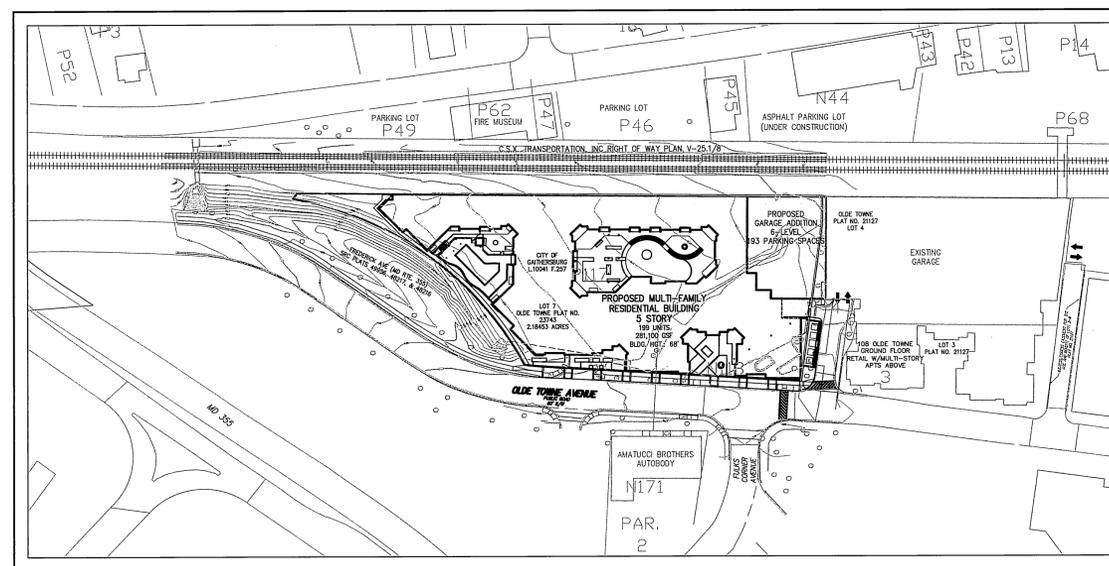
LOT 7, OLDE TOWNE

CITY OF GAITHERSBURG

MONTGOMERY COUNTY, MARYLAND

SITE NOTES

1. PROPOSED USE IS MULTI-FAMILY RESIDENTIAL.
2. TOTAL GROSS SITE AREA IS +/- 2.18 ACRES.
3. CONSTRUCTION WILL BE COMPLETED IN ONE PHASE.
4. PER CITY OF GAITHERSBURG RESOLUTION NO. R-9-11 THIS DEVELOPMENT APPLICATION HAS OBTAINED A WAIVER OF DEVELOPMENT STANDARDS FOR BUILDING HEIGHT.
5. PER THE CONTRACTUAL AGREEMENT BETWEEN THE APPLICANT AND THE CITY OF GAITHERSBURG, 100 PARKING SPACES WILL BE TRANSFERRED FROM THE ADJACENT EXISTING PUBLIC GARAGE FOR THE APPLICANT'S RESIDENTS' USE.
6. CURBS, GUTTERS, SIDEWALKS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE OF ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
7. ALL PAVING, STORM DRAINAGE, UTILITIES AND IMPROVEMENTS ON THIS PARCEL ARE PRIVATE AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.



LOCAL VICINITY MAP
SCALE: 1"=100'

SITE TABULATIONS - CBD ZONE

	REQUIRED	PROPOSED
LOT SIZE	-	2.18 AC +/-
BUILDING HEIGHT	4 STORY MAXIMUM*	6 LEVEL GARAGE ADDITION* 68' 5 STORY MULTI-FAMILY RESIDENTIAL BUILDING*
LOT COVERAGE	-	88,673 SF (70.1%)
GREEN SPACE	-	28,179 SF (30%)
DENSITY	-	199 DU/ACR 91.3/ACRE
SETBACKS: FRONT	-	0'
REAR	-	0'
SIDE	-	0'

*SEE SITE NOTE 4

PARKING REQUIRED		MULTI-FAMILY	
(1BR @ 1.25 SPACES / 2BR @ 1.5 SPACES/ 3BR @ 2 SPACES)			
1 BR-	115	x 1.25	143.75
2 BR-	84	x 1.5	126
TOTAL	199		269.8
AMENITY SPACE		SUBTOTAL	
Amenity Space 1 Space per 400sf			
Sq. Ft.	5,120	/400	12.8
TOTAL REQUIRED		283	
PARKING PROVIDED		TOTAL PROVIDED *	
NEW PARKING STRUCTURE		193	

*SEE SITE NOTE # 5

APPLICANT/DEVELOPER/OWNER

RST DEVELOPMENT, LLC
6001 MONTROSE ROAD
SUITE 710
ROCKVILLE, MD 20852
PHONE: (301) 816-4243
FAX: (301) 816-4272
CONTACT: M. SCOTT COPELAND

LANDSCAPE ARCHITECT

STUDIO 39
6416 GROVEDALE DRIVE
SUITE 100-A
ALEXANDRIA, VA 22310
PHONE: (703) 719-6500
FAX: (703) 719-6503
CONTACT: JOE PLUMPE

ARCHITECT

A.R. MEYERS & ASSOCIATES ARCHITECTS, INC., AIA
8720 GEORGIA AVENUE
SUITE 503
SILVER SPRING, MD 20910
PHONE: (301) 588-3100
FAX: (301) 588-1810
CONTACT: ROSANA TORRES

CIVIL ENGINEER

VIKA, INC.
20251 CENTURY BOULEVARD
SUITE 400
GERMANTOWN, MD 20874
PHONE: (301) 916-4100
FAX: (301) 916-2262
CONTACT: MIKE GOODMAN, PE
MEREDITH BYER, RLA

SHEET INDEX

- C-1 COVER SHEET
- C-2 FINAL SITE PLAN (1"=30')
- C-3 GREEN SPACE PLAN

SUPPORTING PLANS

- PLAT OF SUBDIVISION
- FINAL UTILITY PLAN
- TRUCK TURNING EXHIBIT
- FINAL STORM DRAIN & PAVING PLAN
- PAVEMENT MARKING AND SIGNAGE PLAN
- APPROVED FINAL STORMWATER MANAGEMENT PLAN
- APPROVED FINAL SEDIMENT EROSION CONTROL PLAN
- LANDSCAPE, HARDSCAPE & LIGHTING PLAN
- ARCHITECTURAL FLOOR PLANS & ELEVATIONS
- APPROVED FINAL FOREST CONSERVATION PLAN

CITY OF GAITHERSBURG

DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

DATE: _____ BY: _____

CITY OF GAITHERSBURG PLANNING COMMISSION

31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/23/11

APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

WITH 11 () CONDITIONS SEE S.O.A. LETTER.

DATE 12/16/11 BY J. HAWES

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

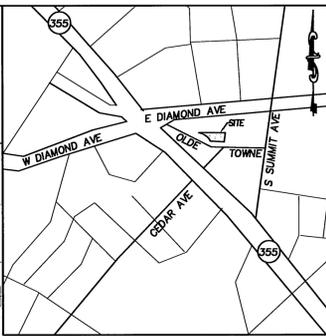
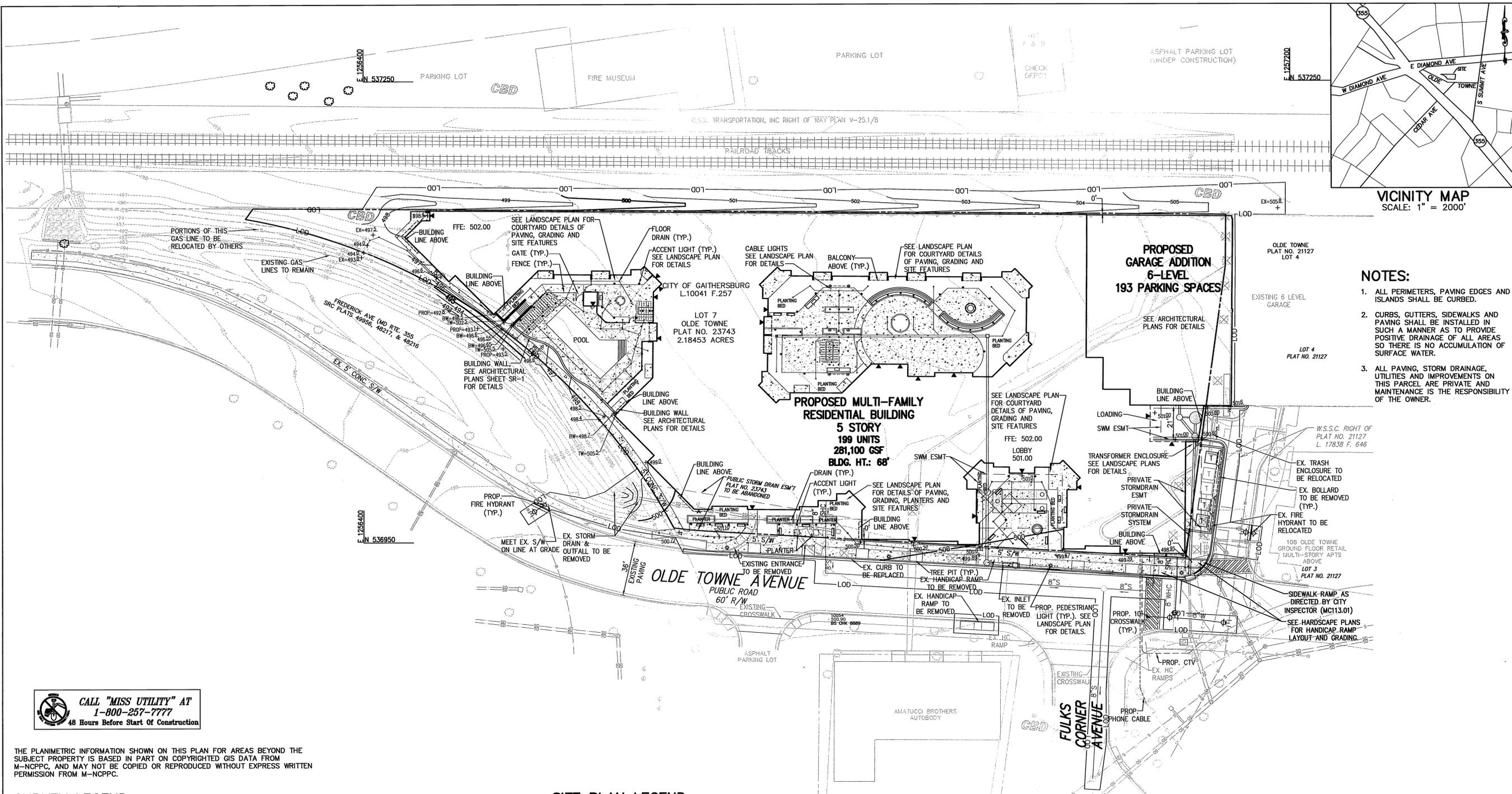
PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNATURE: *Michael B. Goodman*
MICHAEL B. GOODMAN, PE
TITLE: ASSOCIATE
EXPIRATION DATE: JULY 19, 2012
LICENSE No. 27721

PROJECT/FILE NO. M1653A
SHEET NO. C-1

THE PLANIMETRIC INFORMATION SHOWN ON THIS PLAN FOR AREAS BEYOND THE SUBJECT PROPERTY IS BASED IN PART ON COPYRIGHTED GIS DATA FROM M-NCPPC, AND MAY NOT BE COPIED OR REPRODUCED WITHOUT EXPRESS WRITTEN PERMISSION FROM M-NCPPC.



- NOTES:**
1. ALL PERIMETERS, PAVING EDGES AND ISLANDS SHALL BE CURBED.
 2. CURBS, GUTTERS, SIDEWALKS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE OF ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
 3. ALL PAVING, STORM DRAINAGE, UTILITIES AND IMPROVEMENTS ON THIS PARCEL ARE PRIVATE AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.

VKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

VKA MARYLAND, LLC
20251 CENTURY BOULEVARD SUITE 400 ■ GAITHERSBURG, MD 20874
(301)916-4100 ■ FAX (301)916-2282
GAITHERSBURG, MD

THE Y SITE
LOT 7 - OLDE TOWNE
PLAT 23743 L.10041 F.257
WSSC MAP 223NNW09
ADC MAP 5047 JB
ELECTION DISTRICT NO. 9
MONTGOMERY COUNTY, MARYLAND

FINAL SITE PLAN

CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start Of Construction

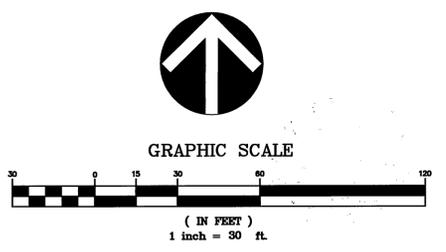
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SURVEY LEGEND

— CTV —	CABLE TELEVISION CONDUIT
— E —	ELECTRICAL CONDUIT
— X — X — X —	EDGE OF PAVEMENT
— G —	FENCE LINE
— OHW —	NATURAL GAS CONDUIT
— P —	OVERHEAD WIRES
— S —	TELEPHONE/COMMUNICATIONS CONDUIT
— SD —	PROPERTY LINES
— W —	PUBLIC UTILITIES EASEMENTS
	SANITARY SEWER CONDUIT
	STORM DRAIN CONDUIT
	WATER CONDUIT
	SANITARY CLEANOUT
	STORM DRAIN MANHOLE
	ELECTRICAL JUNCTION BOX
	ELECTRICAL MANHOLE
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	GAS MANHOLE
	GUY POLE
	GAS VALVE
	LIGHT POLE
	PHONE PEDESTAL
	PHONE MANHOLE
	UTILITY POLE
	SANITARY MANHOLE
	TRAFFIC CONTROL BOX
	TRAFFIC SIGNAL POLE
	TREE
	CABLE TELEVISION PEDESTAL
	UNKNOWN UTILITY MANHOLE
	WATER METER
	WATER MANHOLE
	WATER VALVE
	BOLLARD
	SIGN POST
	WOOD POST
	INLETS
	CURB INLET
	EXISTING TREE
	EXISTING TREE TO BE REMOVED
	CONC. CONCRETE
	C&G AND GUTTER
	BLDG. BUILDING
	STY. STORY
	TRV. ELECTRICAL TRANSFORMER
	ASPH. ASPHALT
	ESMT. EASEMENT
	RCP. REINFORCED CONCRETE PIPE
	CMP. CORRUGATED METAL PIPE
	BRL. BUILDING RESTRICTION LINE
	R/W. RIGHT-OF-WAY
	FF. FINISHED FLOOR ELEVATION

SITE PLAN LEGEND

— 500 —	PROPOSED 10' CONTOUR
— 498 —	PROPOSED 2' CONTOUR
— LOD —	PROPOSED OVERALL LIMITS OF DISTURBANCE
— 8"W —	PROPOSED WATER LINE
— 8"S —	PROPOSED SANITARY SEWER WITH STRUCTURE
— 8" —	PROPOSED STORM DRAIN
— 6 —	PARKING SPACE TOTALS
— 6 —	CURB AND GUTTER (TYP.)
— 6 —	PROPOSED SIDEWALK
— 6 —	PROPOSED CROSSWALK
— 6 —	DESIGNATED ZONING
— 6 —	PROPOSED PEDESTRIAN LIGHT (SEE LANDSCAPE PLAN FOR DETAILS)
— 6 —	PROPOSED SPOT ELEVATION
— 6 —	PROPOSED FIRE HYDRANT
— 6 —	PROPOSED TRANSFORMER
— 6 —	EXISTING TRANSFORMER TO REMAIN



CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

DATE: 7/15/2011
BY: [Signature]

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 7/12/11

APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

WITH () CONDITIONS. SEE S.D.A LETTER.

DATE: 7/15/11 BY: [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

DATE: JULY 15, 2011

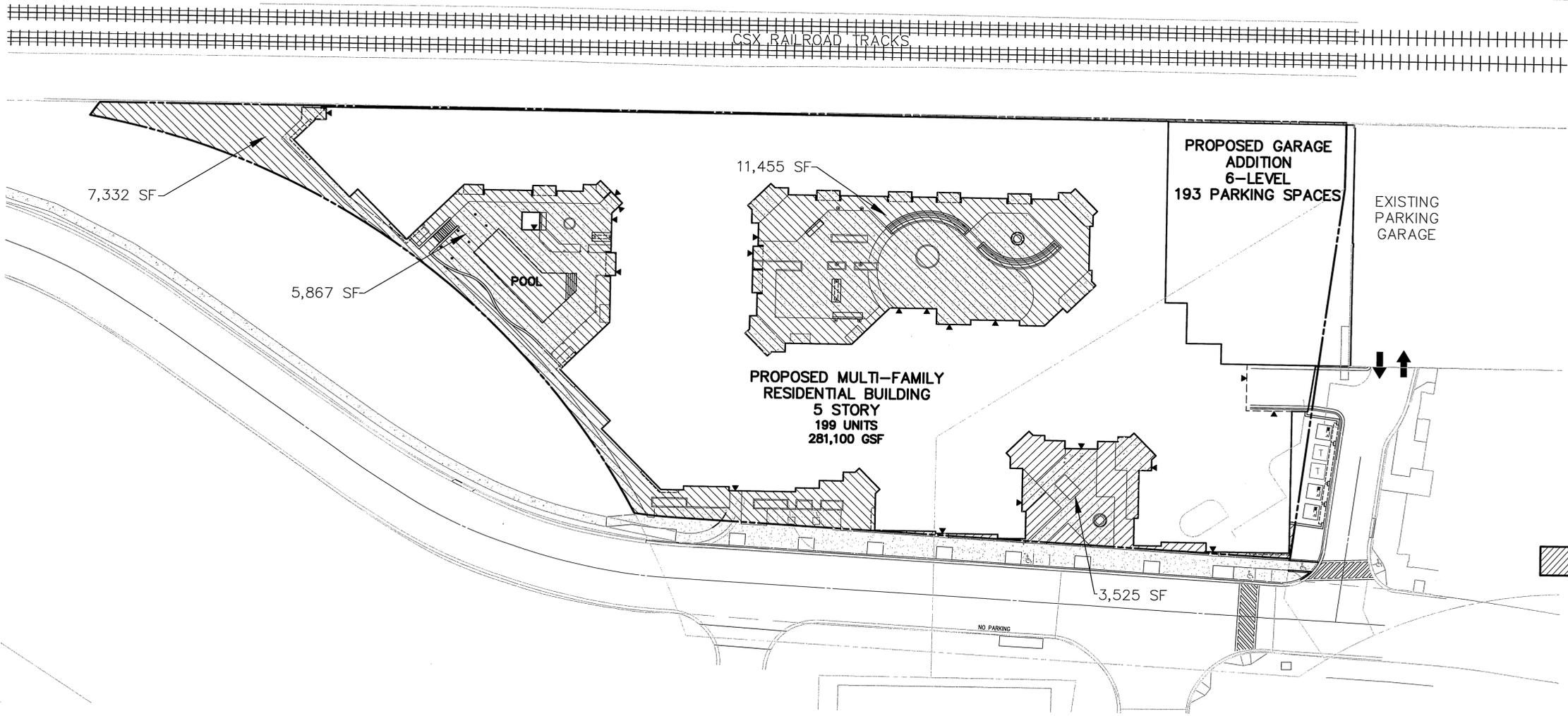
DES. NP DWN. TSS

SCALE: 1"=30'

PROJECT/FILE NO. M1653A

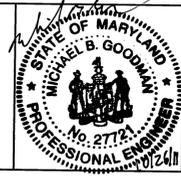
SHEET NO. C-2

STATE OF MARYLAND
MICHAEL B. GOODLAND
No. 2772
PROFESSIONAL ENGINEER

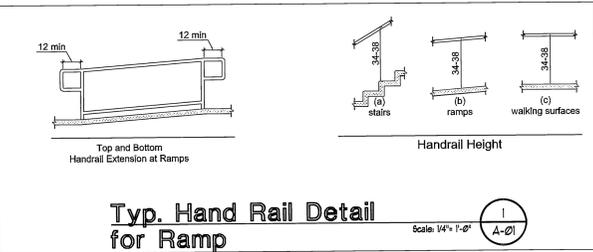
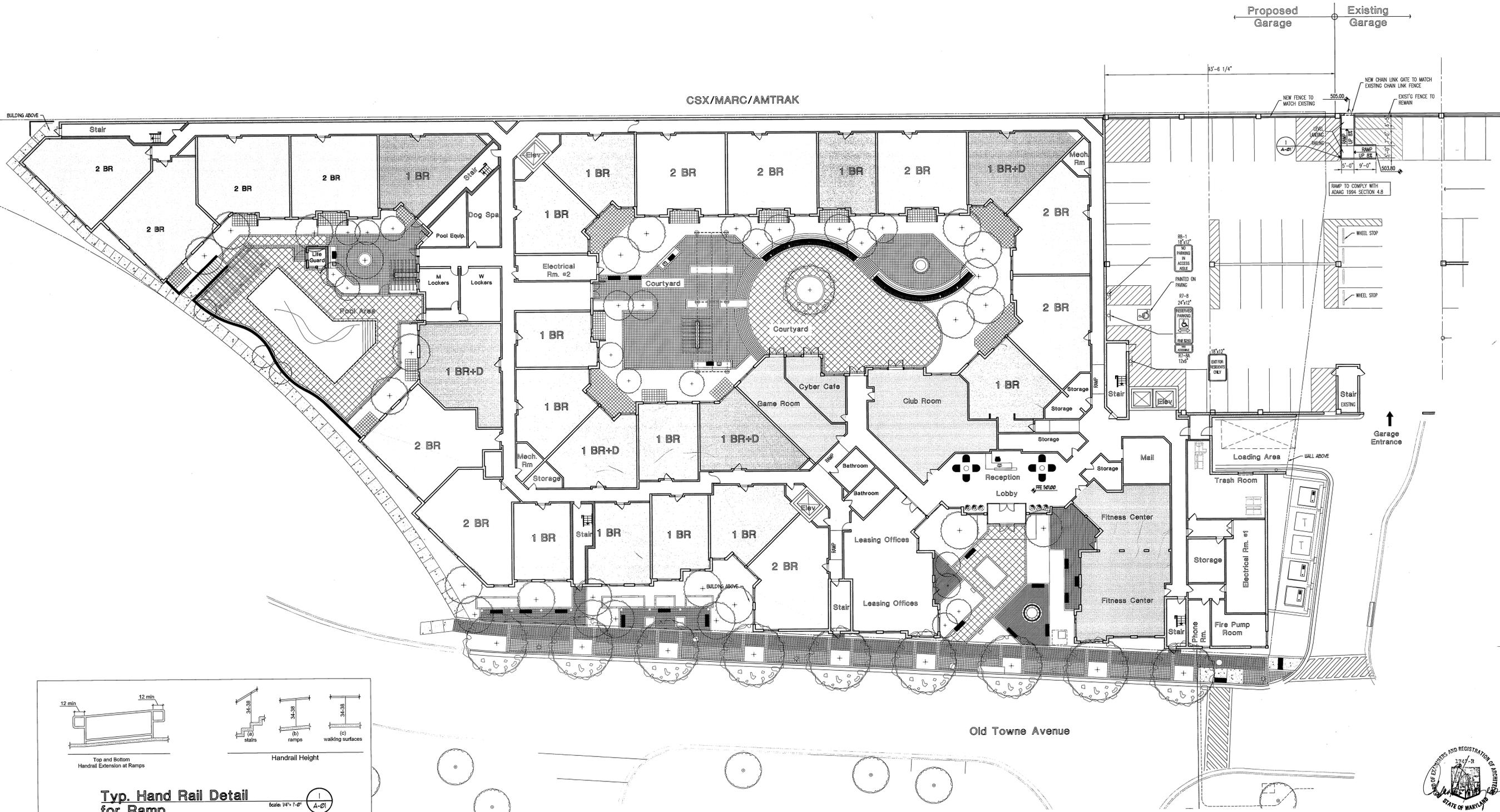


CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL
 DATE: 12/14/11
 BY: *[Signature]*

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A LETTER.
 12/16/11 *[Signature]*
 ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



VIVA REVISIONS	
REVISED PER CITY COMMENTS & RESUBMITTED 10/25/2011	
REVISED PER CITY COMMENTS & RESUBMITTED 10/4/2011	
REVISED PER CITY COMMENTS & RESUBMITTED 7/15/2011	
DATE: JULY 15, 2011	
DES. NP	DWN. TSS
SCALE: 1"=30'	
PROJECT/FILE NO. M1653A	
SHEET NO. C-3	



Unit Matrix		Floor	
Unit Type	Units	Floor	Units
1 BR	71 Units	1st Floor	28 Units
1 BR+D	44 Units	2nd Floor	42 Units
2 BR	80 Units	3rd Floor	43 Units
2 BR+D	4 Units	4th Floor	43 Units
	199 Units	5th Floor	43 Units
			199 Units

Parking Matrix	
Floor	Units
1st Floor	28 Units
2nd Floor	42 Units
3rd Floor	43 Units
4th Floor	43 Units
5th Floor	43 Units
Total	199 Units

Parking Matrix	
Floor	Units
1st Floor	31 Parking Spaces
2nd Floor	33 Parking Spaces
3rd Floor	33 Parking Spaces
4th Floor	32 Parking Spaces
5th Floor	32 Parking Spaces
6th Floor	32 Parking Spaces
Total	183 Parking Spaces

First Floor Scale: 1/16" = 1'-0"

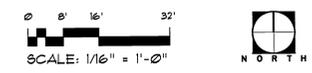
CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/21/11 WAS GRANTED APPLICATION NO. SP-11-002

FINAL SITE PLAN APPROVAL WITH eleven (11) CONDITIONS. SEE S.D.A. LETTER. DATE 12/16/11 BY D.Prun

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

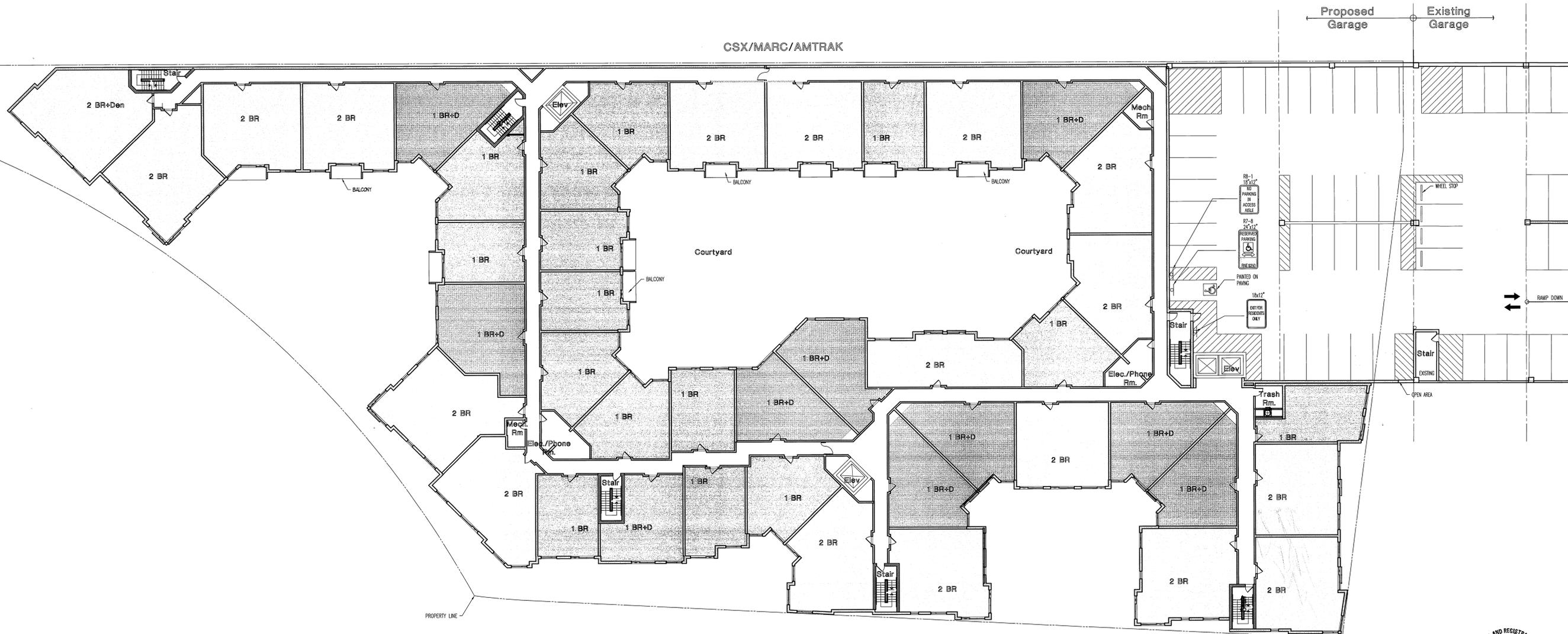


The Y-Site
 200 Old Towne Avenue
 Gaithersburg, Montgomery County, Maryland

First Floor

A-1.1

10-21-2011
 1/16"=1'-0"



Unit Matrix

Unit Type	Units
1 BR	71 Units
1 BR+D	44 Units
2 BR	80 Units
2 BR+D	4 Units
Total	199 Units

■ Amenity Space

Floor	Units
1st Floor	28 Units
2nd Floor	42 Units
3rd Floor	43 Units
4th Floor	43 Units
5th Floor	43 Units
Total	199 Units

Parking Matrix

First Floor	31 Parking Spaces
2nd Floor	33 Parking Spaces
3rd Floor	33 Parking Spaces
4th Floor	32 Parking Spaces
5th Floor	32 Parking Spaces
6th Floor	32 Parking Spaces
Total	193 Parking Spaces

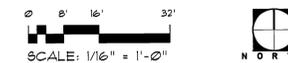


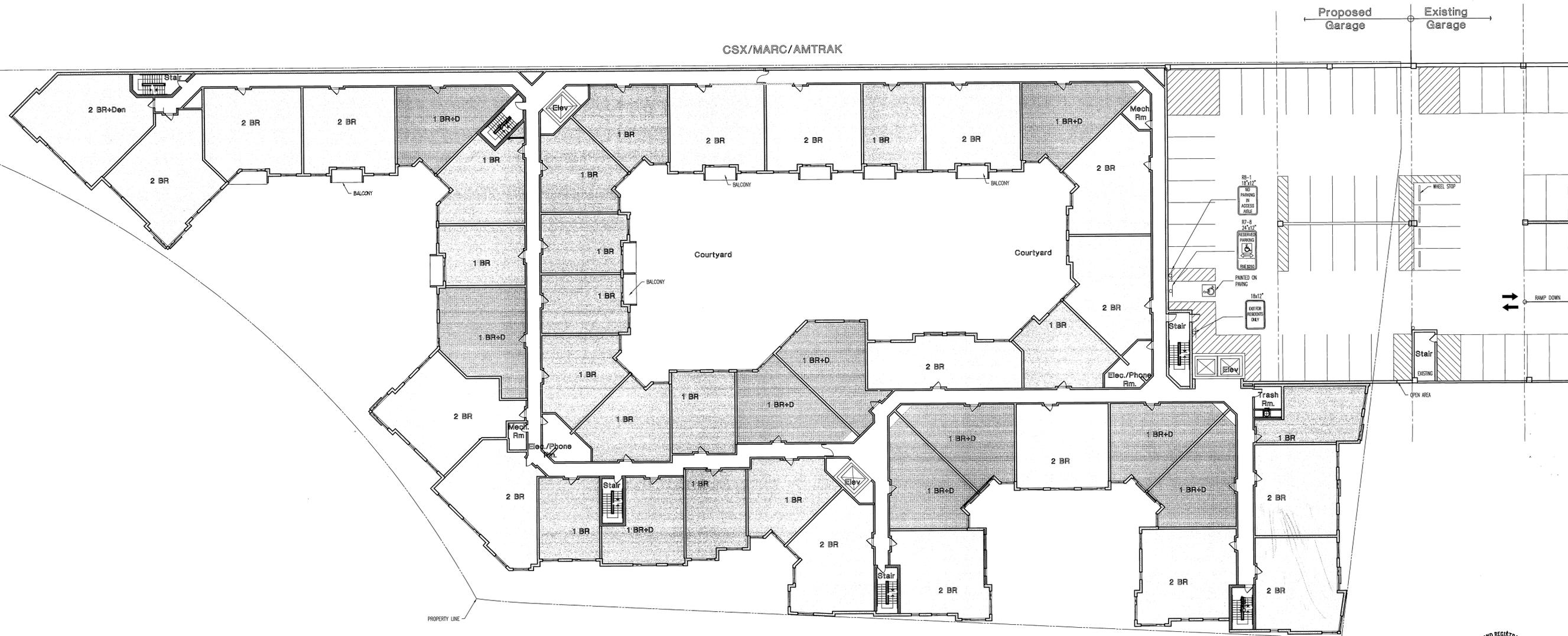
CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 11/17/11 WAS GRANTED APPLICATION NO. SP-11-002 FINAL SITE PLAN APPROVAL WITH 11 () CONDITIONS. SEE S.D.A. LETTER. DATE 12/14/11 BY [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION





Unit Matrix

Unit Type	Units
1 BR	71 Units
1 BR+D	44 Units
2 BR	80 Units
2 BR+D	4 Units
199 Units	

■ Amenity Space

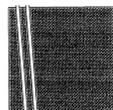
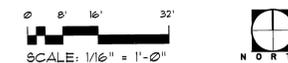
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4th Floor	43 Units
5th Floor	43 Units
199 Units	

Parking Matrix

First Floor	31 Parking Spaces
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Total	193 Parking Spaces



CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/16/11 BY X. Puat
 NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



A.R. Meyers + Associates Architects, Inc. AIA
 Architecture Interiors Planning
 8720 Georgia Avenue Suite 503 Silver Spring Maryland 20910
 T. 301.588.2100 F. 301.588.1810 www.armeyers.com

The Y-Site

200 Old Towne Avenue
 Gaithersburg, Montgomery County, Maryland

Typ. Fl. (4th-5th fl.) & Garage 4th - 6th fl.

A-1.3

10-21-2011
 1/16"=1'-0"



Continued on Elevation B

Main Entrance
Front Elevation - A



Continued on Elevation C

Elevation - B



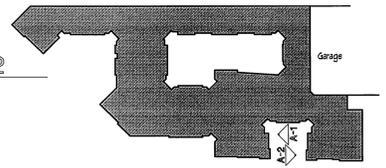
Elevation - A1



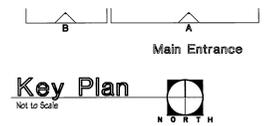
Elevation - A2

Elevation Notes:

- 01 BRICK VENEER
- 02 FIBER-CEMENT PANELS
- 03 FIBER-CEMENT LAP SIDING
- 04 ARCHITECTURAL ROOF ELEMENT-METAL PANEL
- 05 METAL RAILING
- 06 WINDOWS
- 07 STOREFRONT
- 08 METAL CANOPY
- 09 DECORATIVE CORNICE ELEMENT
- 10 MASONRY
- 11 RECESSED MASONRY TO IMITATE WINDOW OPENINGS
- 12 STORAGE
- 13 PRE-FABRICATED PANELS TO MATCH EXISTING GARAGE PANELS
- 14 WATER FEATURE
- 15 METAL LOWER



CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
APPLICATION NO. SP-11-06a WAS GRANTED
FINAL SITE PLAN APPROVAL
WITH 11 () CONDITIONS SEE S.D.A LETTER
DATE 12/16/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION





Pool Area
Elevation - C



Elevation - C1

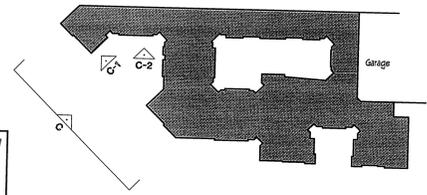


Elevation - C2



Elevation Notes:

- 01 BRICK VENEER
- 02 FIBER-CEMENT PANELS
- 03 FIBER-CEMENT LAP SIDING
- 04 ARCHITECTURAL ROOF ELEMENT-METAL PANEL
- 05 METAL RAILING
- 06 WINDOW
- 07 STOREFRONT
- 08 METAL CANOPY
- 09 DECORATIVE CORNICE ELEMENT
- 10 MASONRY
- 11 RECESSED MASONRY TO IMITATE WINDOW OPENINGS
- 12 SIGNAGE
- 13 PRE-FABRICATED PANELS TO MATCH EXISTING GARAGE PANELS
- 14 WATER FEATURE
- B METAL LOUVER



Key Plan
Not to Scale

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/22/11

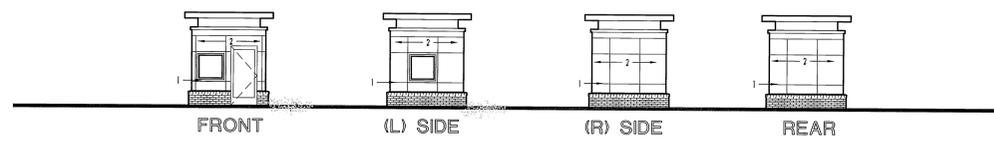
APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

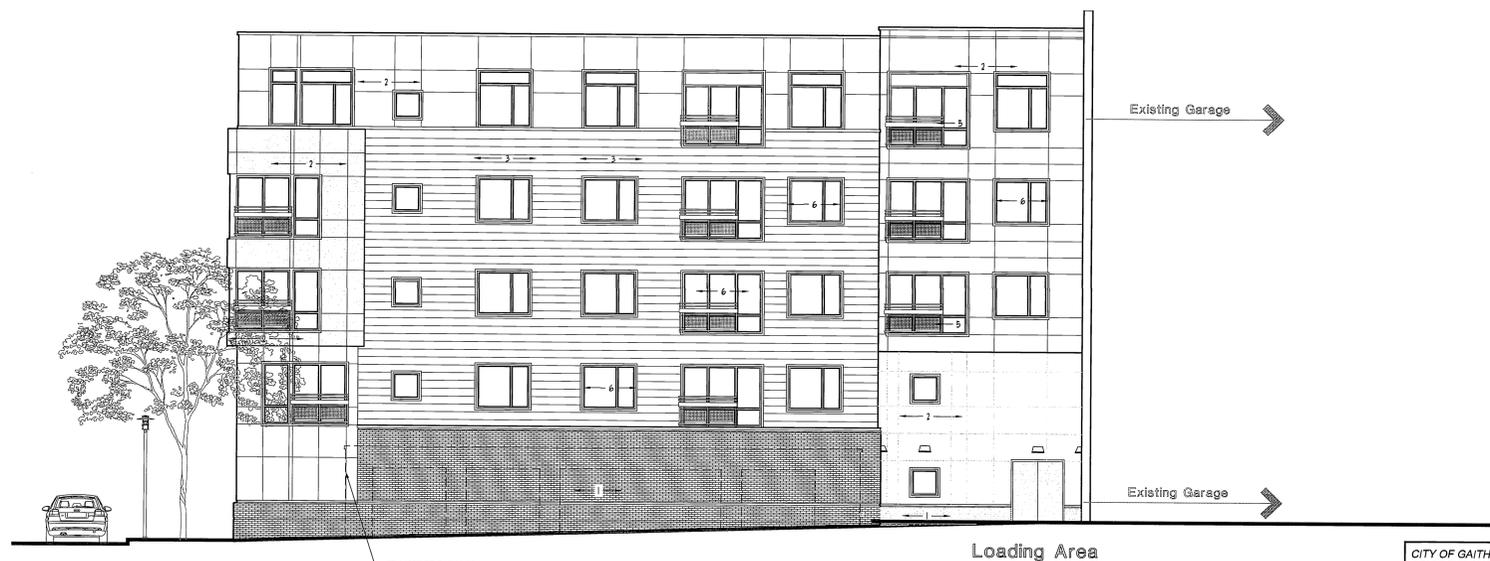
WITH 11 () CONDITIONS SEE S.D.A. LETTER.

DATE 12/16/11 BY [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



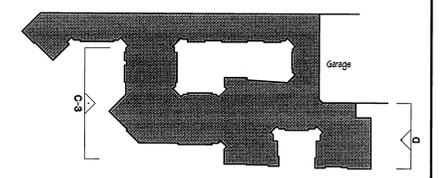
Life Guard Room



Elevation - D

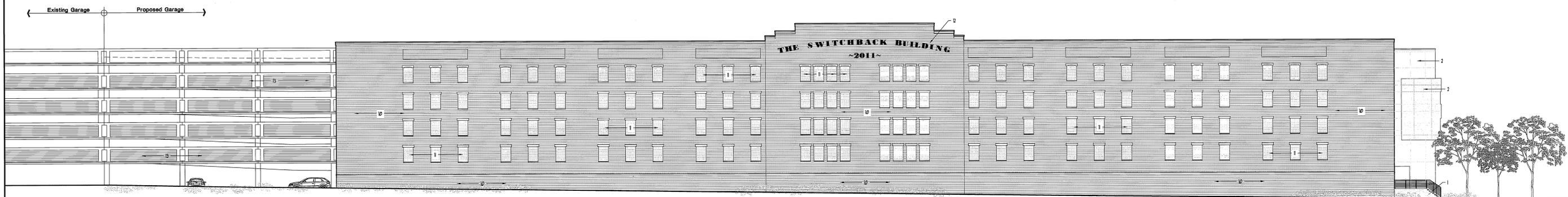
Elevation Notes:

- 01 BRICK VENEER
- 02 FIBER-CEMENT PANELS
- 03 FIBER-CEMENT LAP SIDING
- 04 ARCHITECTURAL ROOF ELEMENT-METAL PANEL
- 05 METAL RAILING
- 06 WINDOW
- 07 STOREFRONT
- 08 METAL CANOPY
- 09 DECORATIVE CORNICE ELEMENT
- 10 MASONRY
- 11 RECESSED MASONRY TO IMITATE WINDOW OPENINGS
- 12 SIGNAGE
- 13 PRE-FABRICATED PANELS TO MATCH EXISTING GARAGE PANELS
- 14 WATER FEATURE
- 15 METAL LOUVER

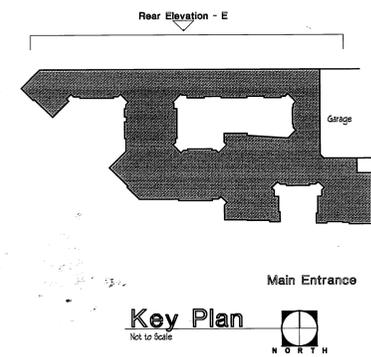


Key Plan

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11 WAS GRANTED
 APPLICATION NO. SP-11-002
 FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/14/11 BY J. P. [Signature]
 NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



Rear Elevation
Elevation - E



Elevation Notes:

- 01 BRICK VENEER
- 02 FIBER-CEMENT PANELS
- 03 FIBER-CEMENT LAP SIDING
- 04 ARCHITECTURAL ROOF ELEMENT-METAL PANEL
- 05 METAL RAILING
- 06 WINDOW
- 07 STONEFRONT
- 08 METAL CANOPY
- 09 DECORATIVE CORNICE ELEMENT
- 10 MASONRY
- 11 RECESSED MASONRY TO IMITATE WINDOW OPENINGS
- 12 SIGNAGE
- 13 PRE-FABRICATED PANELS TO MATCH EXISTING GARAGE PANELS
- 14 WATER FEATURE
- 15 METAL LOUVER

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11

APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

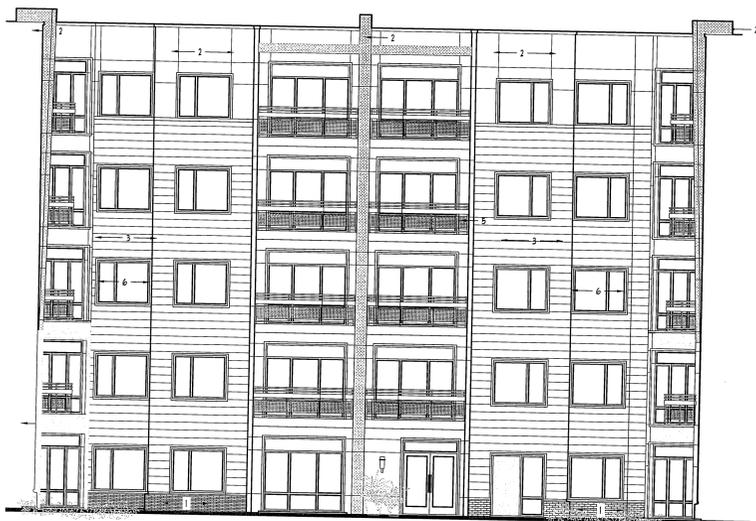
WITH 11 () CONDITIONS. SEE S.D.A. LETTER.

DATE 12/16/11 BY [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



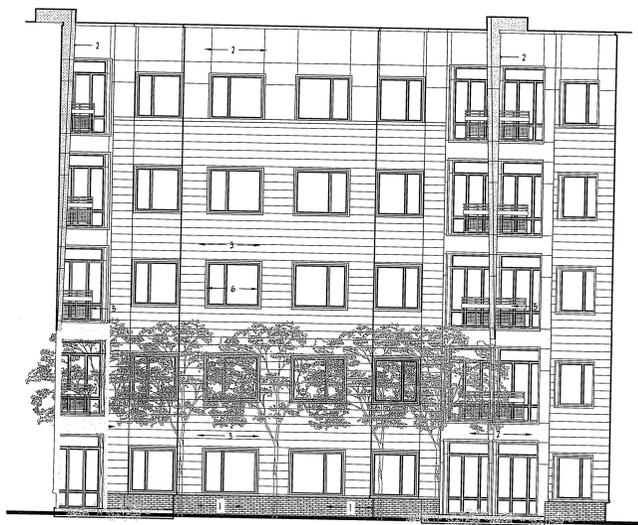
Elevation - I 1
Interior Court Yard



Elevation - I 2
Interior Court Yard



Elevation - I 3
Interior Court Yard



Elevation - I 4
Interior Court Yard

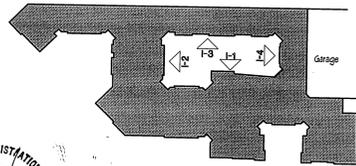
Elevation Notes:

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- 03 FIBER-CEMENT LAP SIDING
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- 05 METAL RAILING
- 06 WINDOW
- 07 STOREFRONT
- 08 METAL CANOPY
- 09 DECORATIVE CORNICE ELEMENT
- 10 MASONRY
- 11 REGENERATED MASONRY TO IMITATE WINDOW OPENINGS
- 12 SIGNAGE
- 13 PRE-FABRICATED PANELS TO MATCH EXISTING
- 14 GARAGE PANELS
- 15 WATER FEATURE
- 16 METAL LOWER

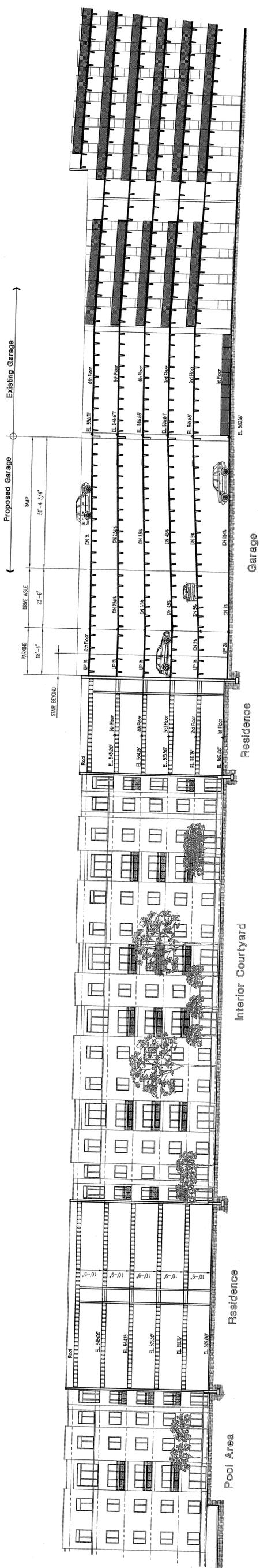
CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/21/11, APPLICATION NO. SP-11-002 WAS GRANTED FINAL SITE PLAN APPROVAL WITH 11 CONDITIONS. SEE S.D.A. LETTER. DATE 12/16/11 BY [Signature]

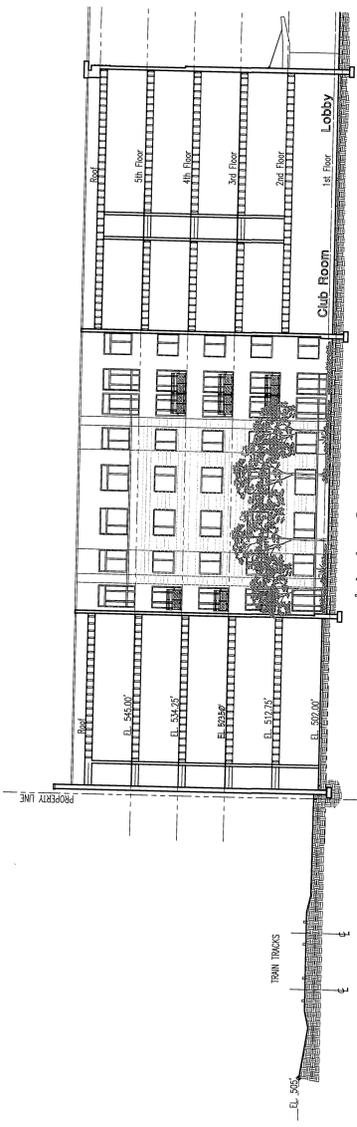
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Key Plan
Not to Scale



Section A-A



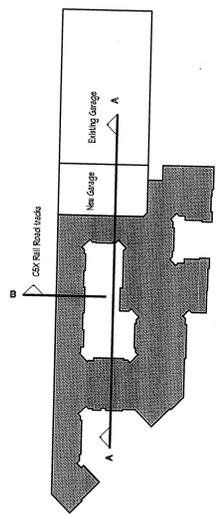
Section B-B

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH BALTIMORE AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON **7/17/11**
 APPLICATION NO. **SP-11-282** WAS GRANTED

WITH **11** () CONDITIONS SEE S.D.A. LETTER
 DATE **12/14/11** BY **St. Ann**

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE APPROVED BY THE PLANNING COMMISSION



Key Plan
 1/16"=1'-0"

The Y-Site
 200 Old Towne Avenue
 Gaithersburg, Montgomery County, Maryland

A.R. Meyers + Associates Architects, Inc. AIA
 Architecture Interiors Planning
 8720 Georgia Avenue Suite 503 Silver Spring, Maryland 20910
 T: 301.588.3100 F: 301.588.1810 www.aramy.com

Sections

A-3
 10-21-2011
 1/16"=1'-0"

Y-SITE DEVELOPMENT

CITY OF GAITHERSBURG, MARYLAND

SITE PLAN SUBMISSION

NOVEMBER 22, 2011

CLIENT

RST DEVELOPMENT, LLC
6001 MONTROSE ROAD
SUITE 710
ROCKVILLE, MD 20852
(301) 816-4243
CONTACT: SCOTT COPELAND

ARCHITECT

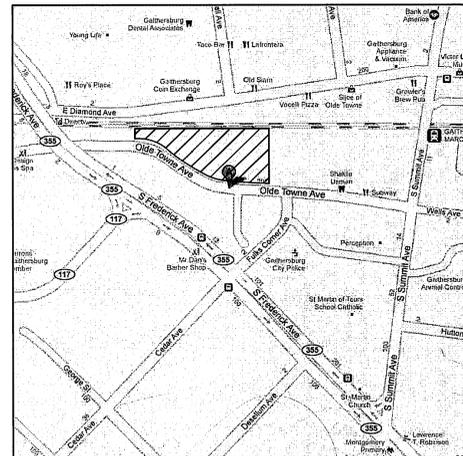
A.R. MEYERS + ASSOCIATES
8720 GEORGIA AVENUE
SUITE 503
SILVER SPRING, MD
(301) 588-3100
CONTACT: ROSANA TORRES

CIVIL ENGINEER

VIKA INC.
2021 S CENTURY BOULEVARD
SUITE 400
GERMANTOWN, MD 20874
(301) 916-4100
CONTACT: MICHAEL GOODMAN

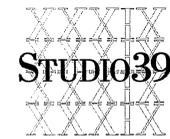
STRUCTURAL ENGINEER

CATES ENGINEERING
7500 IRON BAR LANE
SUITE 209
GAINESVILLE, VA 20155
(571) 261-9280
CONTACT: CHRIS SCHUTZE



VICINITY MAP
NOT TO SCALE

LANDSCAPE ARCHITECT



Landscape Architecture, P.C.
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ALEXANDRIA, VIRGINIA 22310
TEL. (703) 719-6500
FAX (703) 719-6503
CONTACT: DAN DOVE



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SHEET LIST TABLE

Sheet Number	Sheet Title
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L1.00	OVERALL SITE PLAN
L1.01	HARDSCAPE ENLARGEMENT 1
L1.02	HARDSCAPE ENLARGEMENT 2
L1.03	HARDSCAPE ENLARGEMENT 3
L1.04	HARDSCAPE ENLARGEMENT 4
L2.01	GRADING ENLARGEMENT 1
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L3.01	HARDSCAPE DETAILS
L3.02	HARDSCAPE DETAILS
L3.02A	HARDSCAPE DETAILS
L3.03	HARDSCAPE DETAILS
L3.04	HARDSCAPE DETAILS
L3.05	HARDSCAPE DETAILS
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L4.05	GREENROOF PLAN
L5.01	PLANT LIST
L5.02	LANDSCAPE DETAILS

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON April 27, 2011
APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL

WITH eleven (11) CONDITIONS. SEE S.D.A. LETTER.
DATE 12/14/11 BY [Signature]

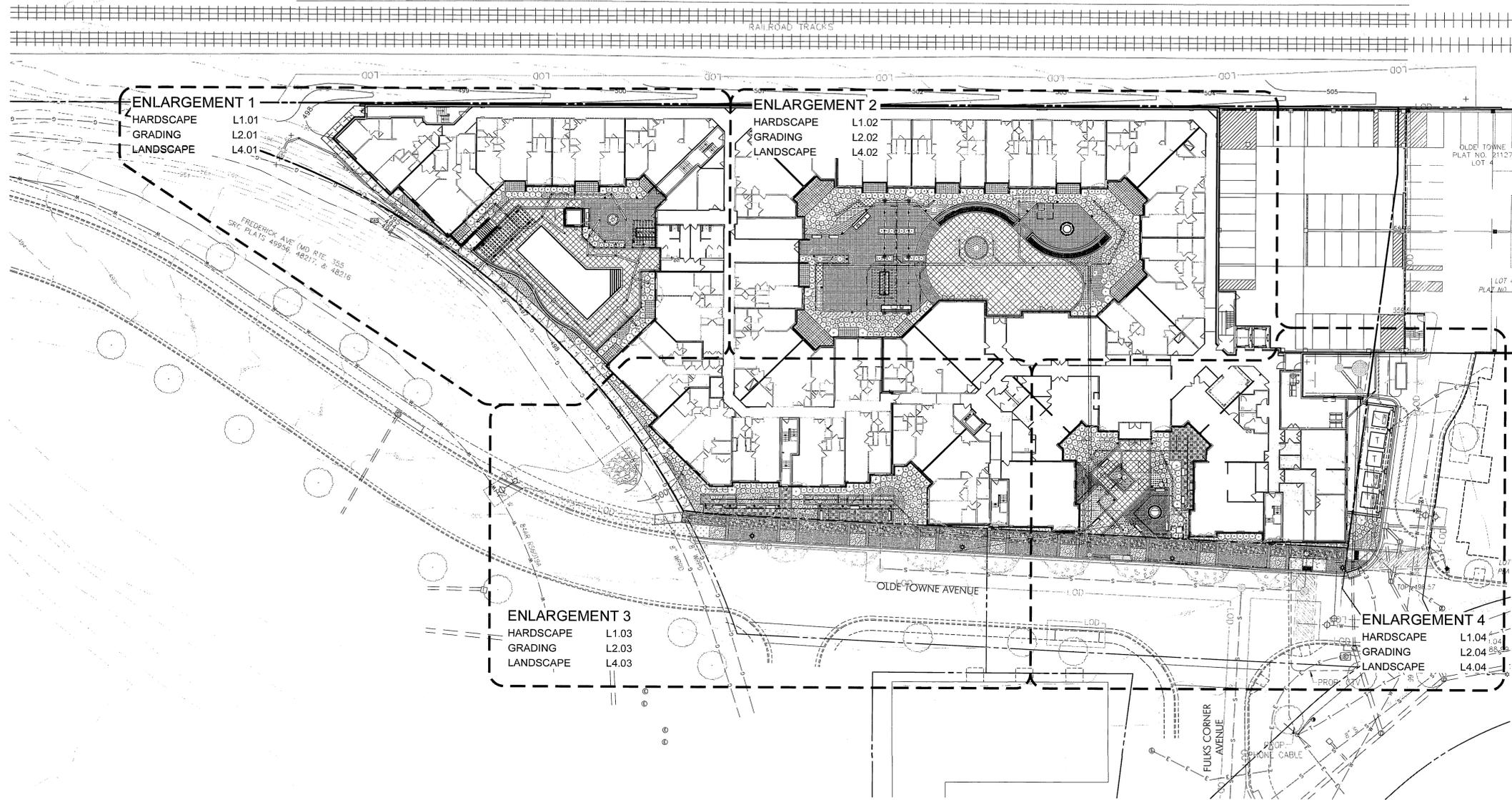
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Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND

RST DEVELOPMENT, LLC



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REVISIONS

OVERALL SITE PLAN

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD

SCALE: 1" = 30'-0"

0 15 30 60

PROJECT NO: 10059
 DATE: 11.22.11

L1.00

SITE PLAN SUBMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON April 27, 2011
 APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

WITH eleven (11) CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/14/11 BY J.P. Plante

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p:\2010\10059_Y_siterst16.dwg files\current phase\final site plan sheets and details\L1.00 OVERALL SITE PLAN.dwg

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REVISIONS:

HARDSCAPE ENLARGEMENT 2

DESIGN: JP/DD
DRAWN: SP
CHECKED: DD
SCALE: 1" = 10'-0"

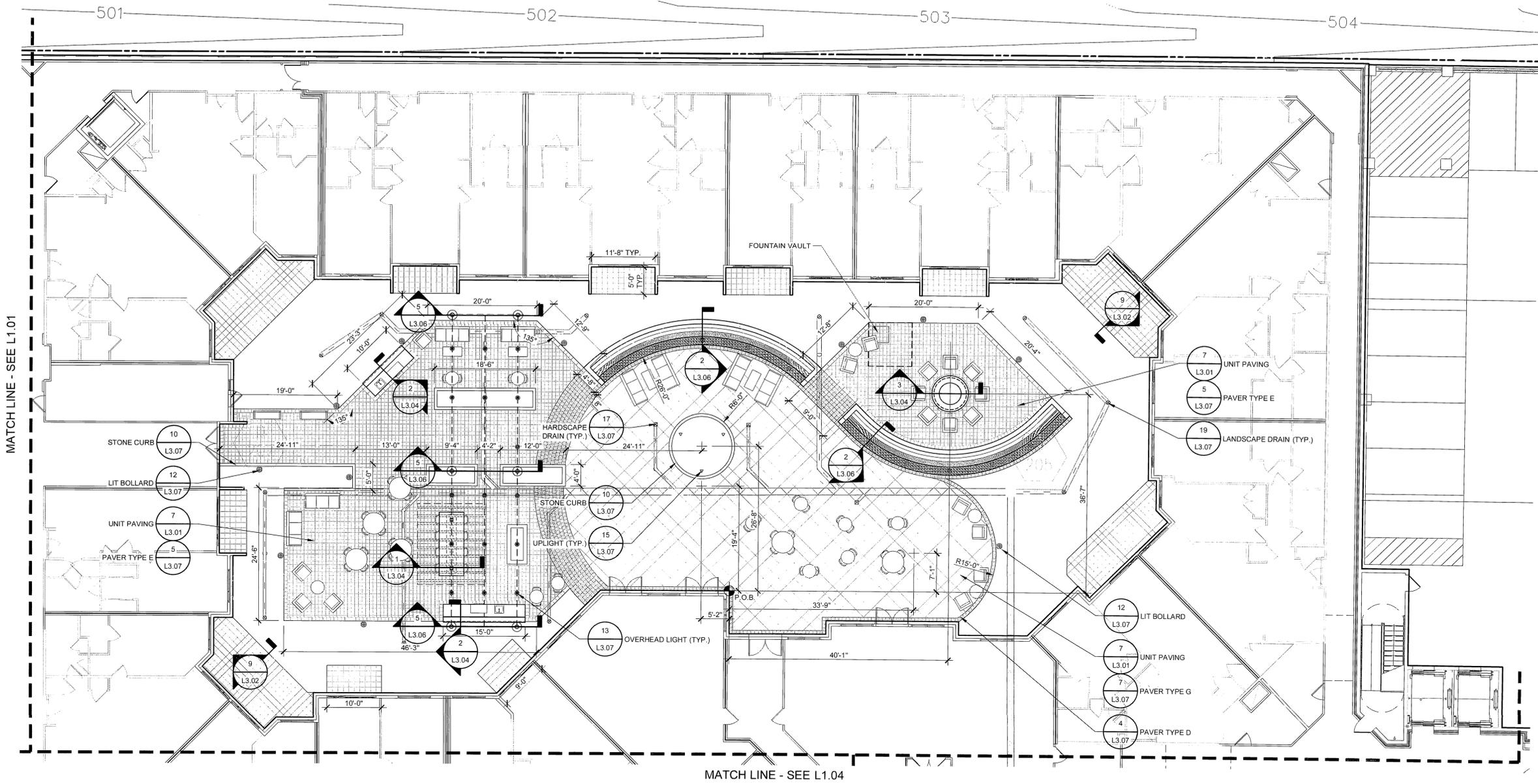
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PROJECT NO.: 10059
DATE: 10.27.11

L1.02

SITE PLAN SUBMISSION

NOT RELEASED FOR CONSTRUCTION

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/21/11
APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
WITH 11 CONDITIONS. SEE S.D.A. LETTER.
DATE 12/16/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



MATCH LINE - SEE L1.01

MATCH LINE - SEE L1.04



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 Tel: 703.719.6500 Fax: 703.719.6503
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Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND
 RST DEVELOPMENT, LLC

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 REVISIONS:

HARDSCAPE ENLARGEMENT 3

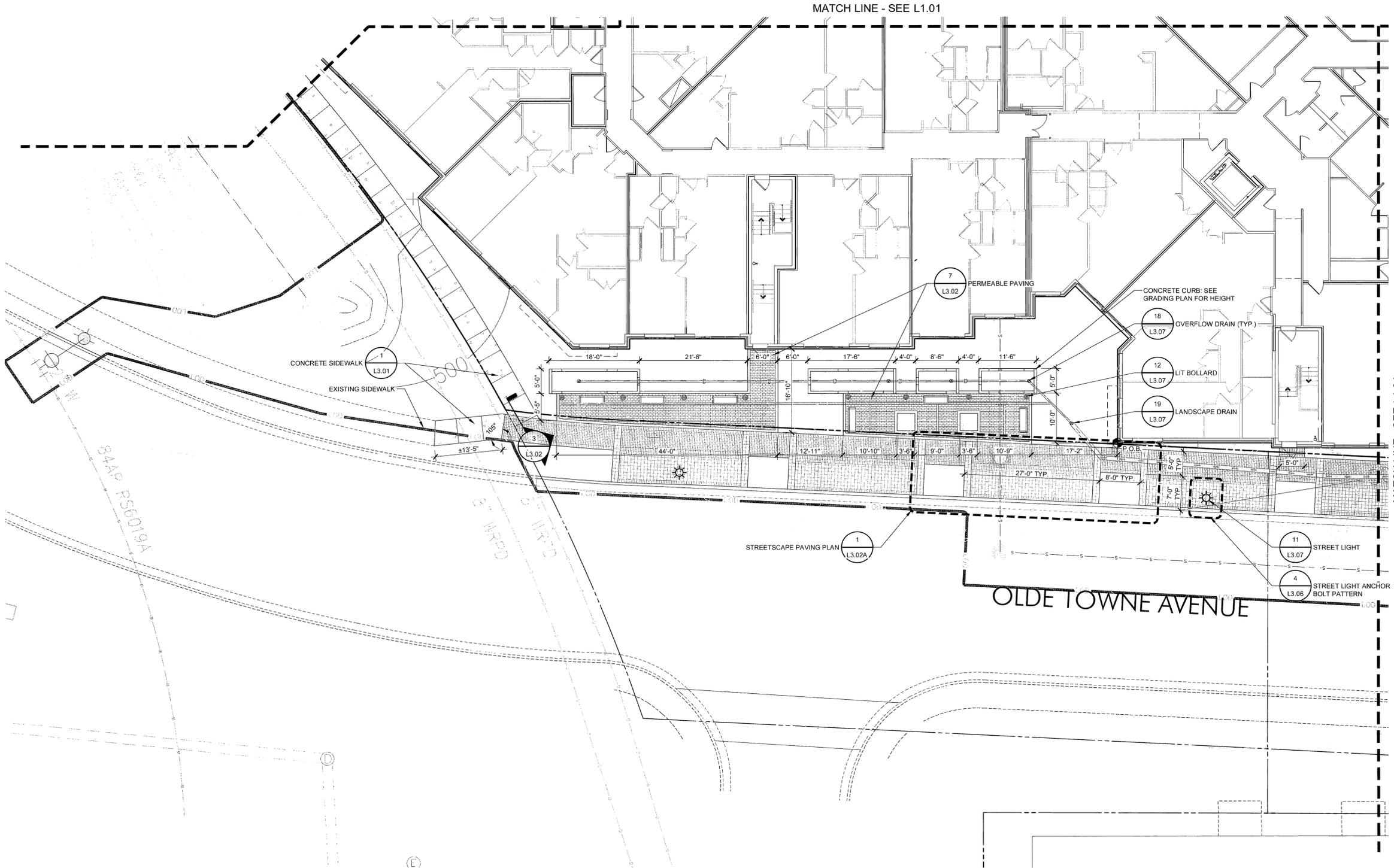
DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 SCALE: 1" = 10'-0"

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
 PROJECT NO: 10059
 DATE: 10.27.11

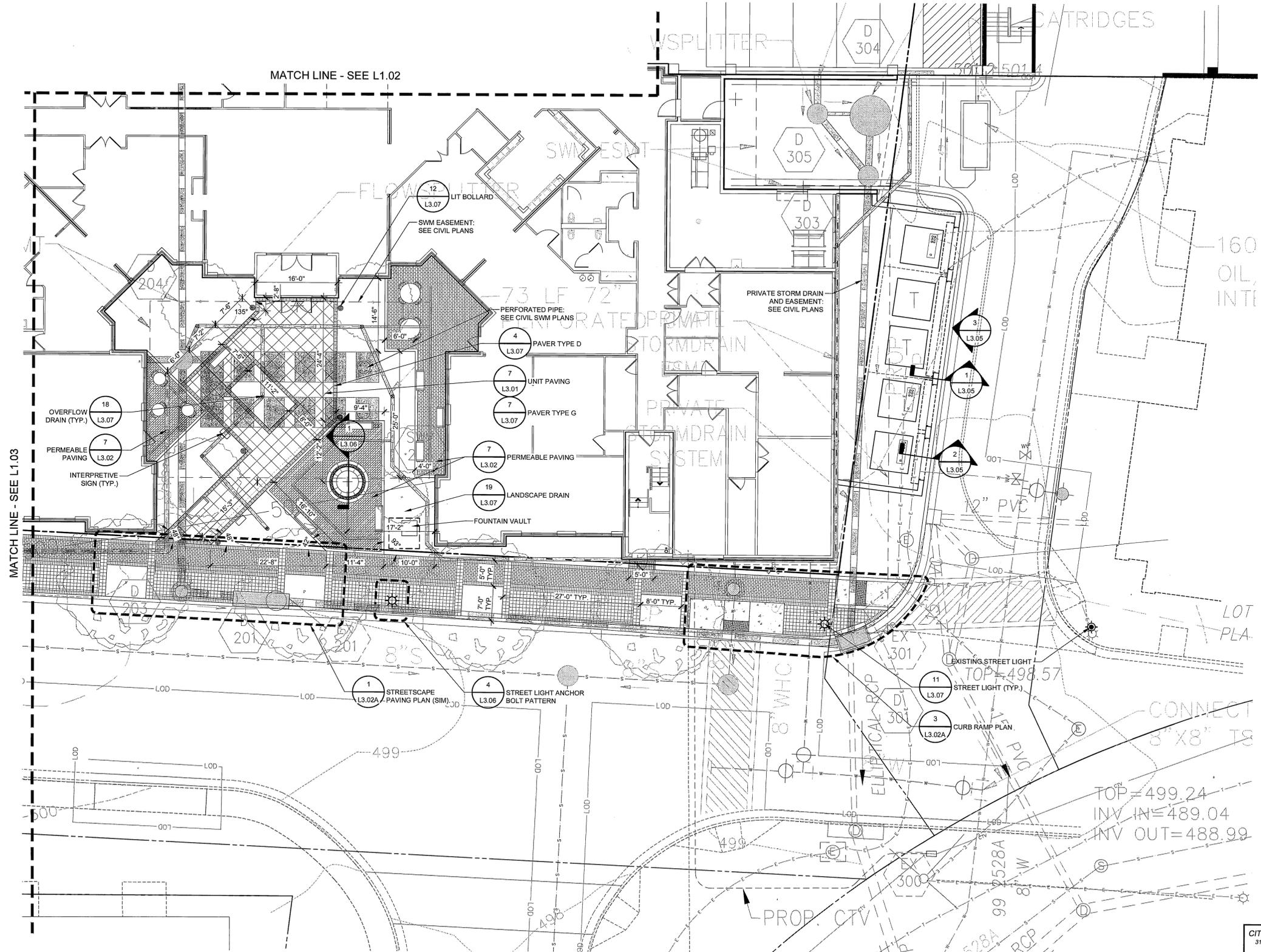
L1.03
 SITE PLAN SUBMISSION

NOT RELEASED FOR CONSTRUCTION

P:\2011\10059 Y-Site-RST\16.0 CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L1.03 HARDSCAPE ENLARGEMENT 3.dwg



CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-003 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/16/11 BY J. Plunke
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REVISIONS:

HARDSCAPE ENLARGEMENT 4



SCALE: 1" = 10'-0"

DESIGN: JP/DD
DRAWN: SP
CHECKED: DD
PROJECT NO: 10059
DATE: 11.22.11

L1.04

SITE PLAN SUBMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
WITH 11/16/11 CONDITIONS. SEE S.D.A. LETTER.
DATE 11/16/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

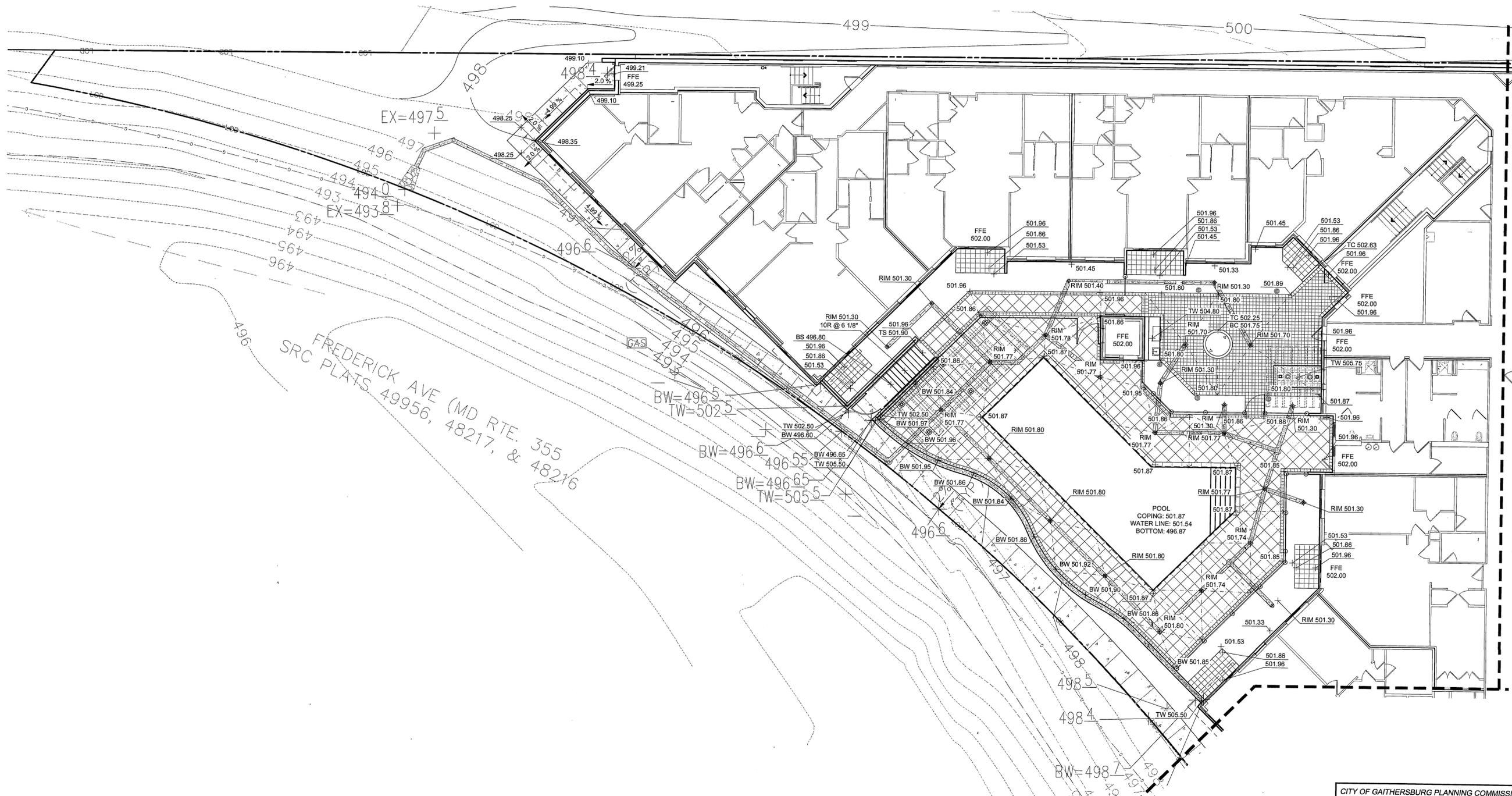
NOTES:
SEE CIVIL FOR ROAD MARKING AND SIGNAGE



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 CITY OF GAITHERSBURG, MARYLAND

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MATCH LINE - SEE L2.02

MATCH LINE - SEE L2.03

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REVISIONS:

GRADING ENLARGEMENT 1

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 NORTH

SCALE: 1" = 10'-0"

PROJECT NO: 10059
 DATE: 11.22.11

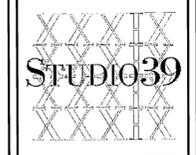
L2.01

SITE PLAN SUBMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/16/11 BY *[Signature]*
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

P:\2010\10059_Y_site\rfst6.dwg files\current phase\final site plan sheets and details\L2.01 GRADING ENLARGEMENT 1.dwg

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 CITY OF GAITHERSBURG, MARYLAND
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REVISIONS:
 1/27/11

GRADING
 ENLARGEMENT 2

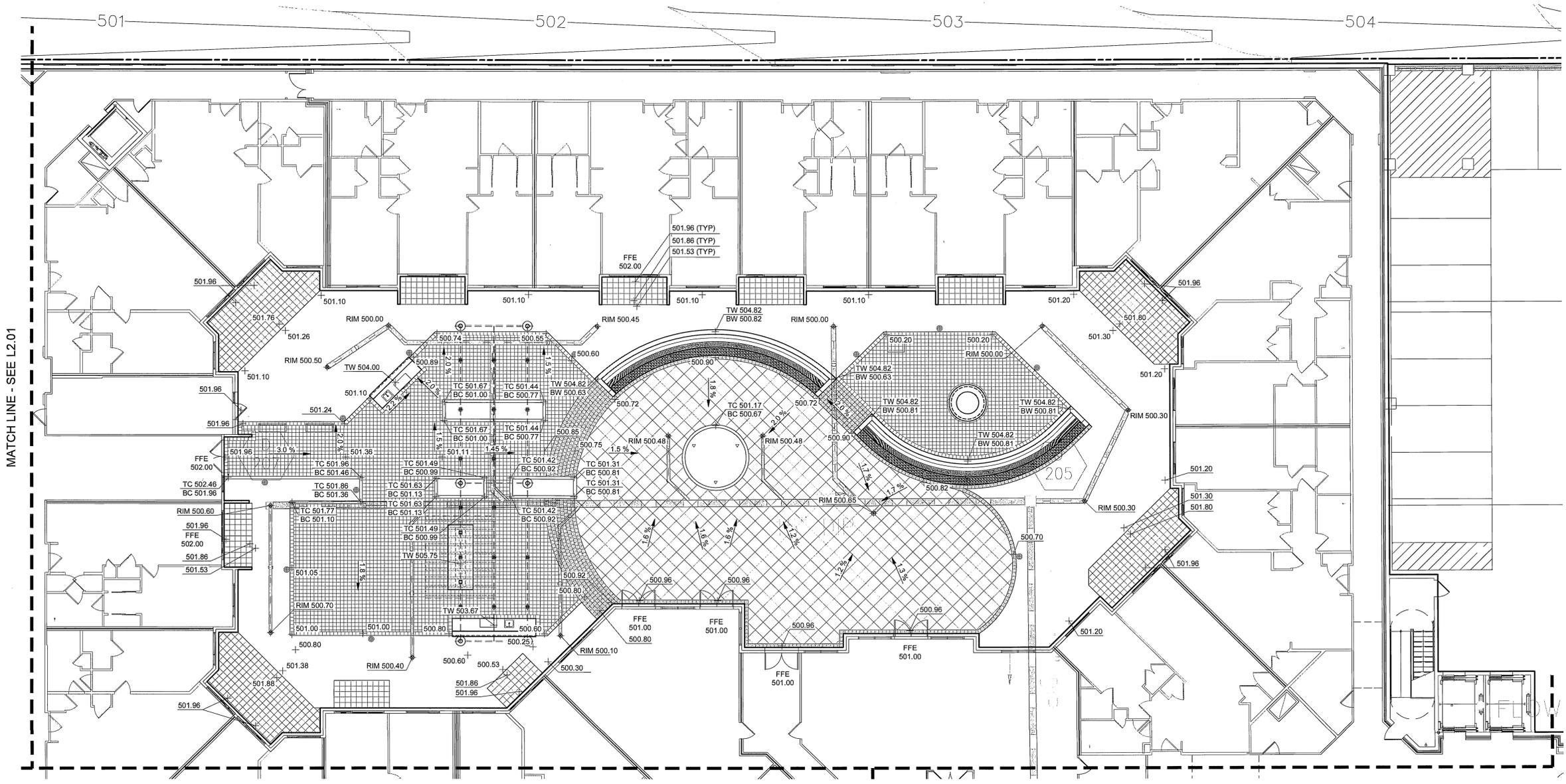
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 CHECKED: DD
 SCALE: 1" = 10'-0"

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
 PROJECT NO: 10059
 DATE: 10.27.11

L2.02
 SITE PLAN
 SUBMISSION

NOT RELEASED FOR CONSTRUCTION

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 1/27/11
 APPLICATION NO. SP-11002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/16/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



P:\2010\10059 Y-Site-RST\16.0 CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L2.02 GRADING ENLARGEMENT 2.dwg



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Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND
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REVISIONS:

GRADING ENLARGEMENT 3

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
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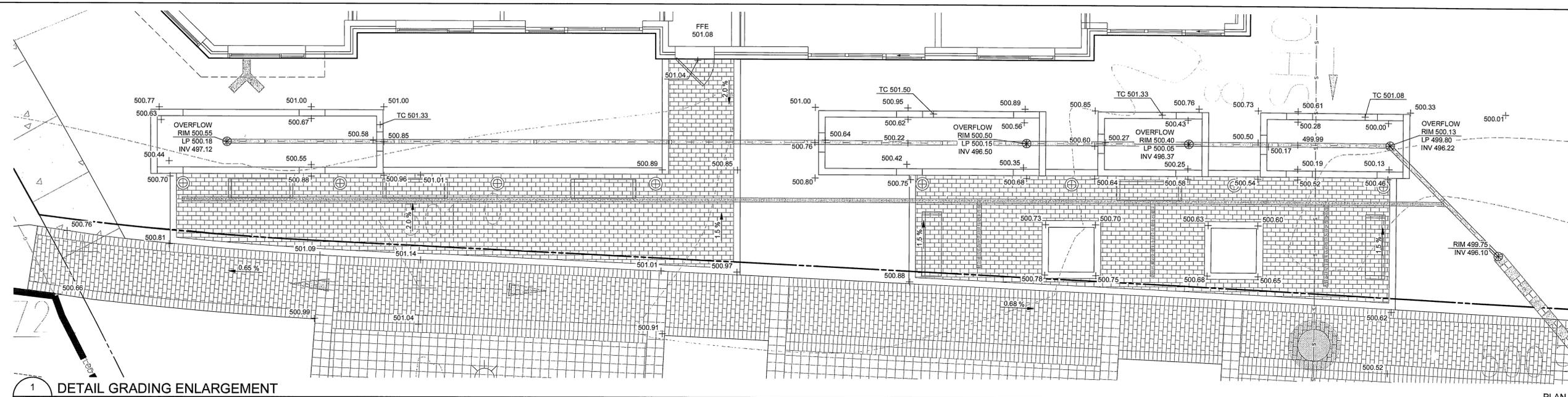
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PROJECT NO: 10059
 DATE: 10.27.11

L2.03

SITE PLAN SUBMISSION

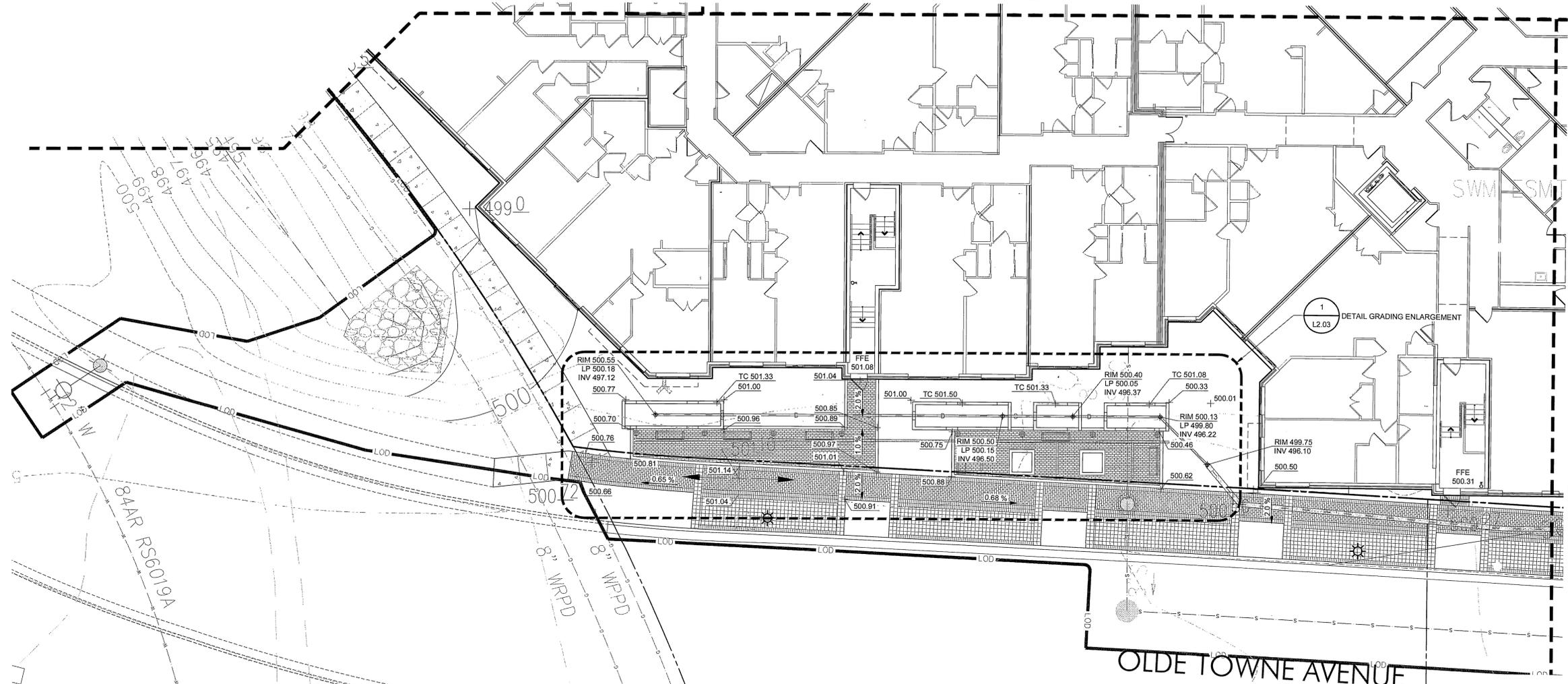
NOT RELEASED FOR CONSTRUCTION



1 DETAIL GRADING ENLARGEMENT
 Scale: 1" = 4'-0"

PLAN

MATCH LINE - SEE L2.01



1 DETAIL GRADING ENLARGEMENT
 L2.03

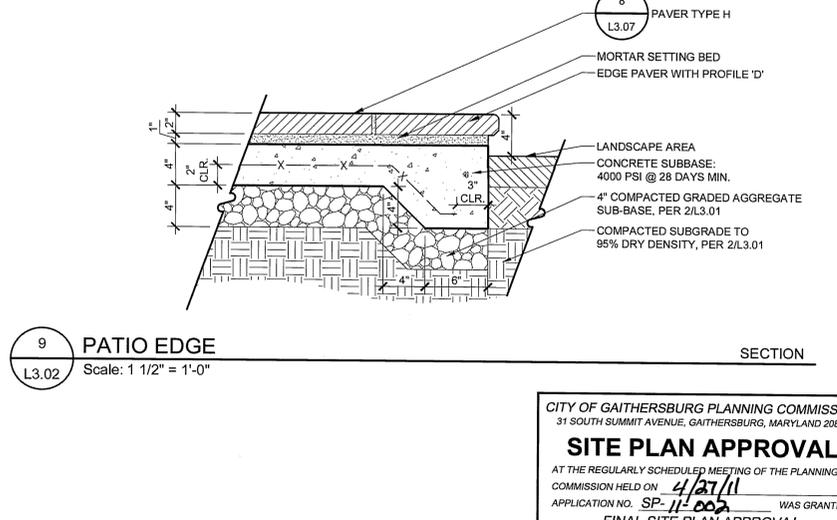
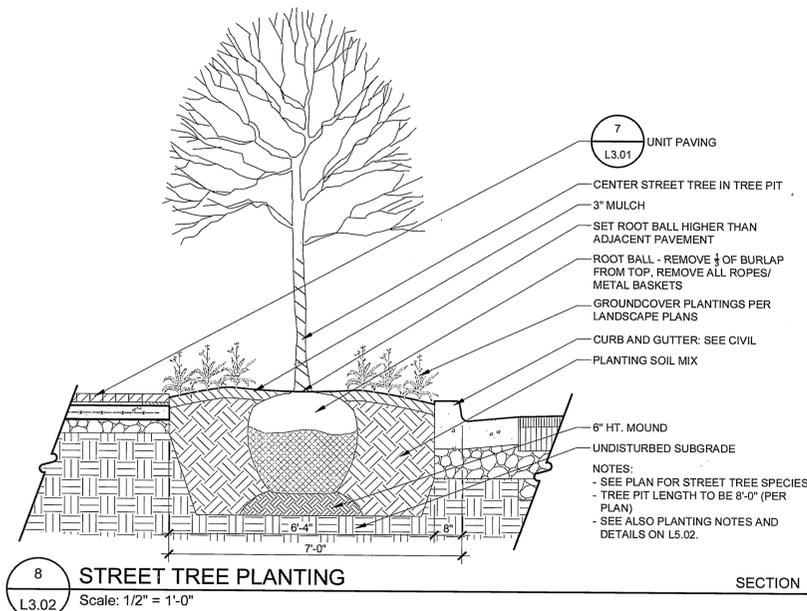
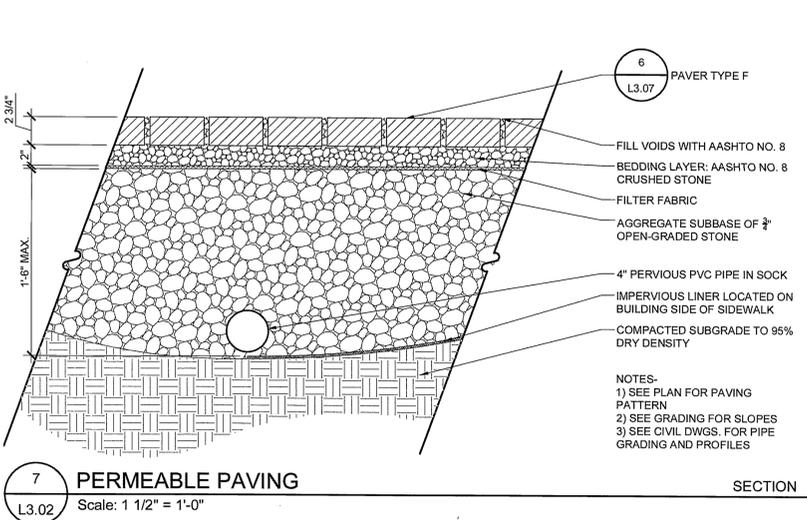
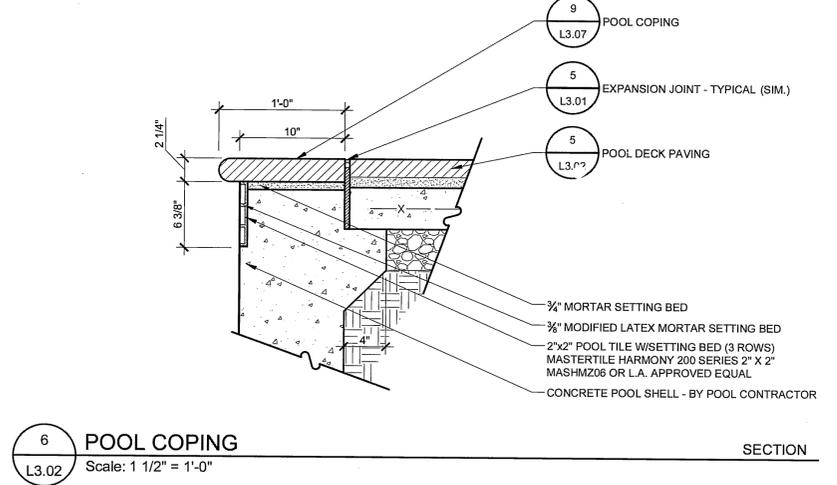
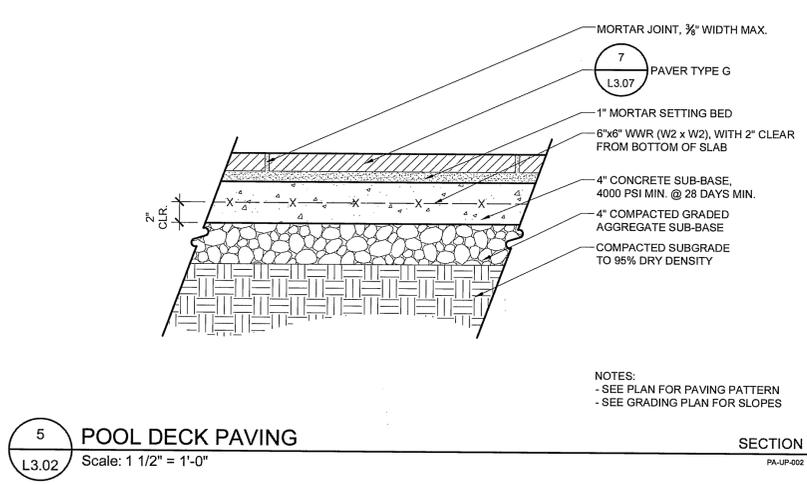
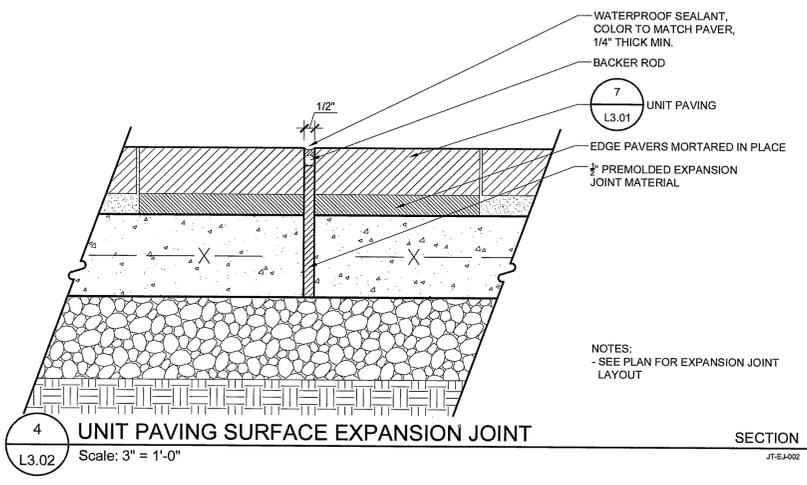
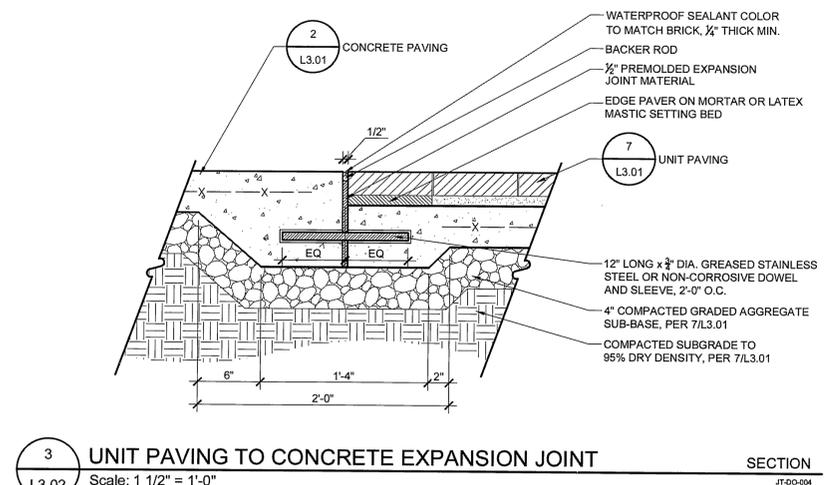
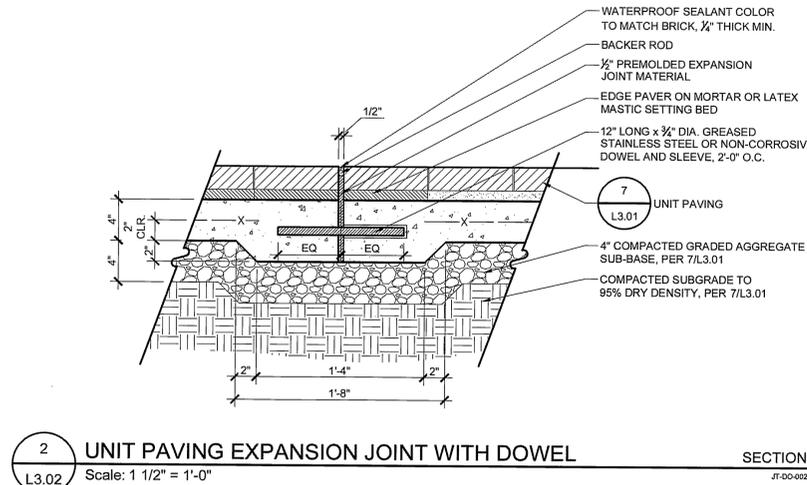
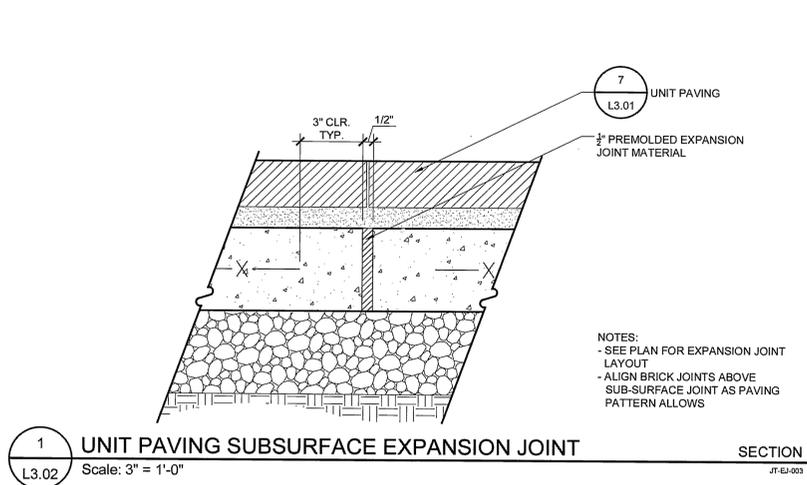
MATCH LINE - SEE L2.04

2 SITE ENLARGEMENT 3
 Scale: 1" = 10'-0"

PLAN

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS SEE S.D.A. LETTER.
 DATE 10/27/11 BY [Signature]
NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

P:\2011\10059\Y-Site-RST\6.0 CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L2.03 GRADING ENLARGEMENT 3.dwg



CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
APPLICATION NO. SP-11-005 WAS GRANTED
FINAL SITE PLAN APPROVAL
WIT: 11 () CONDITIONS SEE S.D.A. LETTER.
DATE 12/16/11 BY [Signature]

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STUDIO 39 LANDSCAPE ARCHITECTURE, P.C.

REVISIONS:

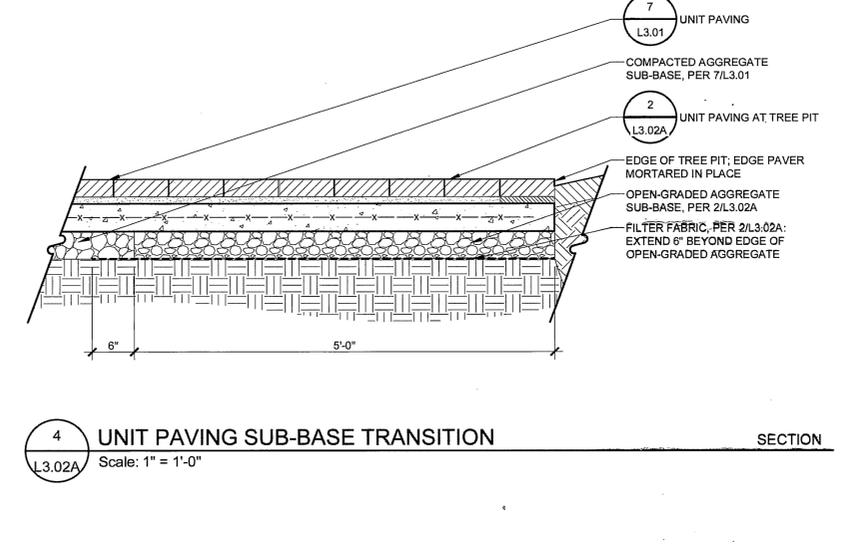
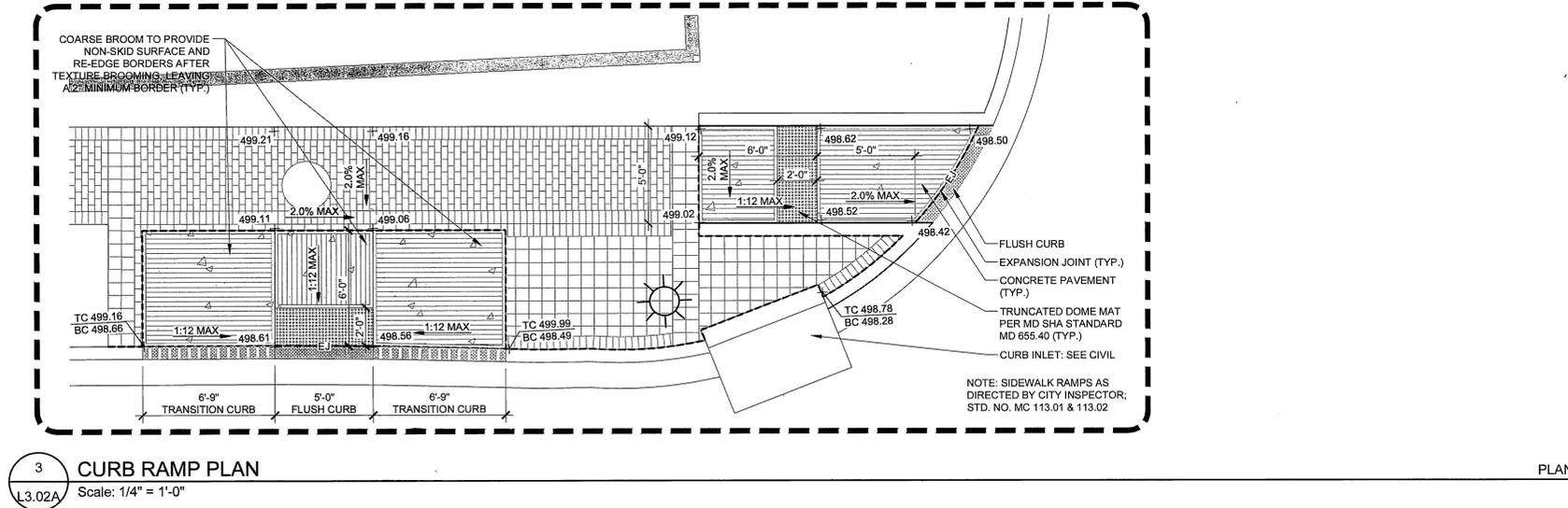
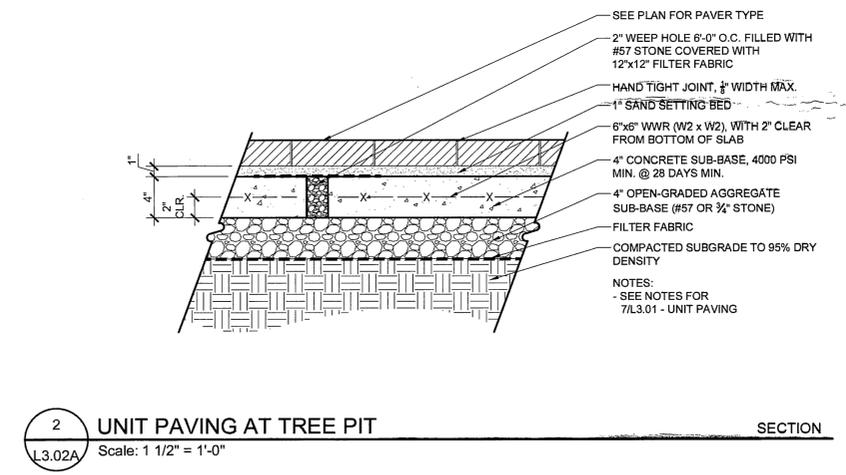
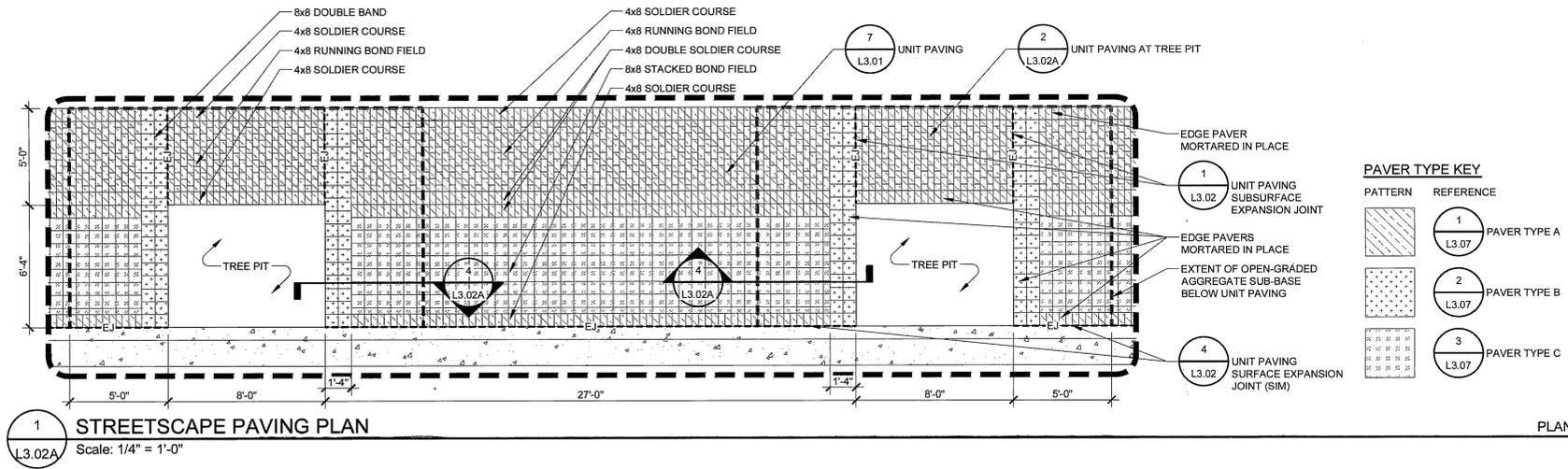
HARDSCAPE DETAILS

DESIGN: JP/DD
DRAWN: SP
CHECKED: DD
SCALE: Viewport Scale

PROJECT NO: 10059
DATE: 10.27.11

L3.02

SITE PLAN SUBMISSION



p:\2010\10059_Y-site-ramp\0 and files\current phase\final site plan sheets and details\L3.02A HARDCAPE DETAILS.dwg

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REVISIONS:

HARDCAPE DETAILS

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 NORTH

SCALE: AS NOTED

PROJECT NO: 10059
 DATE: 11.22.11

L3.02A

SITE PLAN SUBMISSION

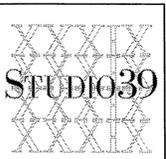
CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS SEE S.D.A. LETTER.
 DATE 12/14/11 BY J. Plummer

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

NOT RELEASED FOR CONSTRUCTION



Landscape Architecture, P.C.
 6416 Grovedale Drive, Suite 100-A
 Alexandria, Virginia 22310
 Tel: 703.719.6500 Fax: 703.719.6503
 Email: frontdesk@studio39.com

Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND

RST DEVELOPMENT, LLC

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REVISIONS:

HARDSCAPE DETAILS

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD

SCALE: AS NOTED

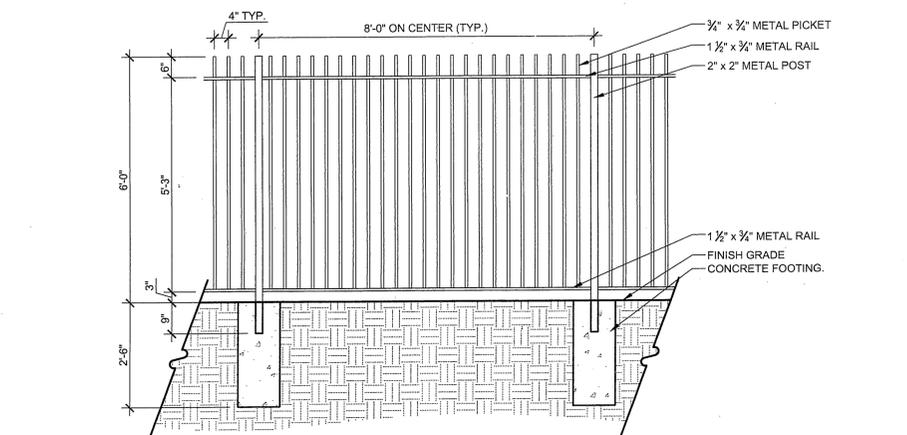
PROJECT NO: 10059

DATE: 10.27.11

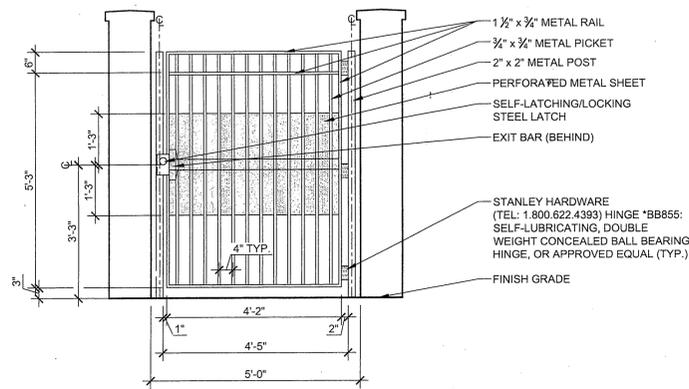
L3.03

SITE PLAN SUBMISSION

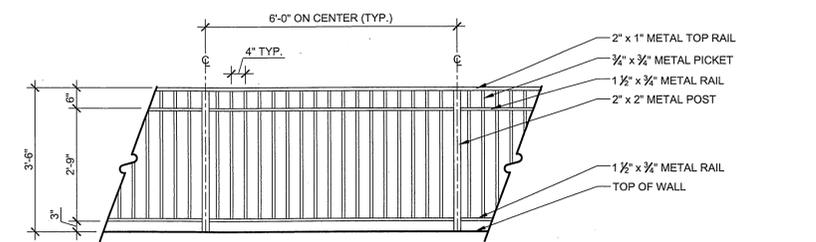
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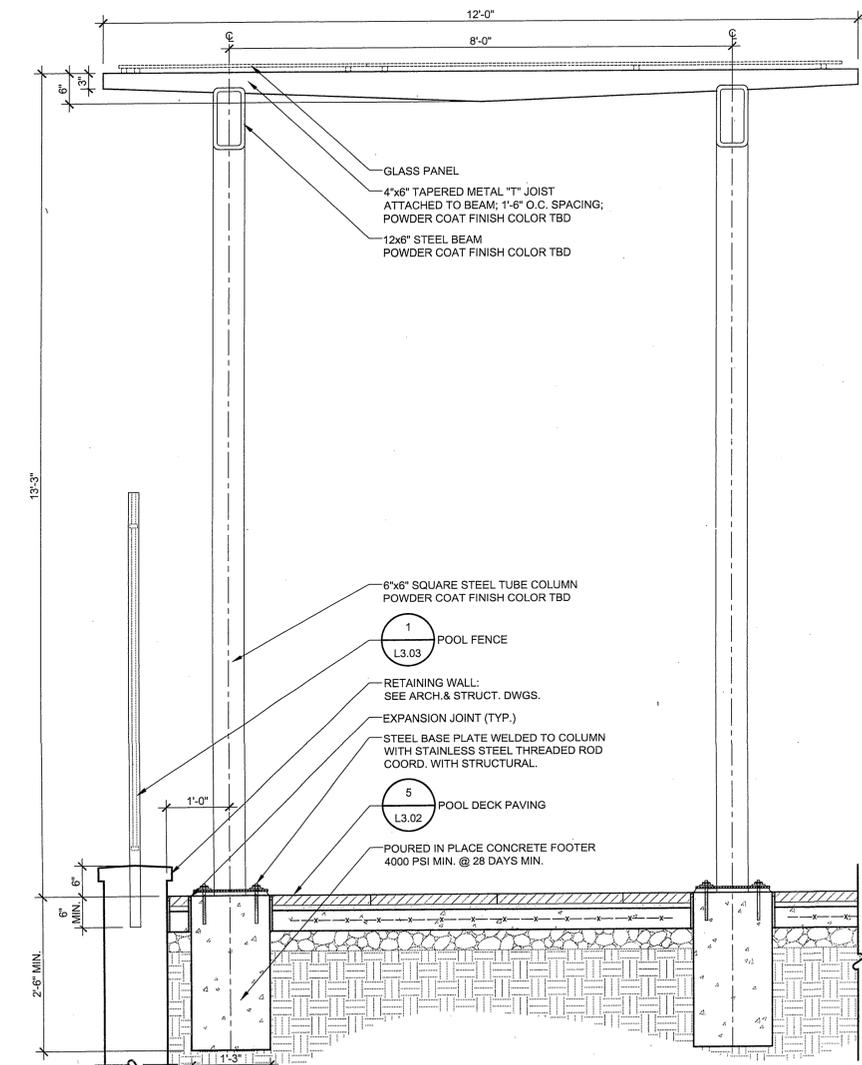
1 POOL FENCE SECTION
 L3.03 Scale: 1/2" = 1'-0"



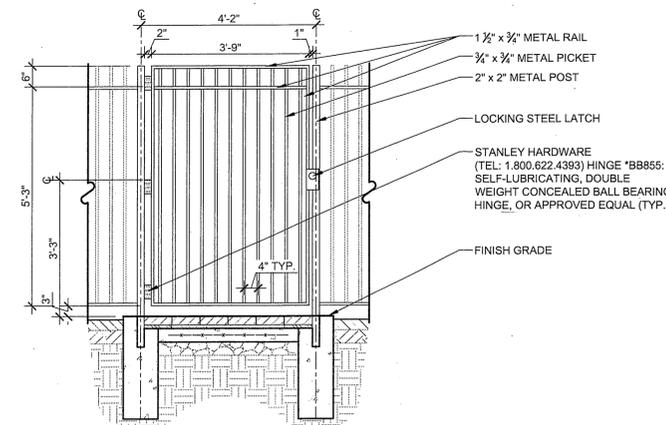
2 POOL GATE ELEVATION
 L3.03 Scale: 1/2" = 1'-0"



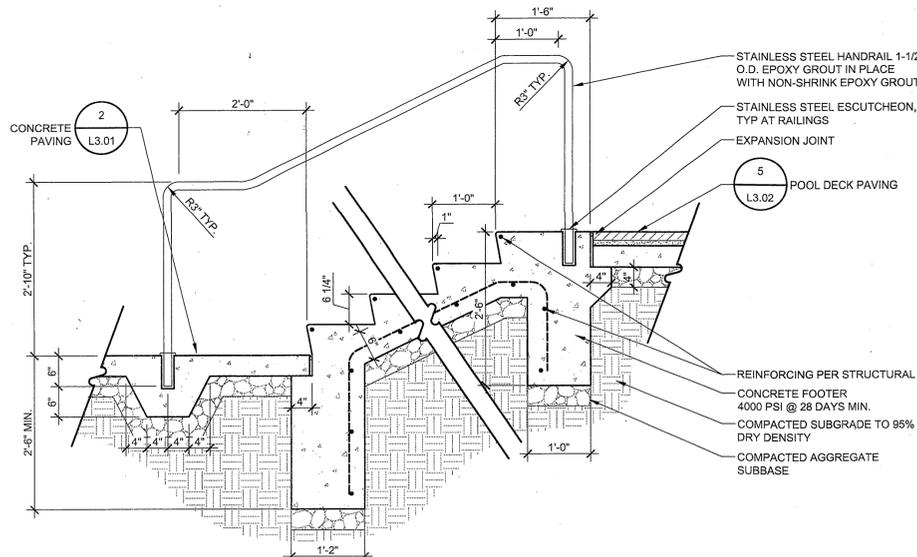
3 GUARDRAIL ELEVATION
 L3.03 Scale: 1/2" = 1'-0"



4 ARBOR SECTION
 L3.03 Scale: 3/4" = 1'-0"



5 POOL MAINTENANCE GATE ELEVATION
 L3.03 Scale: 1/2" = 1'-0"



6 CONCRETE STAIRS SECTION
 L3.03 Scale: 3/4" = 1'-0"

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-003 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/14/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

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REVISIONS:

HARDSCAPE DETAILS

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 SCALE: AS NOTED

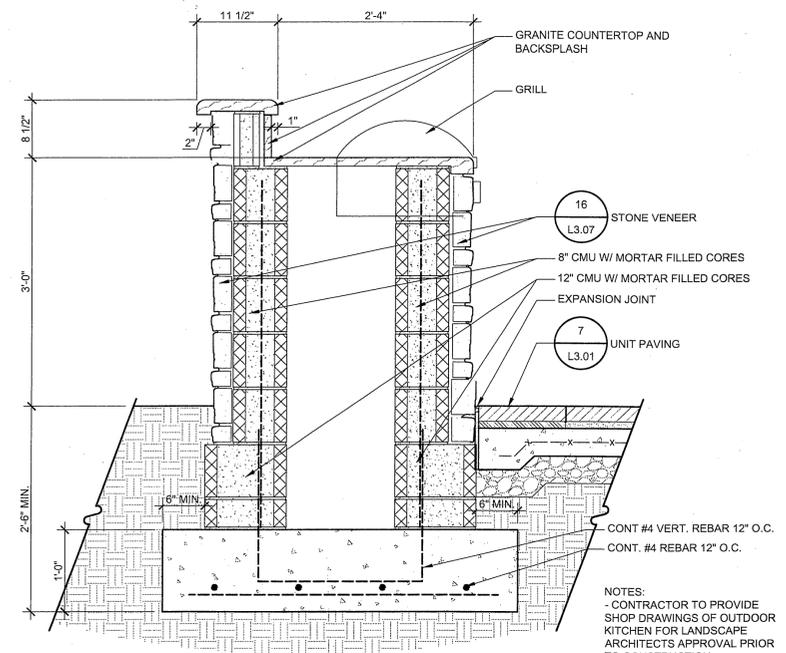


PROJECT NO: 10059
 DATE: 10.27.11

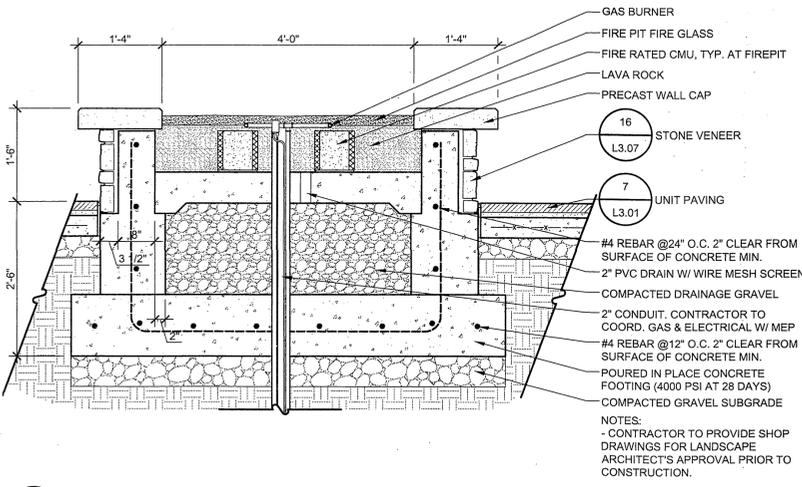
L3.04

SITE PLAN SUBMISSION

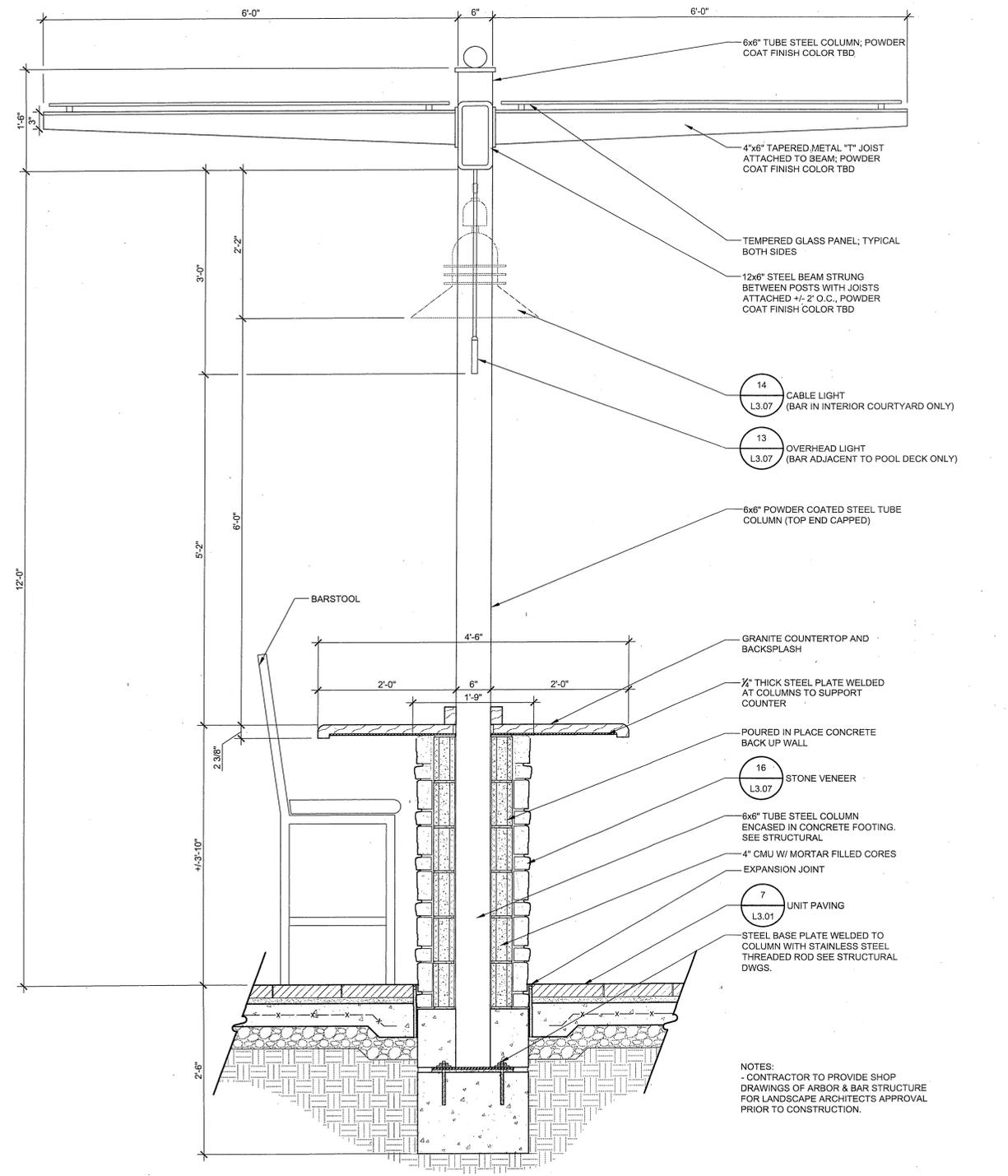
NOT RELEASED FOR CONSTRUCTION



2 OUTDOOR KITCHEN SECTION
 Scale: 1" = 1'-0"



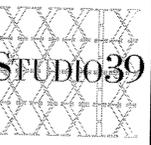
3 FIRE PIT SECTION
 Scale: 3/4" = 1'-0"



1 OUTDOOR BAR SECTION
 Scale: 1" = 1'-0"

P:\2010\10059 Y-Site\RST\6.0 CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L3.04 HARDSCAPE DETAILS.dwg

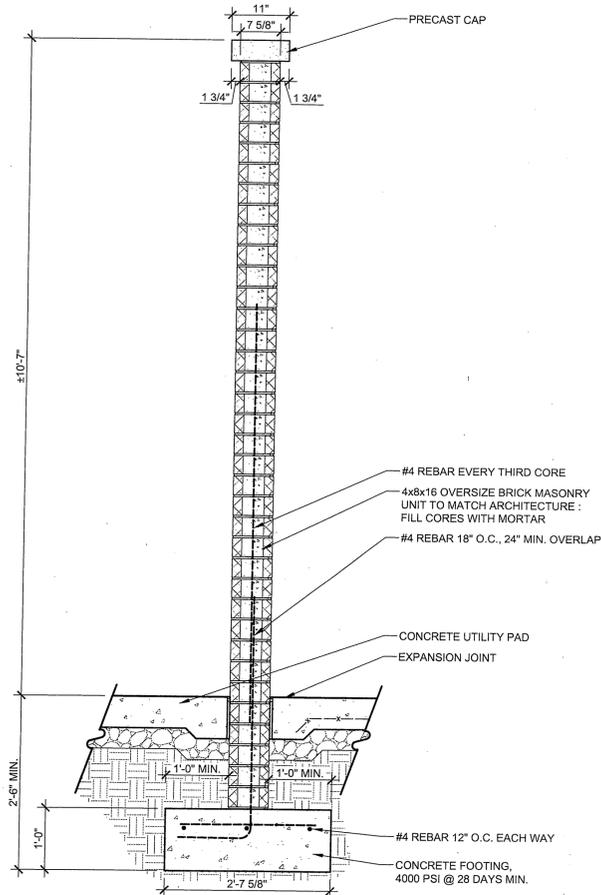
CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/14/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION



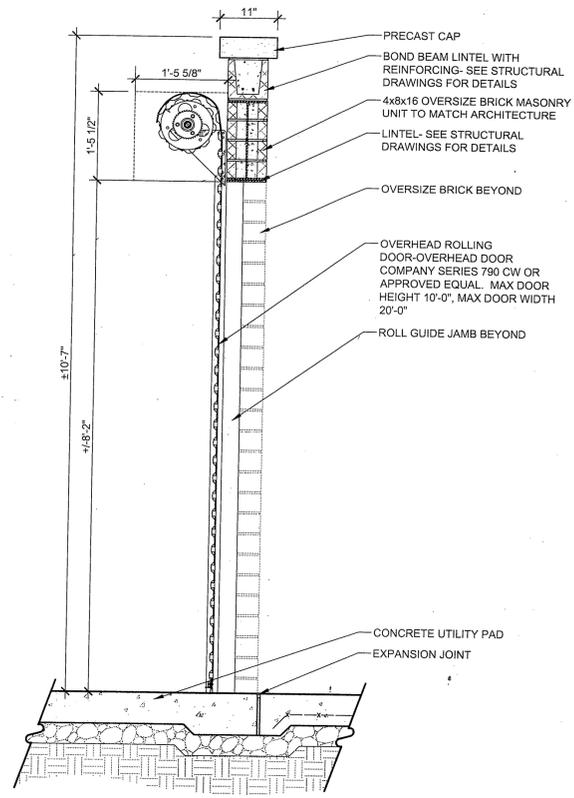
Landscap Architecture, P.C.
 6416 Grovedale Drive, Suite 100-A
 Alexandria, Virginia 22310
 Tel: 703.719.6500 Fax: 703.719.6503
 Email: frontdesk@studio39.com

Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND

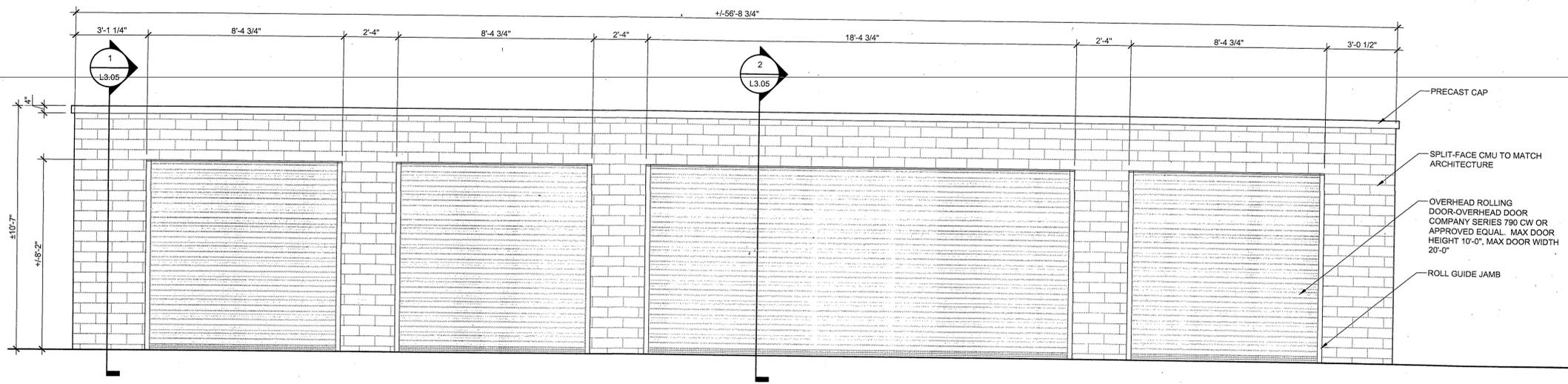
RST DEVELOPMENT, LLC



1 TRANSFORMER WALL SECTION
 SECTION
 Scale: 3/4" = 1'-0"



2 WALL SECTION AT OVERHEAD DOOR
 SECTION
 Scale: 3/4" = 1'-0"



3 ENCLOSURE ELEVATION
 SECTION
 Scale: 3/8" = 1'-0"

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REVISIONS:

HARDSCAPE DETAILS

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 SCALE: AS SHOWN

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 CONDITIONS. SEE S.D.A. LETTER.
 DATE 12/14/11 BY [Signature]

L3.05

SITE PLAN SUBMISSION

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

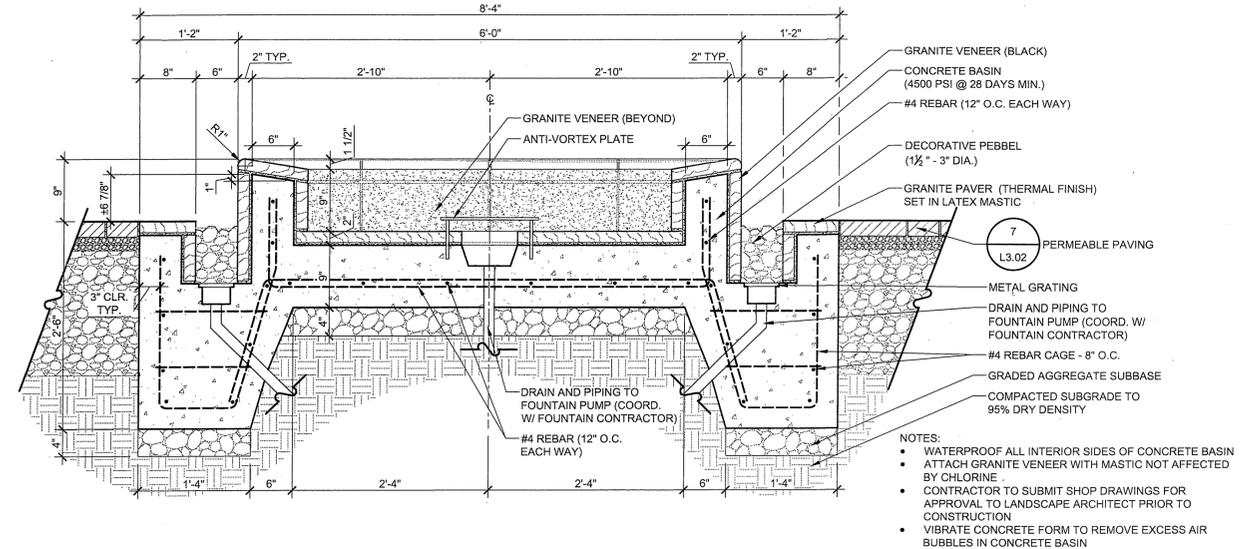
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NOT RELEASED FOR CONSTRUCTION



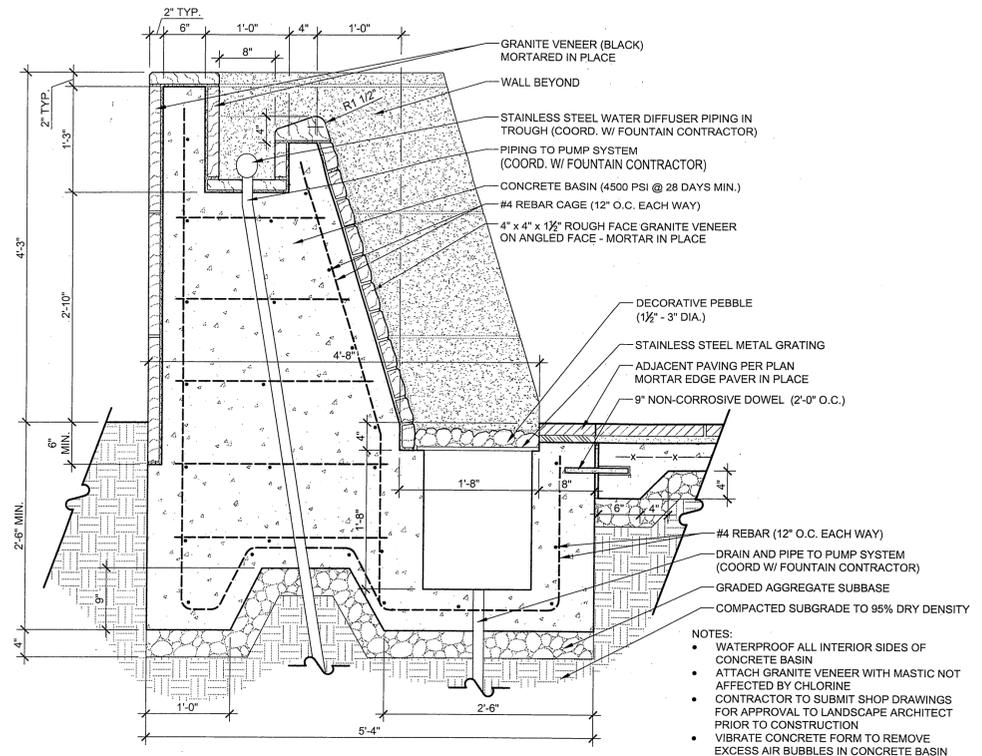
Landscape Architecture, P.C.
 6416 Grovedale Drive, Suite 100-A
 Alexandria, Virginia 22310
 Tel: 703.719.6550 Fax: 703.719.4503
 Email: frondesk@studio39.com

Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND
 RST DEVELOPMENT, LLC



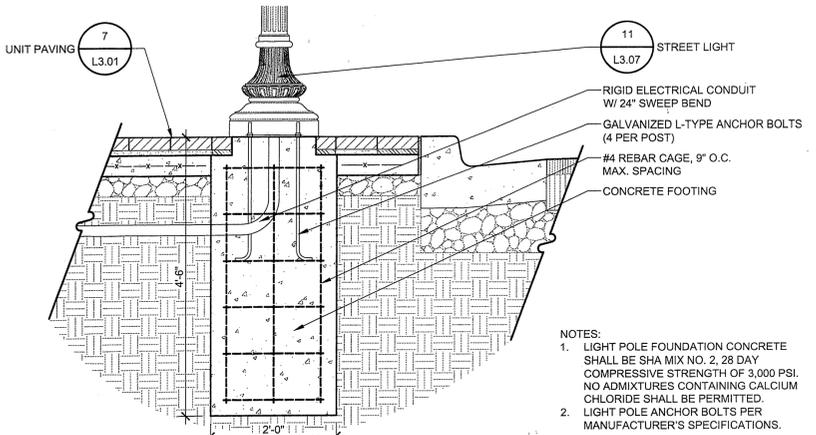
1 WATER FEATURE
 L3.06 Scale: 1" = 1'-0"

SECTION



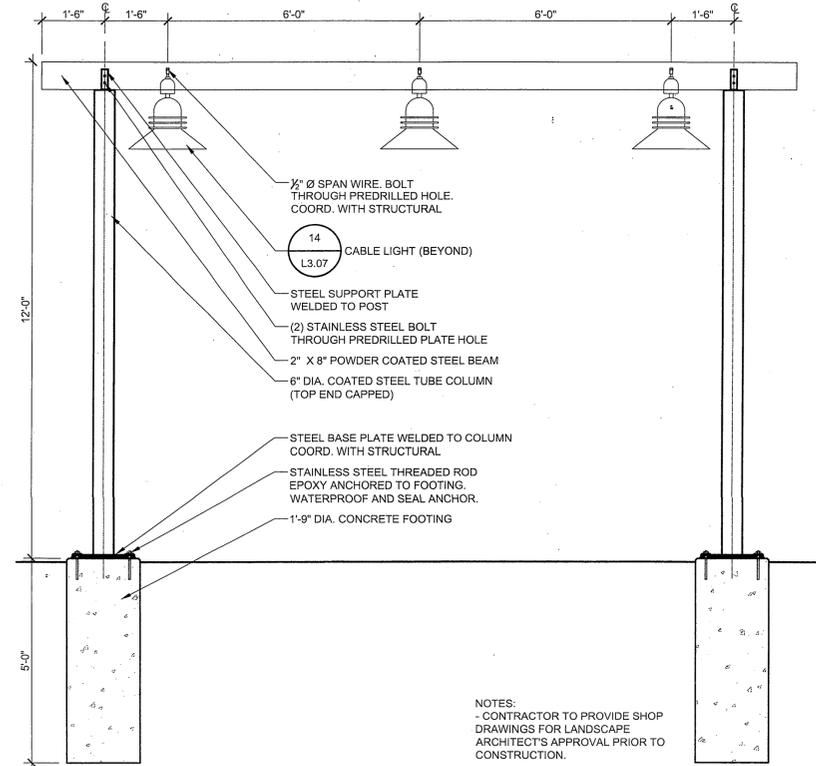
2 WATER WALL
 L3.06 Scale: 1" = 1'-0"

SECTION



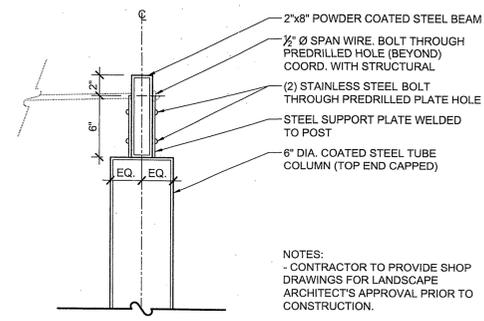
3 LIGHT POLE FOOTING
 L3.06 Scale: 3/4" = 1'-0"

SECTION



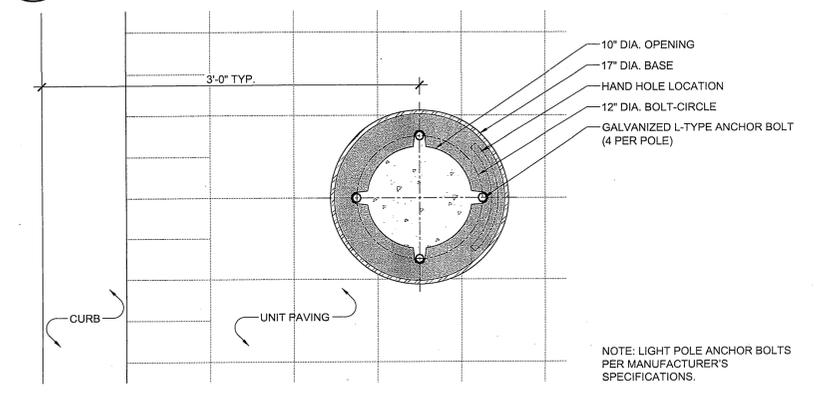
5 CABLE POST SUPPORT
 L3.06 Scale: 1/2" = 1'-0"

SECTION



6 CABLE POST BRACKET
 L3.06 Scale: 1 1/2" = 1'-0"

SECTION



4 STREET LIGHT ANCHOR BOLT PATTERN
 L3.06 Scale: 1 1/2" = 1'-0"

PLAN

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS ARE MY ORIGINAL WORK OR I AM A LICENSED PROFESSIONAL ENGINEER UNDER LICENSE NO. 15271, EXPIRATION DATE 11-28-2019.



REVISIONS:

HARDSCAPE DETAILS

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 SCALE: AS NOTED

PROJECT NO: 10059
 DATE: 10.27.11

L3.06

SITE PLAN SUBMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH () CONDITIONS SEE S.D.A. LETTER.
 DATE 12/10/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

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PAVER TYPE A

MODEL: 4" X 8" X 2 1/4" BELDEN PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 4" X 8" X 2 1/4"
QUANTITY: PER PLAN
COLOR: ADMIRAL FULL RANGE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



PAVER TYPE B

MODEL: 8" X 8" X 2 1/4" BELDEN PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 8" X 8" X 2 1/4"
QUANTITY: PER PLAN
COLOR: CHESTNUT HILL
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.

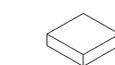


SHAPE



PAVER TYPE C

MODEL: 8" X 8" X 2 1/4" BELDEN PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 8" X 8" X 2 1/4"
QUANTITY: PER PLAN
COLOR: TUMBLEWEED
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.

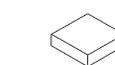


SHAPE



PAVER TYPE D

MODEL: 8" X 8" X 2 1/4" BELDEN PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 8" X 8" X 2 1/4"
QUANTITY: PER PLAN
COLOR: SIENNA
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



PAVER TYPE E

MODEL: 8" X 8" X 2 1/4" BELDEN PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 8" X 8" X 2 1/4"
QUANTITY: PER PLAN
COLOR: LANDMARK GRAY
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE

1 PAVER TYPE A Scale: NTS PROD. INFO.

2 PAVER TYPE B Scale: NTS PROD. INFO.

3 PAVER TYPE C Scale: NTS PROD. INFO.

4 PAVER TYPE D Scale: NTS PROD. INFO.

5 PAVER TYPE E Scale: NTS PROD. INFO.



PAVER TYPE F

MODEL: BELDEN AQUA BRIC PAVER OR APPROVED EQUAL
MANUFACTURER: BELDEN BRICK PO BOX 20910 CANTON, OHIO 44701 CONTACT: CHRIS MEYER (P) 703.550.9013
SIZE: 4 1/2" X 9" X 2 1/4"
QUANTITY: PER PLAN
COLOR: #671
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



PAVER TYPE G

MODEL: 24" X 24" X 1 3/4" HANOVER PREST PAVER
MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS 5000 HANOVER RD HANOVER, PA 17331 (P) 800. 426.4242
QUANTITY: PER PLAN
COLOR: #M2374 (BLUESTONE) SLATEFACE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



PAVER TYPE H

MODEL: 12" X 12" X 2" HANOVER PREST PAVER
MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS 5000 HANOVER RD HANOVER, PA 17331 (P) 800. 426.4242
QUANTITY: PER PLAN
COLOR: LIMESTONE WITH TUDOR FINISH
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



POOL COPING

MODEL: 12" X 24" X 1 3/4" HANOVER PREST PAVER POOL COPING OR APPROVED EQUAL
MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS 5000 HANOVER RD HANOVER, PA 17331 (P) 800. 426.4242
QUANTITY: PER PLAN
COLOR: #M2374 (BLUESTONE) SLATEFACE PROFILE D - FINISH 13
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE



GRANITE CURB

MODEL: GRANITE CURB
DESCRIPTION: 6" WIDE X 18" HIGH SAWN FACE GRANITE CURBING
MANUFACTURER: NORTH CAROLINA GRANITE CORP. PO BOX 151 MOUNT AIRY, NC 27030 (P) 800.227.6242
QUANTITY: STRAIGHT SEGMENTS: PER PLAN (1) 3'-0" OUTSIDE RADIUS CIRCLE (1) 6'-0" OUTSIDE RADIUS CIRCLE
COLOR: TBD
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



SHAPE

6 PAVER TYPE F Scale: NTS PROD. INFO.

7 PAVER TYPE G Scale: NTS PROD. INFO.

8 PAVER TYPE H Scale: NTS PROD. INFO.

9 POOL COPING Scale: NTS PROD. INFO.

10 STONE CURB Scale: NTS PROD. INFO.



STREET LIGHT

MODEL: LUMINAIRE: WA 15AHP 2083 G5 POST: C17117-CIS/BK-LAB (OR APPROVED EQUAL)
DESCRIPTION: ENHANCED WASHINGTON POSTLITE COLUMBIA 14' POLE W/ WEATHERPROOF RECEPTACLE (COMPLETE POLE PACKAGE)
QUANTITY: PER PLAN
MANUFACTURER: HOLOPHANE GRANVILLE BUSINESS PARK BUILDING A 3825 COLUMBUS RD SW GRANVILLE, OHIO 43023 CONTACT: VINCE PEARL (P) 410.707.2896
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS. SEE 3/L3.06 FOR LIGHT POLE FOOTING.



BOLLARD WITH LIGHT

MODEL: LIGHT COLUMN BOLLARD 500 SERIES WITH STANDARD SHIELD, AND STANDARD MOUNTING
QUANTITY: PER PLAN
MANUFACTURER: FORMS AND SURFACES 30 PINE STREET PITTSBURGH, PA 15223 CONTACT: FAYE MOHAB (P) 800. 451.0410
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATIONS AND GOVERNING MUNICIPAL REQUIREMENTS OR APPROVED EQUAL.



OVERHEAD LIGHT

MODEL: BK DELTA STAR RING MOUNT SSL (LED)
QUANTITY: PER PLAN
CONTACT: TIM GUNTER LIGHTING ENVIRONMENTS (P) 410.712.0239
MANUFACTURER: BK LIGHTING 40429 BRICKYARD DRIVE MADERA, CA 93636
NOTE: INSTALL PER MANUFACTURER'S RECOMMENDATIONS & GOVERNING MUNICIPAL REQUIREMENTS. CONTRACTOR TO VERIFY QUANTITIES OR APPROVED EQUAL.



CABLE LIGHT

MODEL: NYHAVN CABLE HANGER 22.3" Ø X 14.9" FIXTURE HEIGHT 8.7" CONNECTION HEIGHT
MANUFACTURER: LOUIS POULSEN ALLIANCE LIGHTING: MIKE DEVLIN 866.621.3738
QUANTITY: PER PLAN
COLOR: TBD
MOUNTING HEIGHT: BOTTOM OF FIXTURE MINIMUM OF 9'-9" ABOVE FINISH GRADE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. CONTRACTOR TO INCLUDE ALL WIRING, CONDUIT, PERMITS, ETC. TO PERFORM THE WORK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



UPLIGHT

MODEL: BK DELTA STAR SSL (LED)
QUANTITY: PER PLAN
CONTACT: TIM GUNTER LIGHTING ENVIRONMENTS (P) 410.712.0239
MANUFACTURER: BK LIGHTING 40429 BRICKYARD DRIVE MADERA, CA 93636
NOTE: INSTALL PER MANUFACTURER'S RECOMMENDATIONS & GOVERNING MUNICIPAL REQUIREMENTS. CONTRACTOR TO VERIFY QUANTITIES. OR APPROVED EQUAL.

11 STREET LIGHT Scale: NTS PROD. INFO.

12 LIT BOLLARD Scale: NTS PROD. INFO.

13 OVERHEAD LIGHT Scale: NTS PROD. INFO.

14 CABLE LIGHT Scale: NTS PROD. INFO.

15 UPLIGHT Scale: NTS PROD. INFO.



STONE VENEER

MODEL: SILVER LEDGESTONE (OR APPROVED EQUAL)
MANUFACTURER: NATURAL STONE VENEERS WWW.NSVI.COM CONTACT: CHRIS MAYER P: 703.550.9013
SIZE: 1 1/2" H; 4" - 14" L
QUANTITY: PER PLAN
COLOR: SILVER AND GRAY HUES
NOTE: INSTALL PER MANUFACTURERS RECOMMENDATION



HARDSCAPE DRAIN

MODEL: 30004-85-2 + 2W OR APPROVED EQUAL
DESCRIPTION: 30000 SERIES BODY FOR 4" PIPE WITH 8" SQUARE SUPER-FLO STRAINER AND W SERIES 2" STRAINER EXTENSION
MANUFACTURER: JOSAM 525 WEST HIGHWAY 20 MICHIGAN CITY, IN 46360 (P) 800.36.JOSAM WWW.JOSAM.COM
QUANTITY: PER PLAN
OPTIONS: SATIN FINISH BRONZE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.

STRAINER AND BODY



EXTENSION



OVERFLOW DRAIN

MODEL: M SERIES OR APPROVED EQUAL
DESCRIPTION: ROUND CHROME PLATED OVERFLOW STANDPIPE WITH DOME
MANUFACTURER: JOSAM 525 WEST HIGHWAY 20 MICHIGAN CITY, IN 46360 (P) 800.36.JOSAM WWW.JOSAM.COM
QUANTITY: PER PLAN
OPTIONS: SATIN FINISH BRONZE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.



LANDSCAPE DRAIN

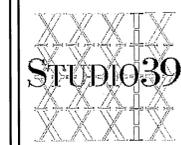
MODEL: 39600 OR APPROVED EQUAL
DESCRIPTION: PLANTING AREA DRAIN WITH STAINLESS MESH SCREEN COVERED DOME
MANUFACTURER: JOSAM 525 WEST HIGHWAY 20 MICHIGAN CITY, IN 46360 (P) 800.36.JOSAM WWW.JOSAM.COM
QUANTITY: PER PLAN
OPTIONS: NONE
NOTE: CONTRACTOR TO VERIFY QUANTITIES. INSTALL PER MANUFACTURERS RECOMMENDATION AND GOVERNING MUNICIPAL REQUIREMENTS.

16 STONE VENEER Scale: NTS PROD. INFO.

17 HARDSCAPE DRAIN Scale: NTS PROD. INFO.

18 OVERFLOW DRAIN Scale: NTS PROD. INFO.

19 LANDSCAPE DRAIN Scale: NTS PROD. INFO.



Landscape Architecture, P.C. 6416 Grovedale Drive, Suite 100-A Alexandria, Virginia 22310 Tel: 703.719.6500 Fax: 703.719.6503 Email: frondes@studio39.com

Y-SITE DEVELOPMENT CITY OF GAITHERSBURG, MARYLAND RST DEVELOPMENT, LLC



REVISIONS: PRODUCT INFO

DESIGN: JP/DD DRAWN: SP CHECKED: DD SCALE: AS SHOWN

CITY OF GAITHERSBURG PLANNING COMMISSION 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877 SITE PLAN APPROVAL AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11 APPLICATION NO. SP-11-002 WAS GRANTED FINAL SITE PLAN APPROVAL WITH () CONDITIONS SEE S.D.A. LETTER. DATE 12/16/11 BY [Signature] NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION PROJECT NO: 10059 DATE: 10.27.11 L3.07 SITE PLAN SUBMISSION

P:\2010\10059 Y-Site-RST\16.0 CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L3.07 PRODUCT INFO.dwg

NOT RELEASED FOR CONSTRUCTION



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Y-SITE DEVELOPMENT
CITY OF GAITHERSBURG, MARYLAND

RST DEVELOPMENT, LLC

MATCH LINE - SEE L4.02

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REVISIONS:

LANDSCAPE ENLARGEMENT 1

DESIGN: JP/DD
DRAWN: SP
CHECKED: DD

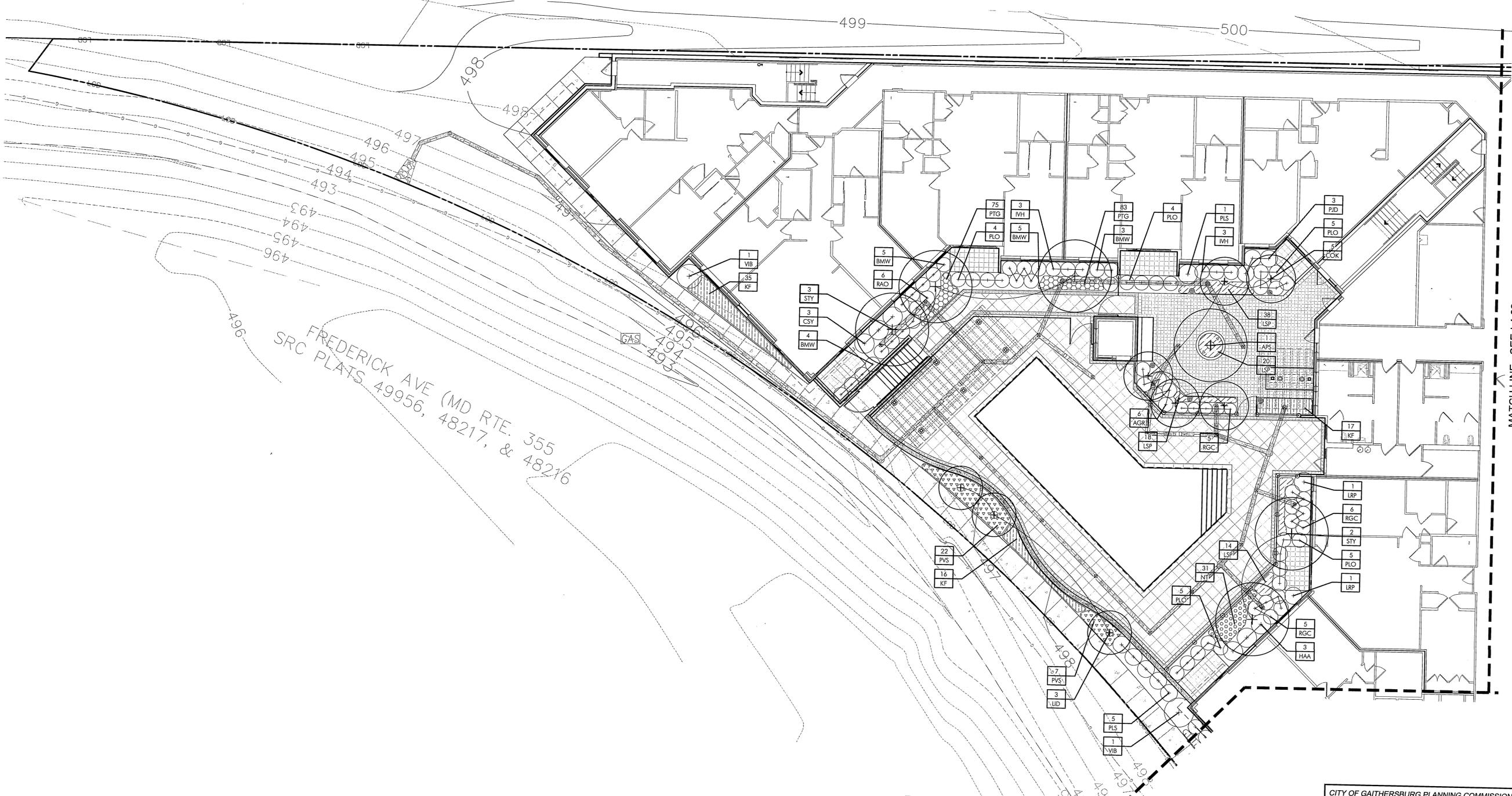
SCALE: 1" = 10'-0"

PROJECT NO: 10059
DATE: 11.22.11

L4.01

SITE PLAN SUBMISSION

NOT RELEASED FOR CONSTRUCTION



FREDERICK AVE (MD RTE. 355)
SRC PLATS 49956, 48217, & 48216

MATCH LINE - SEE L4.03

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/23/11
APPLICATION NO. SP-11-007 WAS GRANTED
FINAL SITE PLAN APPROVAL
WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
DATE 12/14/11 BY [Signature]
NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

p:\2010\10059_Y-site-rst\0 cad files\current phase\final site plan sheets and details\L4.01 LANDSCAPE ENLARGEMENT 1.dwg



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Y-SITE DEVELOPMENT
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REVISIONS:

LANDSCAPE ENLARGEMENT 3

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 N O R T H

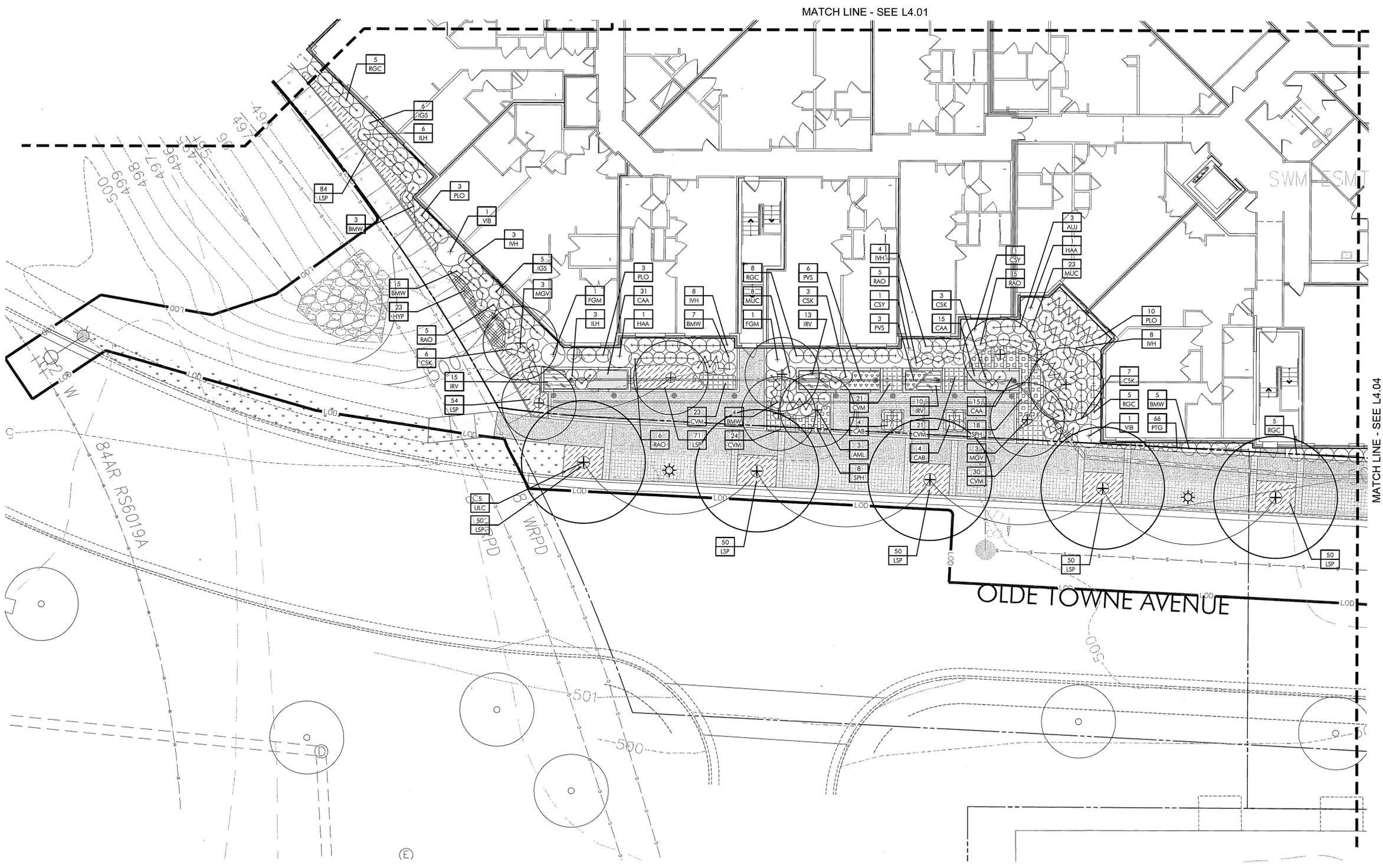
SCALE: 1" = 10'-0"

PROJECT NO: 10059
 DATE: 10.27.11

L4.03

SITE PLAN SUBMISSION

NOT RELEASED FOR CONSTRUCTION



MATCH LINE - SEE L4.01

MATCH LINE - SEE L4.04

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

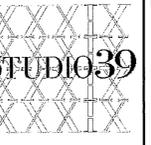
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-002 WAS GRANTED

FINAL SITE PLAN APPROVAL

WIT: () CONDITIONS SEE S.D.A. LETTER.
 DATE 12/10/11 BY [Signature]

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

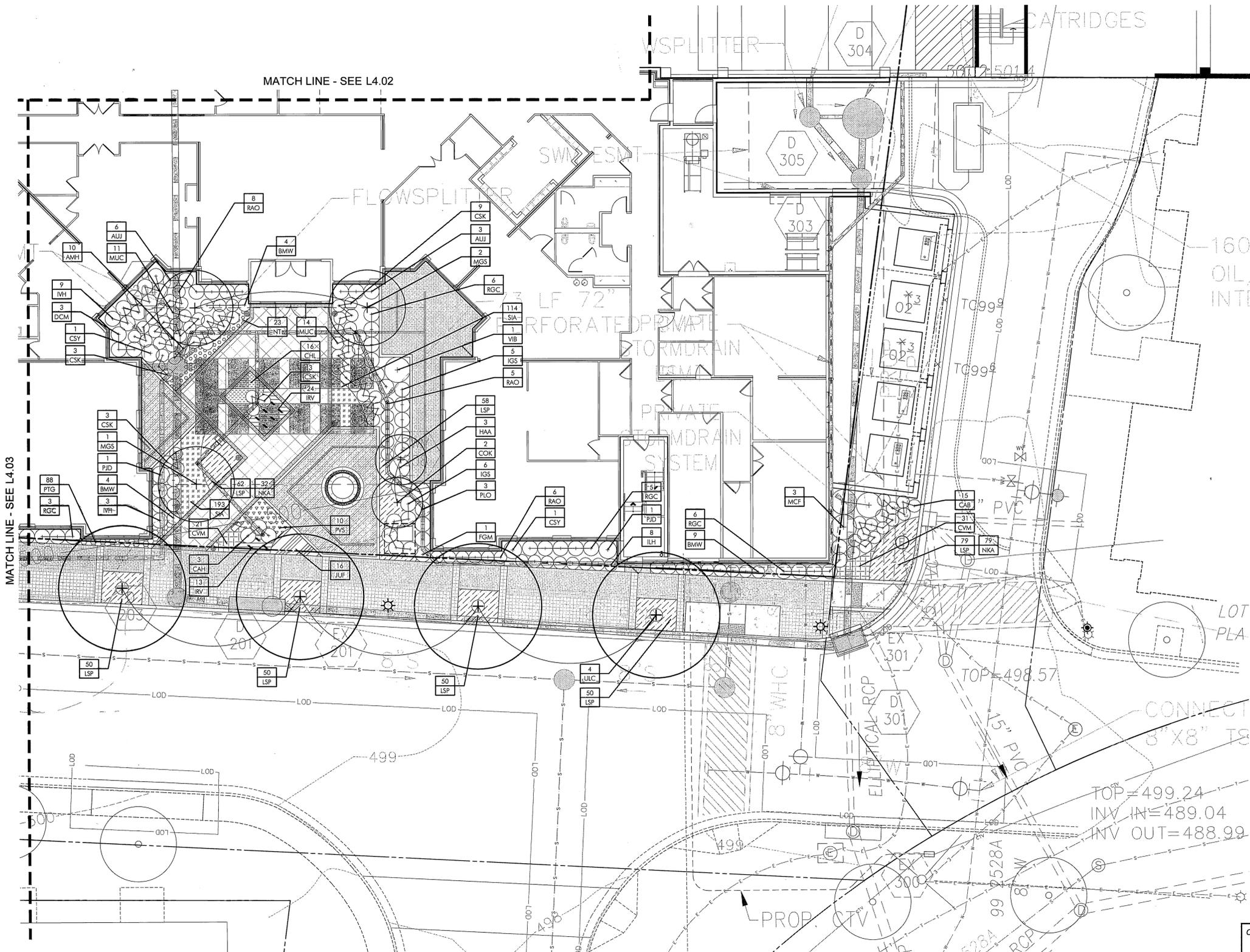
P:\2010\10059 Y-Site-RS116.CAD Files\CURRENT PHASE\Final Site Plan Sheets and Details\L4.03 LANDSCAPE ENLARGEMENT 3.dwg



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Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND

RST DEVELOPMENT, LLC



MATCH LINE - SEE L4.03

MATCH LINE - SEE L4.02

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REVISIONS:

LANDSCAPE ENLARGEMENT 4

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD

SCALE: 1" = 10'-0"

PROJECT NO: 10059
 DATE: 11.22.11

L4.04

SITE PLAN SUBMISSION

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
 AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON 4/27/11
 APPLICATION NO. SP-11-063 WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH 11 () CONDITIONS. SEE S.D.A. LETTER.
 DATE 4/27/11 BY [Signature]
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

p:\2011\10059_y_site\116.0_cad_files\enlargement_phase\final site sheets and details\L4.04 LANDSCAPE ENLARGEMENT 4.dwg

NOT RELEASED FOR CONSTRUCTION

PLANT LIST

SHADE TREES

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIFER	REMARKS
1	CFC	Carpinus	caroliniana		American Hornbeam, Ironwood	10 - 12'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen, to be selected by Landscape Architect
9	ULC	Ulmus	parvifolia		Chinese Elm	14 - 16'	3 - 3 1/2"	B4B, full uniform crown, symmetrical branching, full specimen

ORNAMENTAL TREES

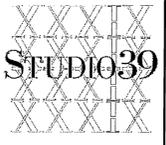
QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	CALIFER	REMARKS
7	AFP	Acer	palmatum	'Fascination'	Fascination Japanese Maple	8 - 10'	2 1/2" min.	B4B, uniform branching, full specimen
1	AFB	Acer	palmatum	'Sango-kaku'	Coral Bark Japanese Maple	8 - 10'	2 1/2" min.	B4B, uniform branching, full specimen, to be selected by Landscape Architect
5	AML	Amelanchier	canadensis	'Lamarkii'	Lamarkii Serviceberry	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching
10	COK	Cornus	kousa		Kousa Dogwood	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching
3	LID	Lagerstroemia	Indica	'Dynamite'	Dynamite Crape Myrtle	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching
6	MGV	Magnolia	virginiana		Sweetbay Magnolia	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching
5	MGS	Magnolia	x soulangeana		Saucer Magnolia	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching
6	FRY	Prunus	yedoensis		Yoshino Cherry	8 - 10'	2 1/2" min.	B4B, uniform branching, full specimen
5	STY	Styrax	japonica		Japanese Snowbell	8 - 10'	1 1/2" min.	B4B, multi-trunk, 3 trunk minimum, full symmetrical branching

SHRUBS

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	SPREAD	REMARKS
6	AGR	Abelia	x grandiflora	'Rose Creek'	Rose Creek Abelia	12 - 15"	18 - 24"	#2 cont, healthy, vigorous, well-rooted & established in container
12	AUJ	Aucuba	japonica	'Rozannie'	Rozannie Japanese Aucuba	15 - 18"	18 - 24"	#2 cont, healthy, vigorous, well-rooted & established in container
63	BMW	Buxus	microphylla	'Wintergreen'	Wintergreen Boxwood	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
126	CAV	Calluna	vulgaris		Heather	12 - 15"	12 - 15"	#2 cont, 12" o.c., Full healthy specimens & free of pests
10	CSY	Camellia	sasanqua	'Tuletide'	Tuletide Camellia	24 - 30"	24 - 30"	#5 cont, healthy, vigorous, well-rooted & established in container
3	CAH	Clethra	alnifolia	'Hummingbird'	Hummingbird Clethra	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established
58	CSK	Cornus	sericea	'Keleey'	Keleey Dogwood	15 - 18"	15 - 18"	#3 cont, full specimen, healthy, vigorous, well-rooted and established
6	DCM	Daphne	x burkwoodii	'Carol Mackie'	Carol Mackie Daphne	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
4	FGM	Fothergilla	gardenii	'Mt. Airy'	Mt. Airy Fothergilla	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
9	HAA	Hydrangea	arborescens	'Annabelle'	Annabelle Hydrangea	24 - 30"	24 - 30"	#5 cont, healthy, vigorous, well-rooted & established in container
3	HNB	Hydrangea	macrophylla	'Nikko Blue'	Nikko Blue Hydrangea	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
41	IGS	Ilex	glabra	'Shamrock'	Shamrock Inkberry	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
62	IVH	Itea	virginica	'Herry's Garnet'	Herry's Garnet Sweetpire	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
55	ILH	Itea	virginica	'Little Herry'	Little Herry Garnet Sweetpire	15 - 18"	15 - 18"	#3 cont, healthy, vigorous, well-rooted & established in container
3	LRF	Loropetalum	chinensis	'Plum Delight'	Plum Delight Loropetalum	24" - 36"	24" - 36"	#5 cont, healthy, vigorous, well-rooted & established
3	MCF	Myrica	cerifera	'Fairfax'	Fairfax Wax Myrtle	30 - 36"	30 - 36"	#7 cont, healthy, vigorous, well-rooted & established
8	PJD	Pieris	japonica	'Dorothy Wyckoff'	Dorothy Wyckoff Pieris	24 - 30"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
91	FLO	Prunus	laurocerasus	'Otto Luykens'	Otto Luykens Cherry Laurel	18 - 24"	18 - 24"	#3 cont, healthy, vigorous, well-rooted & established in container
7	PLS	Prunus	laurocerasus	'Schipkaensis'	Schip Laurel	24 - 30"	18 - 24"	5 GAL, healthy, vigorous, well-rooted & established
82	RGC	Rhododendron		'Girard's Crimson'	Girard's Crimson Azalea	15 - 18"	15 - 18"	#3 cont, healthy, vigorous, well-rooted & established in container
57	RAO	Rhododendron		'Osakazuki'	Osakazuki Rhododendron	15 - 18"	15 - 18"	#3 cont, healthy, vigorous, well-rooted & established in container
5	RAG	Rhus	aromatica	'Gro-low'	Gro-low Sumac	18 - 24"		#3 cont, healthy, vigorous, well-rooted & established in container
9	VIB	Viburnum	x burkwoodii		Burkwood Viburnum	24 - 36"	18 - 24"	B4B, healthy, vigorous, well-rooted & established

ORNAMENTAL GRASSES, PERENNIALS AND GROUNDCOVERS

QTY	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	HEIGHT	SPREAD	REMARKS
32	AMH	Amsonia	hubrichtii		Threadleaf Blue Star	#2 cont.		30" o.c., full specimen, healthy, vigorous, well-rooted and established
68	KF	Calamagrostis	x acutifolia	'Karl Foerster'	Feather Reed Grass	#2 cont.		18" o.c., full specimen, healthy, vigorous, well-rooted and established
53	CAB	Calamagrostis	brachytricha	'Foxtail Grass'	Korean Feather Reed Grass	#1 cont.		30" o.c., full specimen, healthy, vigorous, well-rooted and established
187	CAA	Carex	appalachica		Appalachian Sedge	#1 cont.		12" o.c., full specimen, healthy, vigorous, well-rooted and established
178	CRF	Carex	flaccosperma	'Blue Zinger'	Wood Sedge	#1 cont.		12" o.c., full specimen, healthy, vigorous, well-rooted and established
16	CHL	Chasmanthium	latifolium		Northern Sea Oats	#1 cont.		18" o.c., full specimen, healthy, vigorous, well-rooted and established
269	CVM	Coreopsis	verticillata	'Moonbeam'	Moonbeam Coreopsis	#1 cont.	Yellow	12" o.c., full specimen, healthy, vigorous, well-rooted and established
58	HEA	Heuchera	americana	'Dale's Strain'	Dale's Strain Coral Bells	#1 cont.		18" o.c., full specimen, healthy, vigorous, well-rooted and established
23	HYP	Hypericum	calycinum		Aaron's Beard	1 qt.		12" o.c., full specimen, healthy, vigorous, well-rooted and established
75	IRV	Iris	versicolor		Blue Flag Iris	#1 cont.	Blue	15" o.c., full specimen, healthy, vigorous, well-rooted and established
16	JUF	Juncus	effusus		Soft rush	#38 plug		18" o.c., full specimen, healthy, vigorous, well-rooted and established.
976	LSP	Liriope	spicata		Lilyturf	1 qt.		12" o.c., full specimen, healthy, vigorous, well-rooted and established
129	MUC	Muhlenbergia	capillaris		Pink Muhly Grass	#2 cont.		30" o.c., full specimen, healthy, vigorous, well-rooted and established
111	NKA	Narcissus		'King Alfred'	King Alfred Daffodil	Top sizes	Cream	8" o.c., full specimen, healthy, vigorous, well-rooted and established
166	NT	Nasella	tenuissima		Stipa Tenuissima	#1 cont.		15" o.c., full specimen, healthy, vigorous, well-rooted and established
198	OJ	Ophiopogon	japonicus		Mondo Grass	1 qt.		8" o.c., full specimen, healthy, vigorous, well-rooted and established
722	FTG	Pachysandra	terminalis	'Green Carpet'	Green Carpet Japanese Spurge	2" peat pot		8" o.c., full specimen, healthy, vigorous, well-rooted and established
48	FVS	Panicum	virgatum	'Shenandoah'	Shenandoah Switch Grass	#3 cont.		24" o.c., full specimen, healthy, vigorous, well-rooted and established
25	PSU	Phlox	subulata		Moss Phlox	1 qt.		18" o.c., full specimen, healthy, vigorous, well-rooted and established
307	SIA	Sisyrinchium	angustifolium	'Lucerne'	Blue-eyed Grass	#1 cont.		8" o.c., full specimen, healthy, vigorous, well-rooted and established
26	BPH	Sporobolus	heterolepis		Prairie Dropseed	#1 cont.		24" o.c., full specimen, healthy, vigorous, well-rooted and established
173	TWK	Tradescantia		'Sweet Kate'	Sweet Kate Spiderwort	#1 cont.		12" o.c., full specimen, healthy, vigorous, well-rooted and established



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Y-SITE DEVELOPMENT
 CITY OF GAITHERSBURG, MARYLAND
 RST DEVELOPMENT, LLC

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REVISIONS:

PLANT LIST

DESIGN: JP/DD
 DRAWN: SP
 CHECKED: DD
 SCALE: NTS

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
 PROJECT NO: 10059
 DATE: 10.27.11

L5.01
 SITE PLAN SUBMISSION

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED
 APPLICATION NO. SP- _____
 FINAL SITE PLAN APPROVAL
 WITH _____ () CONDITIONS. SEE S.D.A. LETTER.
 DATE _____ BY _____
NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
●	PG1	7	HUBBELL LW-P-175P-120-P-WH-QSS	LIGHTWATT INDUSTRIAL LOW MOUNT HID	175 WATT, CLEAR, MEDIUM BASE METAL HALIDE	13500	0.74	210
■	PG2	1	ECOLUME ECA14-3H-175PSMH	ECOLUME	CLEAR HORIZONTAL 175PSMH RATED FOR 13500 LUMENS	13500	0.74	420
●	PG3	2	HUBBELL LW-P-100P-120-P-WH-QSS	LIGHTWATT INDUSTRIAL LOW MOUNT HID	100 WATT, CLEAR, MEDIUM BASE METAL HALIDE	8500	0.74	129
■	PG4	2	GARDCO 102-WT-100PSMH-120-BL-PCB	WALL MOUNTED HID PERFORMANCE SCONCE	100 WATT, CLEAR, MEDIUM BASE METAL HALIDE	8500	0.74	129
■	PG5	1	ECOLUME ECA14-3H-175PSMH	ECOLUME	CLEAR HORIZONTAL 175PSMH RATED FOR 13500 LUMENS	13500	0.74	630

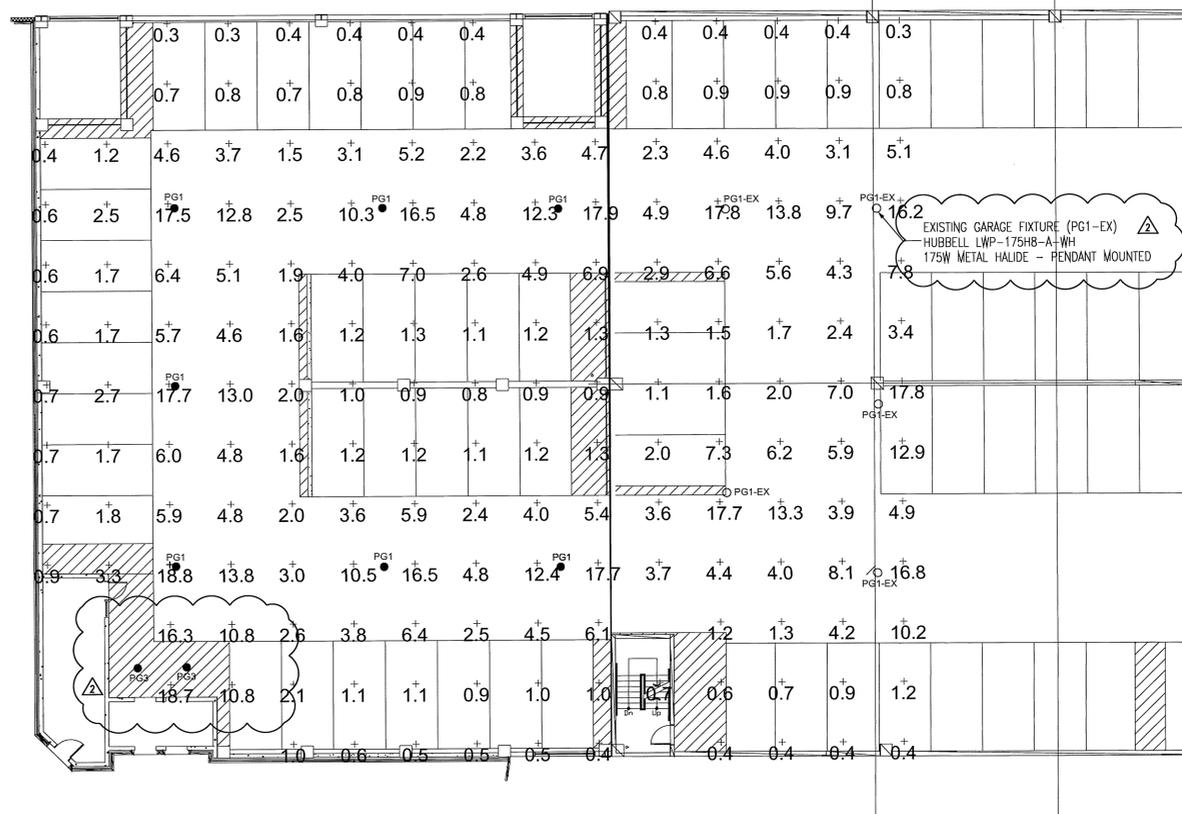
STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Roof	+	3.0	16.0 fc	0.3 fc	53.7:1	10.0:1
Typical Floor	+	4.4 fc	18.8 fc	0.3 fc	62.7:1	14.7:1

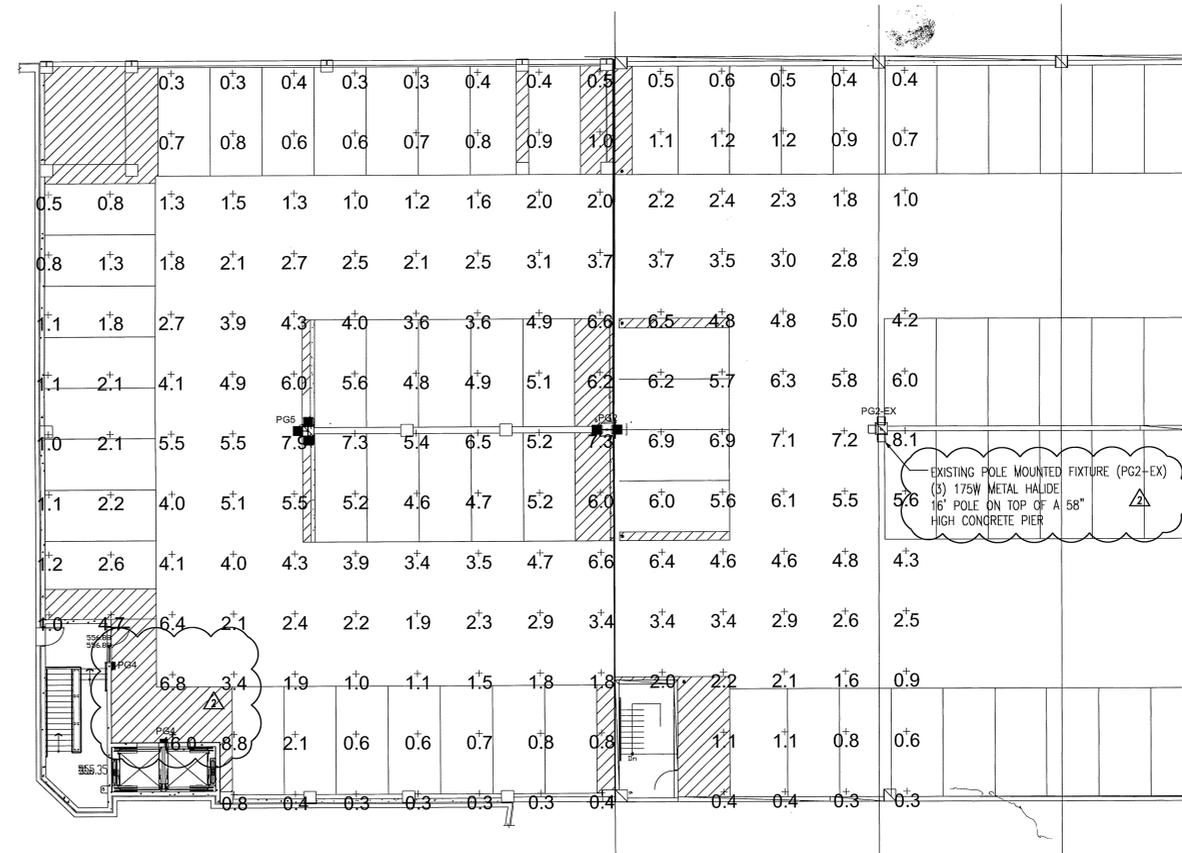
NOTES

- IES recommended levels
Avg - 2.5 fc
Min - 0.2 fc

△ NEW FIXTURE TYPE PG1 SHALL MATCH THE EXISTING FIXTURES IN APPEARANCE, LAMP WATTAGE AND LAMP TYPE.
NEW FIXTURE TYPE PG2, PG5 SHALL MATCH THE EXISTING POLES AND FIXTURES IN APPEARANCE, MOUNTING HEIGHT, LAMP WATTAGE, LAMP TYPE.



1 TYPICAL LEVEL
SCALE: 1/16" = 1'-0"



1 ROOF LEVEL
SCALE: 1/16" = 1'-0"

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL
DATE 12-5-11
BY [Signature]

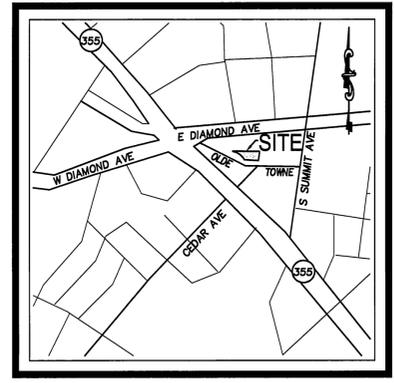
CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED
APPLICATION NO. SP- _____
FINAL SITE PLAN APPROVAL
WITH _____ () CONDITIONS. SEE S.D.A. LETTER.
DATE _____ BY _____
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

FINAL STORM DRAIN AND PAVING PLAN

Y-SITE

CITY OF GAITHERSBURG

MONTGOMERY COUNTY, MARYLAND



VICINITY MAP
1"=2000'

SHEET INDEX

- 1 OF 7 FINAL STORM DRAIN AND PAVING COVER SHEET
- 2 OF 7 FINAL STORM DRAIN AND PAVING NOTES
- 3 OF 7 FINAL STORM DRAIN AND PAVING PLAN
- 4 OF 7 FINAL STORM DRAIN AND PAVING PLAN
- 5 OF 7 FINAL STORM DRAIN AND PAVING DETAILS
- 6 OF 7 FINAL STORM DRAIN AND PAVING DETAILS
- 7 OF 7 FINAL STORM DRAIN AND PAVING CROSS SECTIONS

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27721, EXPIRATION DATE: 07/15/2011

SIGNATURE: *[Signature]* DATE: *3/26/11*
 NAME: MICHAEL GOODMAN NO.: 27721



APPLICANT/DEVELOPER/OWNER

RST DEVELOPMENT, LLC
 6001 MONTROSE ROAD
 SUITE 710
 ROCKVILLE, MD. 20852
 PHONE: (301) 816-4243
 FAX: (301) 816-4272
 CONTACT: M. SCOTT COPELAND

CIVIL ENGINEER

VIKA, INC.
 20251 CENTURY BOULEVARD
 SUITE 400
 GERMANTOWN, MARYLAND 20874
 PHONE: (301) 916-4100
 FAX: (301) 916-2262
 CONTACT: MICHAEL GOODMAN

DESIGN CERTIFICATION

I HEREBY CERTIFY, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN HAS BEEN PREPARED WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," CITY OF GAITHERSBURG CHAPTER 8, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND ENGINEERING "STORM DRAIN DESIGN CRITERIA" DATED AUGUST 1988.

SIGNATURE: *[Signature]* DATE: *3/26/11*
 MICHAEL B. GOODMAN, ASSOCIATE ENGINEER 27721
 PRINTED NAME AND TITLE P.E. REGISTRATION NO.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27721, EXPIRATION DATE: 07/15/2011

SIGNATURE: *[Signature]* DATE: *3/26/11*
 NAME: MICHAEL GOODMAN NO.: 27721



CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____
 APPLICATION NO. SP- WAS GRANTED
FINAL SITE PLAN APPROVAL
 WITH _____ () CONDITIONS. SEE S.D.A. LETTER.
 DATE _____ BY _____

NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

DATE _____
 BY _____



VIKA REVISIONS
 REV. ON 07/15/11 PER COG COMMENTS
 DATE: MARCH, 2011
 DES. BCU DWN. JAR
 SCALE: AS SHOWN
 PROJECT/FILE NO. VM1653A
 SHEET NO. 1 OF 7

THE Y SITE
 LOT 7 - OLDE TOWN
 PLAT 23743 L10041 F.257
 WSSC MAP 233NW09
 ADC MAP 5047 JB
 ELECTION DISTRICT No. 9
 MONTGOMERY COUNTY, MARYLAND

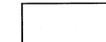
VIKA, MARYLAND, LLC
 20251 CENTURY BOULEVARD - SUITE 400
 GERMANTOWN, MD 20874
 (301) 916-4100 FAX (301) 916-2262
 MCGLEAN, VA

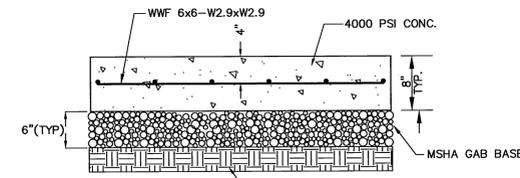
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

3" BITUMINOUS CONCRETE SURFACE COURSE IN 2 - 1 1/2" LAYERS (SUPERPAVE 9.5MM, BINDER TYPE PG64-22)
7" BITUMINOUS CONCRETE BASE COURSE (SUPERPAVE 12.5MM, BINDER TYPE PG64-22)
8" GRADED AGGREGATE BASE COURSE IN 2 - 4" LAYERS
6" GRADED AGGREGATE BASE COURSE PER ORDINANCE No. 0-7-05 SECTION 19-15(F)
APPROVED SUBGRADE

ASPHALT PAVING SECTION
MAJOR LIMITED CONTROL

LEGEND

-  BITUMINOUS CONCRETE
-  CONCRETE LOADING DOCK
-  BUILDING AT GRADE
-  SPILL GUTTER

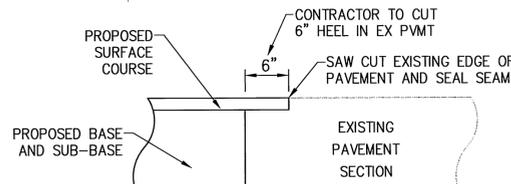


GENERAL NOTES:

- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
- PAVEMENT JOINT MATERIAL SHALL BE PLACED WHEN ABUTTING CONCRETE STRUCTURES.

CONCRETE PAVEMENT SECTION (LOADING DOCK)

NOT TO SCALE



SAW CUT DETAIL

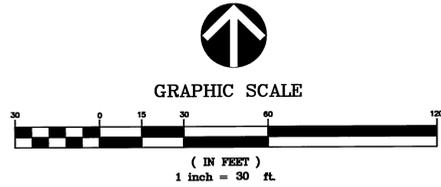
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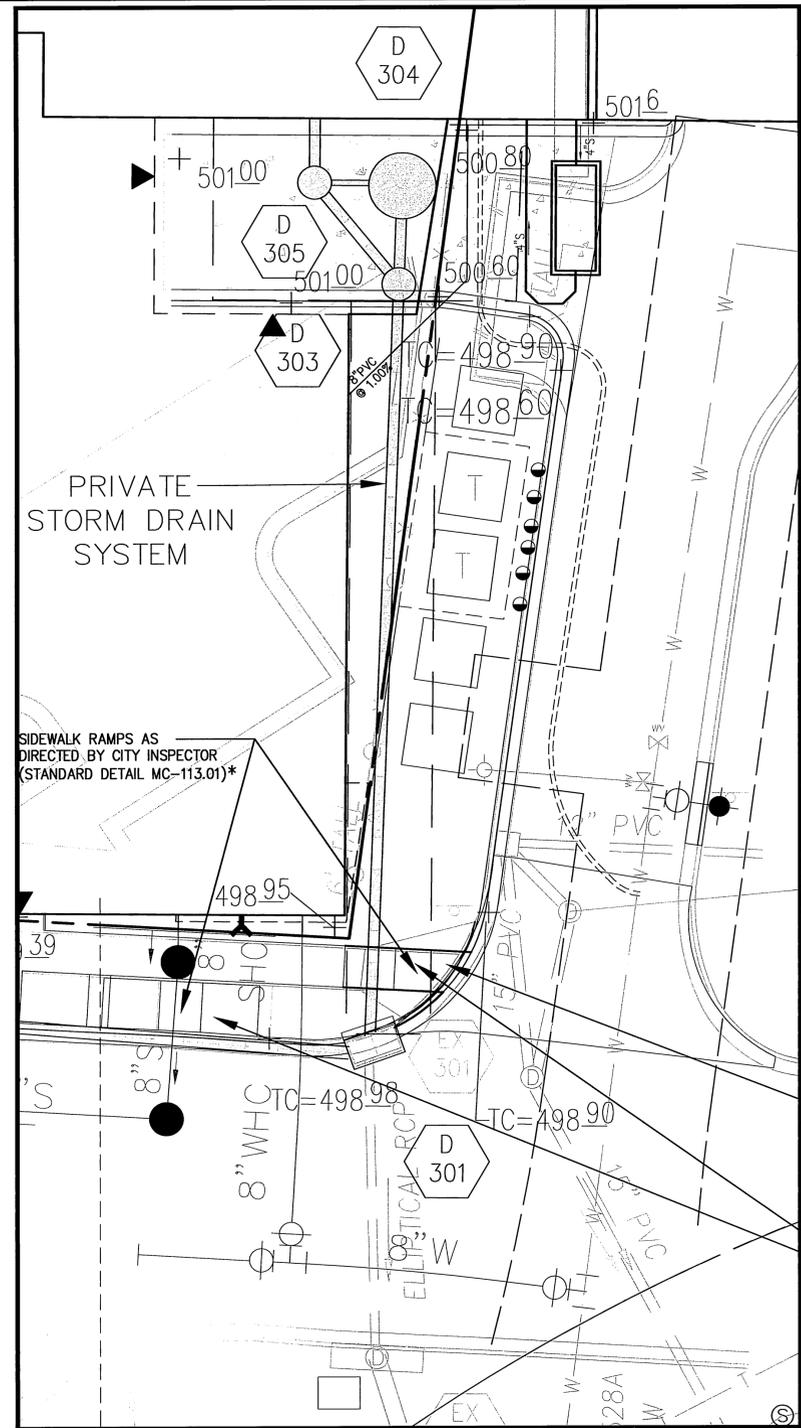
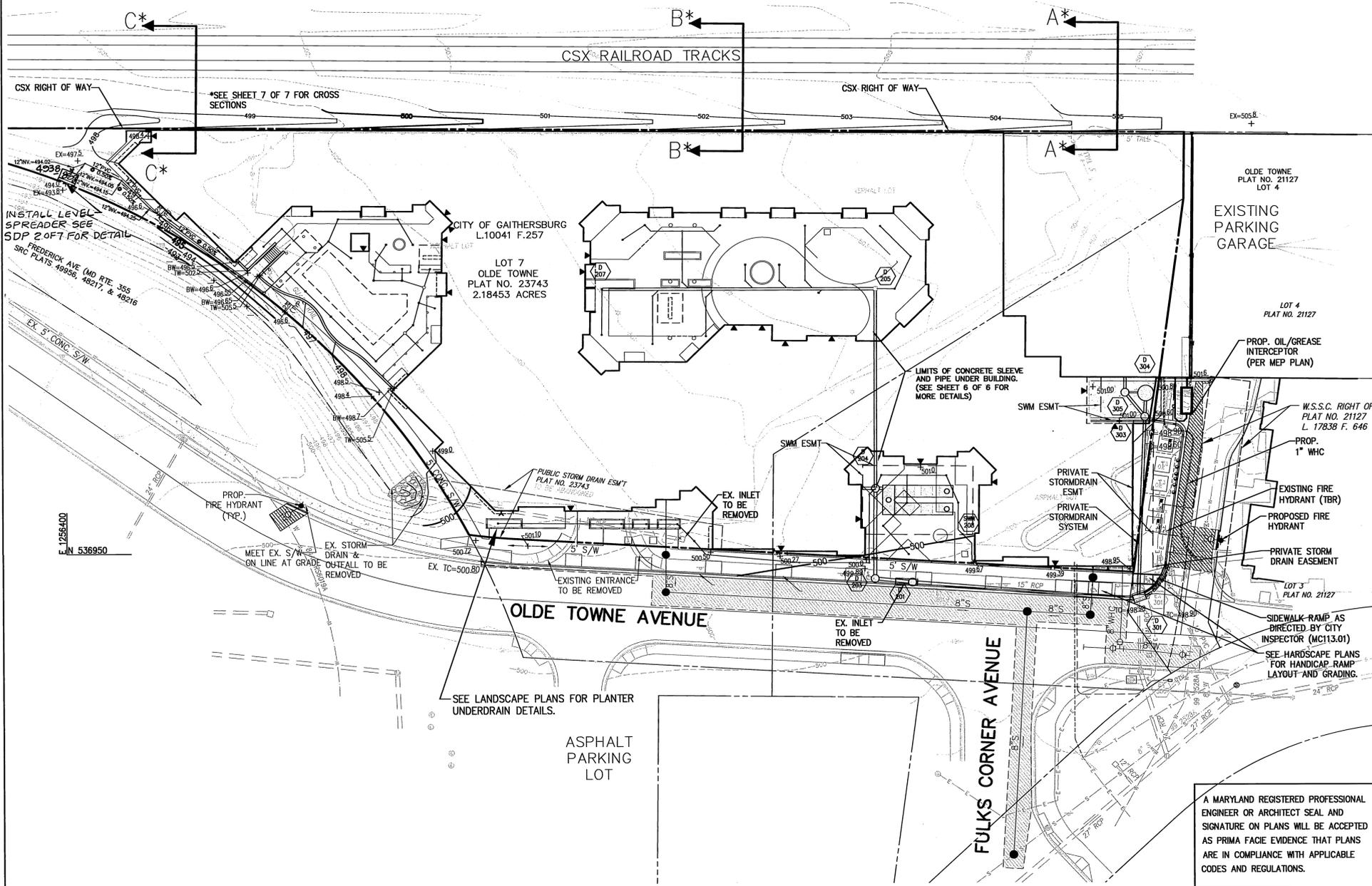
- ALL PERIMETERS, PAVING EDGES AND ISLANDS SHALL BE CURBED.
- PROPOSED CURB AND PAVEMENT ALONG OLDE TOWNE AVENUE AND THE PRIVATE ALLEY SHALL BE INSTALLED AT THE SAME ELEVATION AS THE EXISTING CURB AND PAVEMENT REPLACED BY THESE IMPROVEMENTS.
- CONTRACTOR TO TIE OUT ALL PROPOSED CURB AND PAVEMENT TO EXISTING CURB AND PAVEMENT.
- CURBS, GUTTERS, SIDEWALKS AND PAVING SHALL BE INSTALLED IN SUCH A MANNER AS TO PROVIDE POSITIVE DRAINAGE OF ALL AREAS SO THERE IS NO ACCUMULATION OF SURFACE WATER.
- ALL PAVING, STORM DRAINAGE, UTILITIES AND IMPROVEMENTS ON THIS PARCEL ARE PRIVATE AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.
- SIDEWALK RAMP AS DIRECTED BY CITY INSPECTOR (STANDARD DETAIL MC-113.01).
- SEE ARCHITECTURE PLANS FOR ROOF DOWNSPOUT CONNECTIONS.

NOTE:
APPLICABLE OSHA RULES AND REGULATIONS WILL DICTATE THE ACTUAL TRENCH EXCAVATION LIMITS AND SHORING METHODS TO BE EMPLOYED BY THE STORM DRAIN CONTRACTORS.

CALL "MISS UTILITY" AT 1-800-257-7777
48 Hours Before Start Of Construction



NOTE:
SEE SHEET 7 OF 7 FOR SECTIONS A-A, B-B, & C-C.



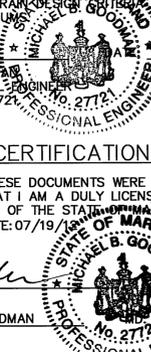
ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION "STORM DRAIN DESIGN" DATED AUGUST, 1988 AND ADDENDUMS. SEE HARDSCAPE PLANS FOR HANDICAP RAMP LAYOUT AND GRADING.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27721, EXPIRATION DATE: 07/19/11

SIGNATURE: *Michael Goodman* DATE: 11/23/11
NAME: MICHAEL GOODMAN NO. 27721



CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL APPROVAL
DATE: 12/15/11
BY: *James B. Amos*

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

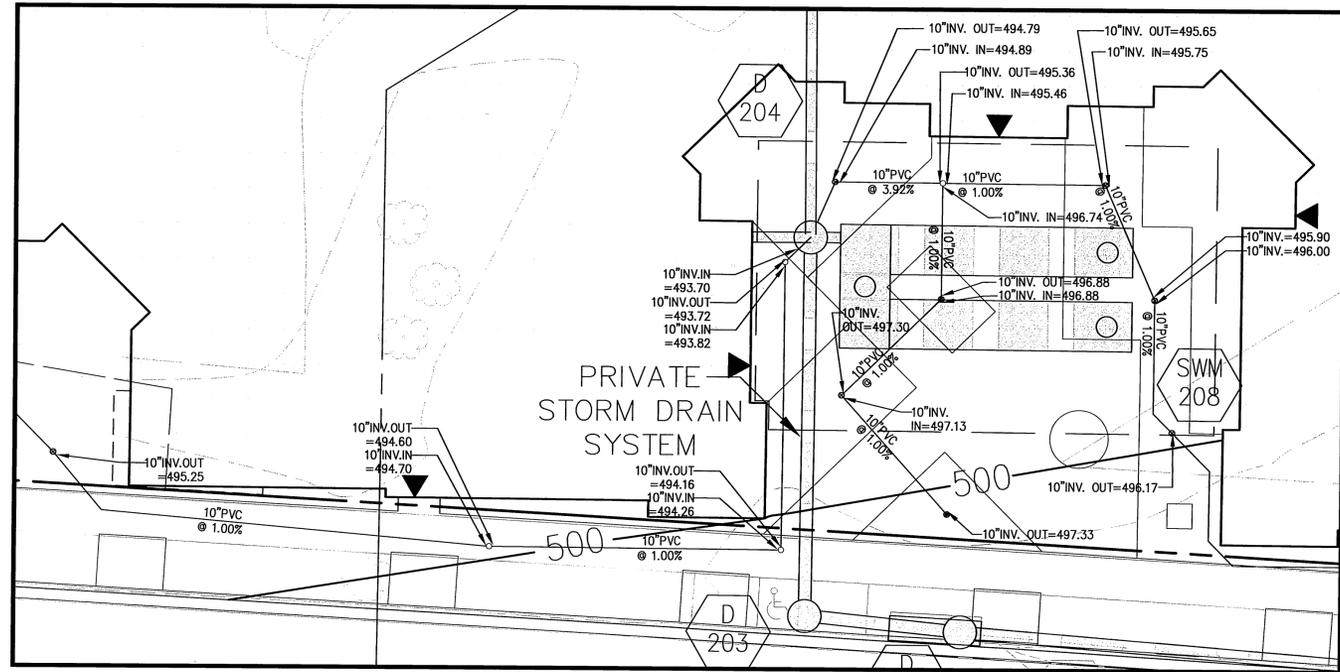
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED
APPLICATION NO. SP-_____ FINAL SITE PLAN APPROVAL
WITH _____ CONDITIONS. SEE S.D.A. LETTER.
DATE _____ BY _____
NOTE: ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

Vika
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN
VKA MARYLAND, LLC ■ GERMANTOWN, MD 20874
20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
(301)916-4100 ■ FAX (301)916-2282
GERMANTOWN, MD

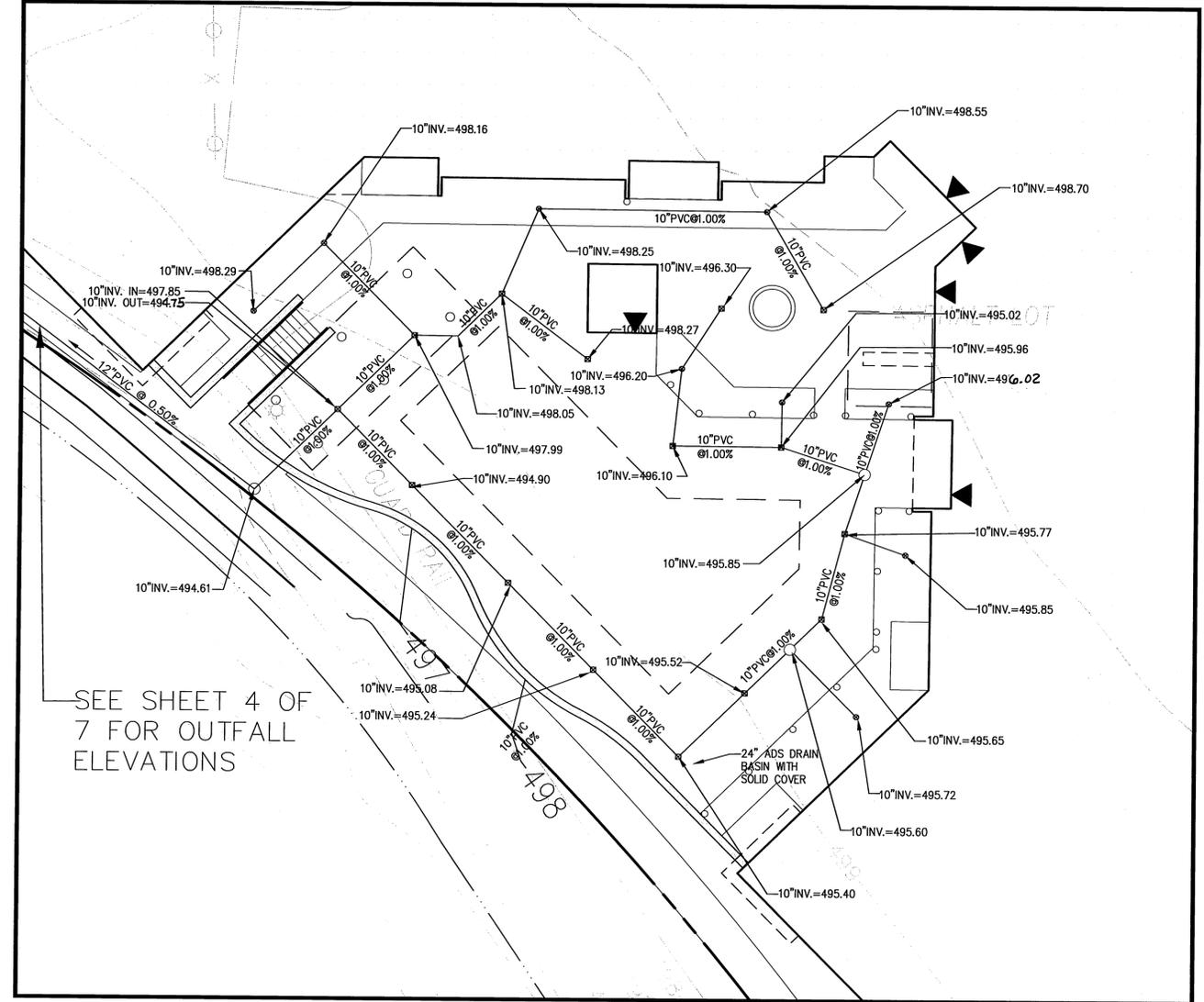
THE Y SITE
LOT 7 - OLDE TOWNE
PLAT NO. 23743 L.10041 F.257
WSSC MAP 223NW09
ADC MAP 5047 JB
ELECTION DISTRICT NO. 9
MONTGOMERY COUNTY, MARYLAND

STORM DRAIN AND PAVING PLAN

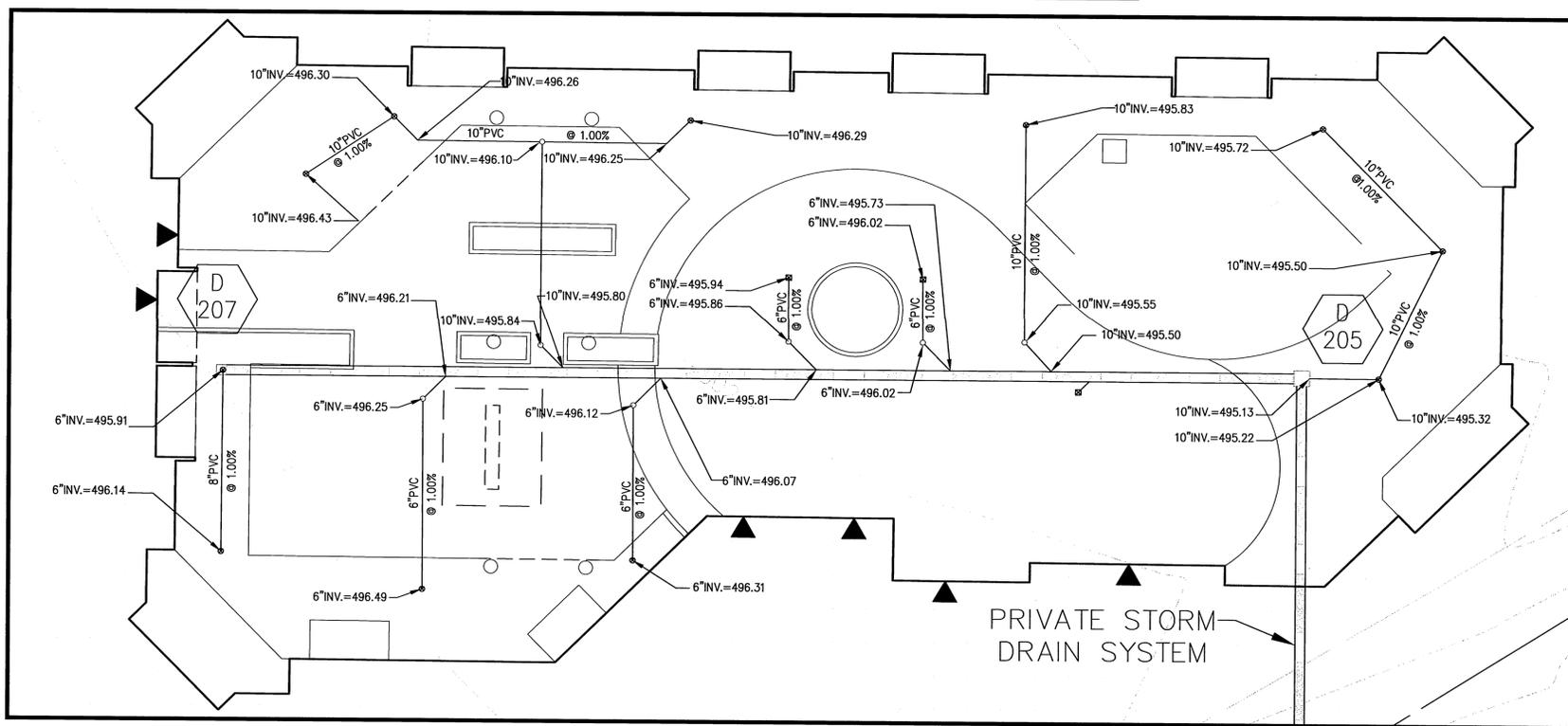
Vika REVISIONS	
REV. ON 07/15/11	PER COG COMMENTS
DATE: MARCH 2011	
DES. BCU	DWN. JAR
SCALE: 1"=30'	
PROJECT/FILE NO. VM1653A	
SHEET NO. 4 OF 7	



ENTRANCE COURTYARD – DRAIN INLETS



SEE SHEET 4 OF 7 FOR OUTFALL ELEVATIONS



INTERIOR COURTYARD – DRAIN INLETS

POOL DECK – DRAIN INLETS

NOTE: SEE HARDSCAPE PLANS FOR ALL DRAINS UNLESS OTHERWISE NOTED.

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION "STORM DRAIN DESIGN CRITERIA" DATED AUGUST, 1988 AND ADDENDUMS.

Michael B. Goodman
 MICHAEL B. GOODMAN
 REGISTERED PROFESSIONAL ENGINEER
 MARYLAND No. 27721

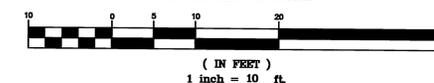
PROFESSIONAL CERTIFICATION

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SIGNATURE: *Michael Goodman*
 NAME: MICHAEL GOODMAN REGISTERED: 27721



GRAPHIC SCALE



CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED

APPLICATION NO. SP-_____

FINAL SITE PLAN APPROVAL

WITH _____ () CONDITIONS. SEE S.D.A. LETTER.

DATE _____ BY _____

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CITY OF GAITHERSBURG
 DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

DATE: 12/15/11
 BY: *James D. Arnold*

CALL "MISS UTILITY" AT 1-800-257-7777
 48 Hours Before Start Of Construction

VIKA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

VIKA MARYLAND, LLC
 20251 CENTURY BOULEVARD, SUITE 100
 GERMANTOWN, MD 20874
 (301)916-4100 ■ FAX (301)916-2292
 McLEAN, VA

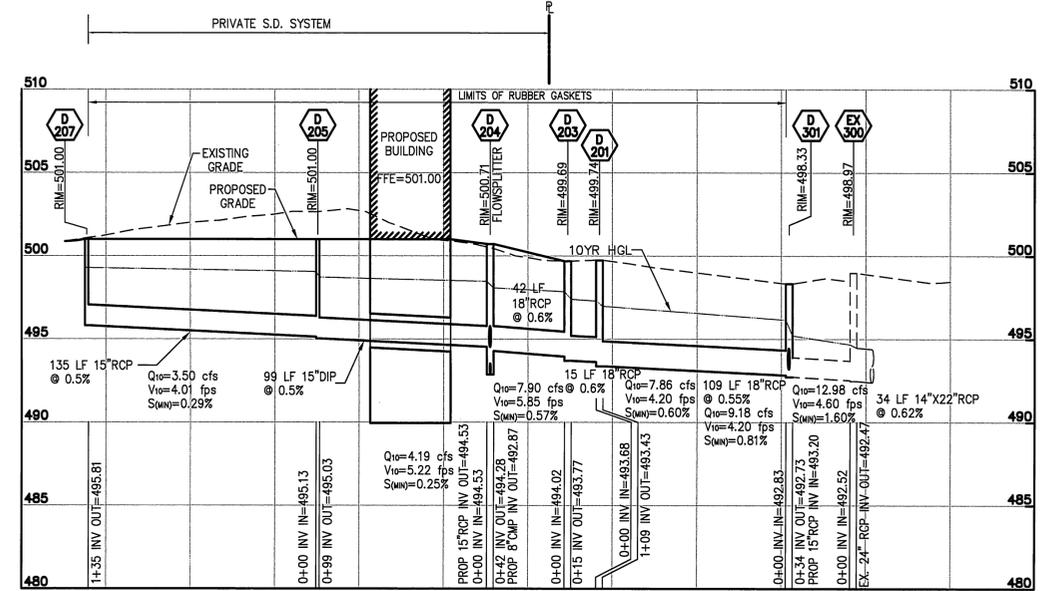
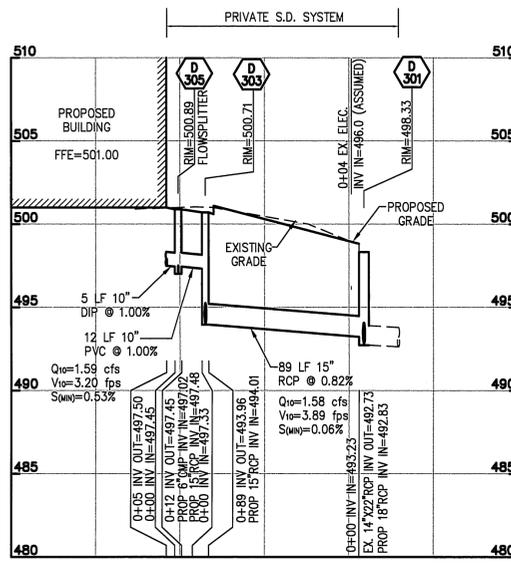
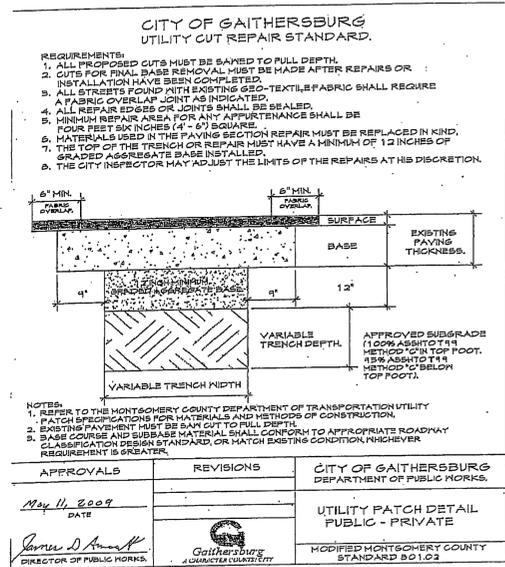
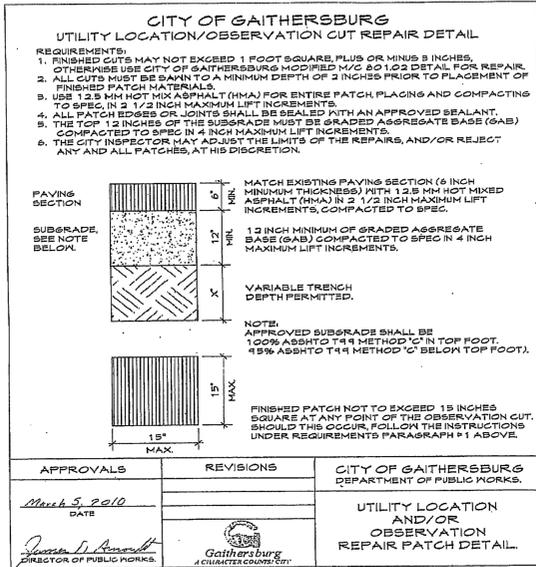
THE Y SITE
LOT 7 – OLDE TOWN
 PLAT 23743 L10041 F.257
 WSSC MAP 223NW09
 ADC MAP 5047 JB
 ELECTION DISTRICT NO. 9
 MONTGOMERY COUNTY, MARYLAND

STORM DRAIN AND PAVING PLAN

VIKA REVISIONS

REV. ON 07/15/11	PER COG COMMENTS
DATE: MARCH 2011	
DES. BCU	DWN. JAR
SCALE: 1"=10'	
PROJECT/FILE NO. VM1653A	SHEET NO. 5 OF 7

LAYOUT: SDP-5, Plotted By: Gunter



NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING PIPE SIZES AND ALL EXISTING INVERTS PRIOR TO FABRICATION OF STRUCTURE D-301.

PUBLIC PIPE SCHEDULE

PIPE SIZE	TYPE	CLASS	LENGTH (FT)	REMARK
18"	R.C.P	CL-IV	124	
TOTAL			124	

Private Pipe Schedule

PIPE SIZE	TYPE	CLASS	LENGTH (FT)	REMARK
10"	D.I.P	--	5	
10"	P.V.C	--	12	
15"	R.C.P	CL-IV	224	
18"	R.C.P	CL-IV	42	
TOTAL			283	

PRIVATE STRUCTURES

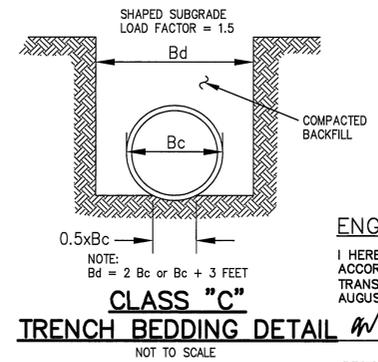
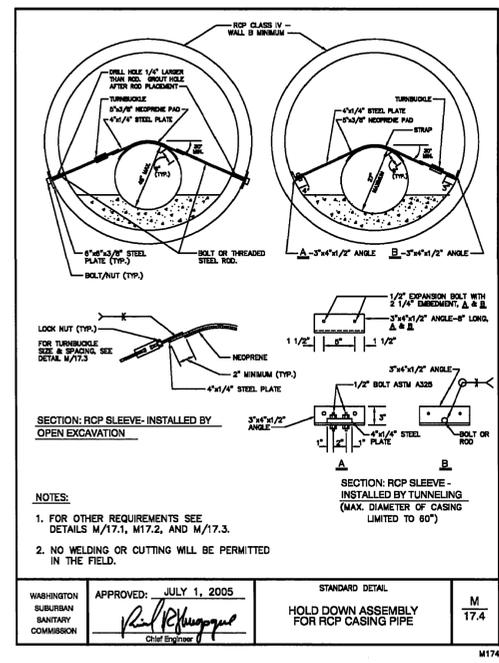
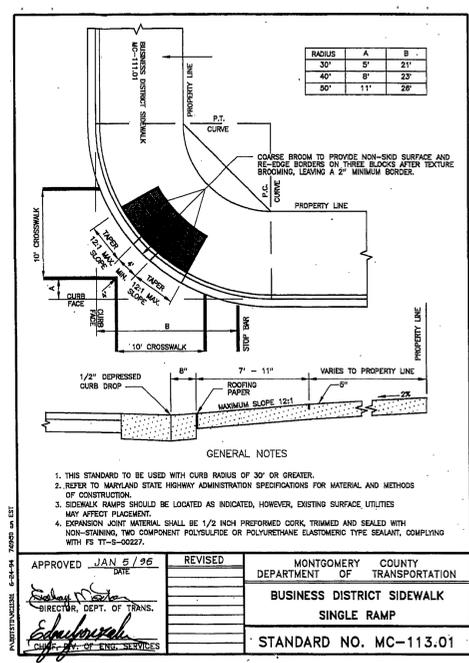
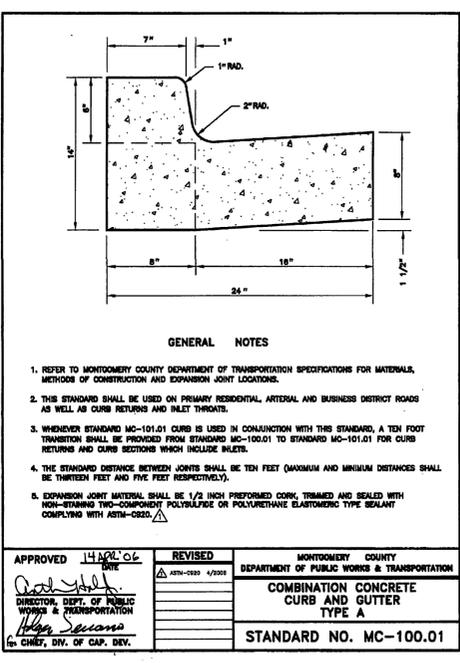
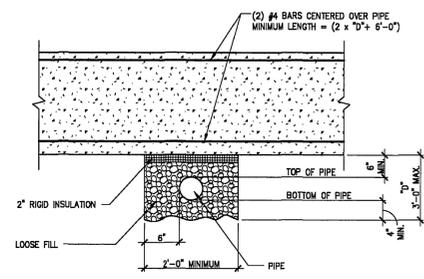
Struct. Number	M.C. County Standard	Structure Type	Manhole Diameter	Base Structure Width	Top Elevation TC (Left) TC (Right)	REMARKS
D - 207	----	ADS DRAIN BASINS	----	----	501.00	
D - 205	----	ADS DRAIN BASINS	----	----	501.00	
D - 204	MC-510.01	FLOWSPLITTER	4'	----	500.71	
D - 303	MC-510.01	PRECAST MANHOLE	4'	----	501.74	
D - 304	MC-510.01	STORMFILTER	8'	----	500.80	
D - 305	MC-510.01	FLOWSPLITTER	4'	----	501.86	

PUBLIC STRUCTURES

Struct. Number	M.C. County Standard	Structure Type	Manhole Diameter	Base Structure Width	Top Elevation TC (Left) TC (Right)	REMARKS
D - 206	MC-501.01	"A" INLET	----	11'	500.05 499.98	
D - 203	MC-510.01	PRECAST MANHOLE	4'	----	499.66	
D - 201	MC-501.01	"A" INLET	----	11'	499.74 499.70	
D - 301	MD-374.22	WRM INLET	4'	----	498.33	

NOTE: PRIVATE STORM DRAIN SYSTEMS TO BE MAINTAINED BY PROPERTY OWNERS.

- NOTES:
 1. PRIVATE STORM DRAIN SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 2. APPLICABLE OSHA RULES AND REGULATIONS WILL DICTATE THE ACTUAL TRENCH EXCAVATION LIMITS AND SHORING METHODS TO BE EMPLOYED BY THE STORM DRAIN CONTRACTORS.



ENGINEER CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION "STORM DRAIN DESIGN STANDARD" DATED AUGUST, 1988 AND ADDENDUM.

MICHAEL B. GOODMAN
 REGISTERED PROFESSIONAL ENGINEER
 MARYLAND No. 27721

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27721, EXPIRATION DATE: 07/19/2012.

MICHAEL B. GOODMAN
 REGISTERED PROFESSIONAL ENGINEER
 MARYLAND No. 27721

CITY OF GAITHERSBURG PLANNING COMMISSION
 31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877

SITE PLAN APPROVAL

AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED APPLICATION NO. SP-_____ FINAL SITE PLAN APPROVAL WITH _____ () CONDITIONS. SEE S.D.A. LETTER. DATE _____ BY _____

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CITY OF GAITHERSBURG DEPARTMENT OF PUBLIC WORKS
 FINAL APPROVAL
 DATE: *12/15/06*
 BY: *Jamie D. Anagnost*

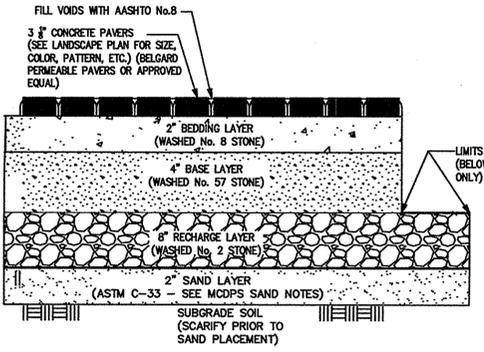
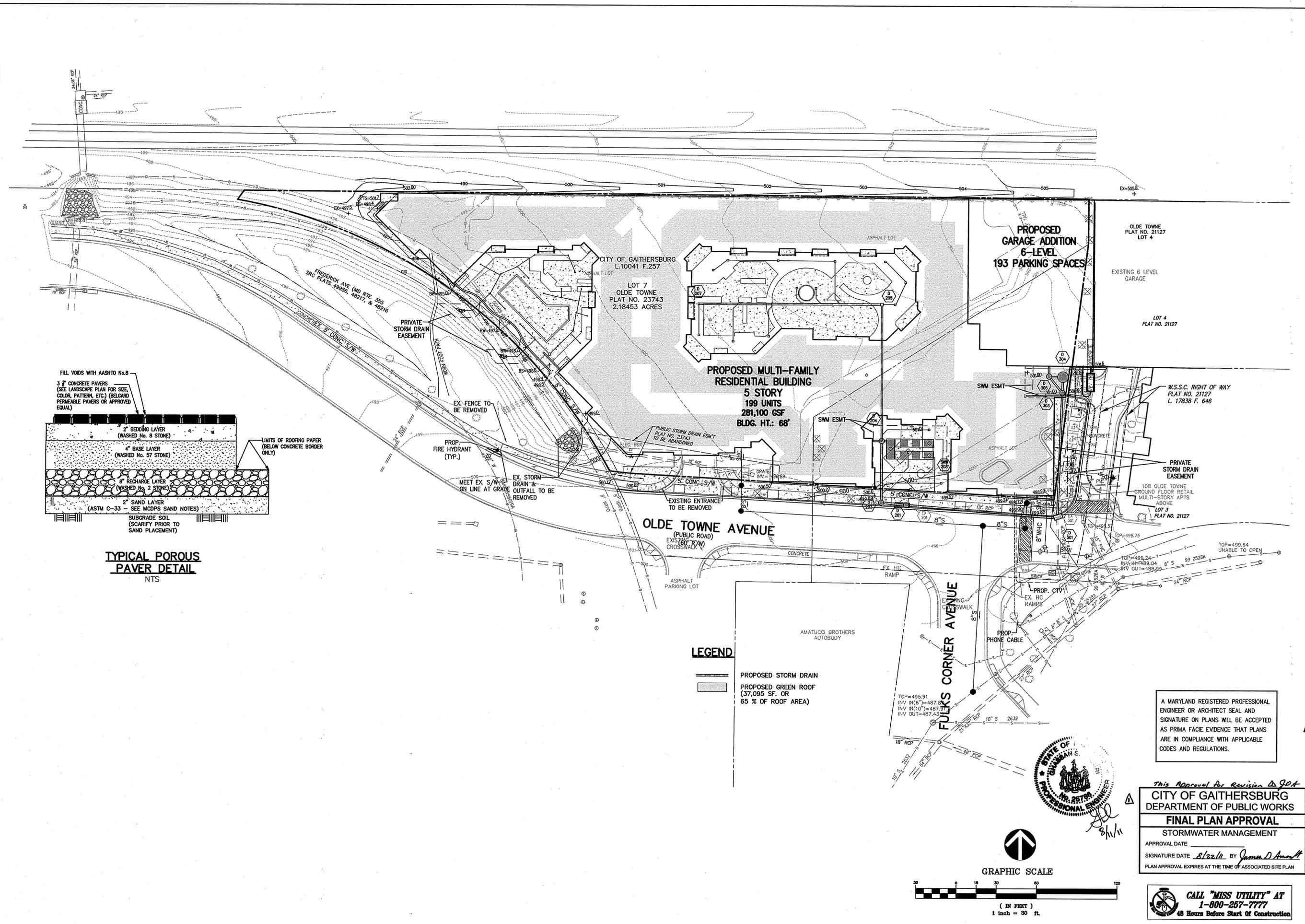
CALL "MISS UTILITY" AT 1-800-257-7777
 48 Hours Before Start Of Construction

VIKA INCORPORATED
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN
 20251 CENTURY BOULEVARD SUITE 400 ■ GERMANTOWN, MD 20874
 (301)916-4100 ■ FAX (301)916-2282
 GERMANTOWN, MD

THE Y SITE
 LOT 7 - OLDE TOWN
 PLAT 23743 L10041 F.257
 WSSC MAP 2233NW09
 ADC MAP 5047 JB
 ELECTION DISTRICT NO. 9
 MONTGOMERY COUNTY, MARYLAND

STORM DRAIN PROFILES

REV. ON 07/15/11
 PER COG COMMENTS
 DATE: MARCH 2011
 DES. BCU DWN JAR
 SCALE: AS SHOWN
 PROJECT/FILE NO. VM1653A
 SHEET NO. 6 OF 7



TYPICAL POROUS PAVER DETAIL
NTS

LEGEND

- PROPOSED STORM DRAIN
- PROPOSED GREEN ROOF (37,095 SF. OR 65 % OF ROOF AREA)



A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

This Approval for Revision is JDA

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

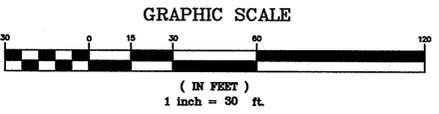
FINAL PLAN APPROVAL

STORMWATER MANAGEMENT

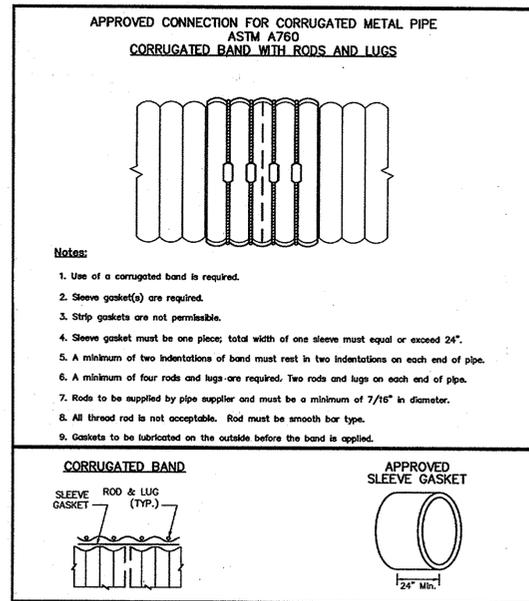
APPROVAL DATE _____

SIGNATURE DATE *8/22/11* BY *James D. Amendt*

PLAN APPROVAL EXPIRES AT THE TIME OF ASSOCIATED SITE PLAN

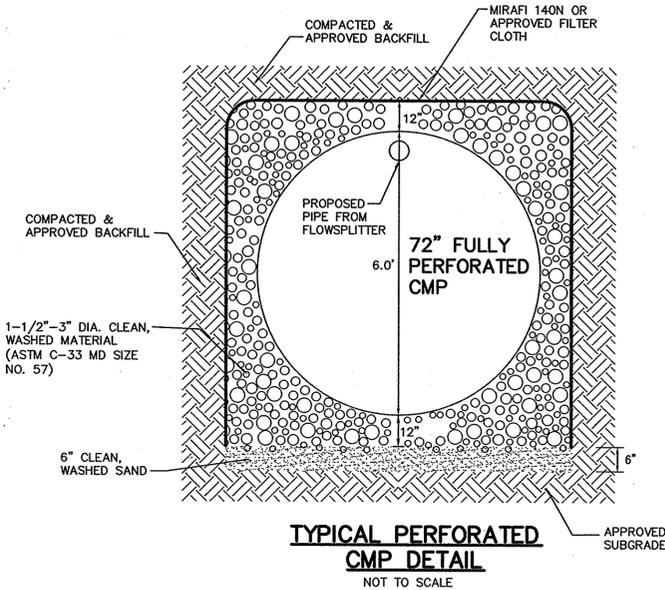


LAYOUT: SWM-3, Plotted By: Uebste



- Notes:**
1. Use of a corrugated band is required.
 2. Sleeve gasket(s) are required.
 3. Strip gaskets are not permissible.
 4. Sleeve gasket must be one piece; total width of one sleeve must equal or exceed 24".
 5. A minimum of two indentations of band must rest in two indentations on each end of pipe.
 6. A minimum of four rods and lugs are required. Two rods and lugs on each end of pipe.
 7. Rods to be supplied by pipe supplier and must be a minimum of 7/16" in diameter.
 8. All thread rod is not acceptable. Rod must be smooth bar type.
 9. Gaskets to be lubricated on the outside before the band is applied.

CMP BAND CONNECTION DETAIL
NOT TO SCALE

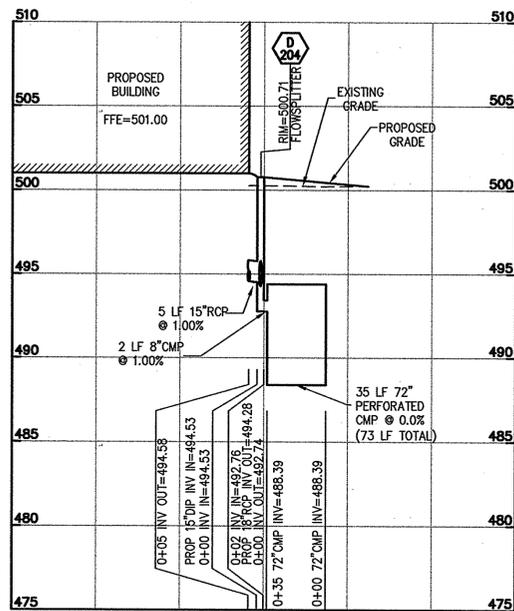


- NOTES**
1. BACKFILL REQUIREMENTS MUST MATCH CMP MANUFACTURER'S CURRENT REQUIREMENTS OR AS REQUIRED BY MONTGOMERY COUNTY, WHICHEVER IS MORE STRINGENT.
 2. THE PIPE PERFORATIONS AND BACKFILL SECTION WILL BE FINALIZED WITH SHOP DRAWINGS WHICH MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO FABRICATION AND INSTALLATION.

UNDERGROUND STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS

- A. Site Preparation**
- Areas under the culverts, structural works, and stream diversion shall be cleared, grubbed, and the topsoil stripped to remove all trees, vegetation, roots, or other objectionable material.
- B. Specification for Corrugated Steel Pipe**
- DESCRIPTION:**
- The Aluminized Type corrugated steel shall be fabricated in accordance with AASHTO designation M-274 from a base metal manufactured in accordance with ASTM A-525 coated uniformly on both sides with 1.00 oz/sq. ft. of pure aluminum.
- MATERIAL:**
- The 5" diameter corrugated metal pipe shall be of the corrugation design and gage indicated. The steel pipe, couplers and fittings shall conform to the requirements of AASHTO M-36 with the pipe having a 72" x 1" corrugation profile and shall be a minimum 14" gage (0.079"). The coupling bands shall be the same material as the pipe and shall be a minimum of 24-inches wide. The corrugated metal pipe shall be manufactured with continuous lockseam or butt welded helical corrugations and having no less than two annular corrugations rerolled at both ends of any length of pipe. Coupling bands shall be formed with two corrugations that are spaced to provide seating in the second rerolled corrugation of each pipe end, and pipe ends shall be matched and numbered. Coupling bands shall be per the approved plans. All Aluminized surfaces that will be in contact with concrete shall be painted with one coat of zinc chromate primer.
- C. Installation**
- The corrugated metal pipe shall be handled in a manner not to damage the pipe or coating. Bedding and backfill material shall be selected, granular material and shall be free of rocks and hard clods larger than 3-inches in size. The bedding and backfill material shall be carefully placed and consolidated evenly on both sides of the pipe in maximum 8-inch loose lifts. The Ph of the surrounding soil shall be less than (9) and greater than (4).
- The material must completely fill all spaces under and adjacent to the structure or pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of the structure. Under no circumstances shall the contractor drive equipment over a concrete structure or pipe unless there is a compacted fill of 24-inches or greater over the structure or pipe.
- Contractor shall be responsible for providing adequate shoring of trench walls to prevent failure during construction.
- D. Connections**

REFER TO DETAIL THIS SHEET



SM-203

CONSTRUCTION INSPECTION CHECK-OFF LIST FOR SM UNDERGROUND STRUCTURE RECHARGE PIPE

STAGE	DESIGN ENGINEER (DE)	GEOTECHNICAL ENGINEER (GEO)	COUNTY INSPECTOR	MNCP&PC & OTHER
* MANDATORY NOTIFICATION: Inspection and approval by the parties indicated is required at these points prior to proceeding with construction. The permittee is required to give the required inspection parties twenty-four (24) hours notice (DPS telephone 240777-0311). The DPS inspector may waive an inspection, provided the design engineer and/or geotechnical engineer makes the required inspection per a prior scheduled arrangement which has been confirmed with the DPS inspector. Work completed without the necessary party's approval may result in the permittee having to remove and reconstruct the unapproved work. The permittee must maintain a "record set" of approved SC/SM plans on-site.				
1. Pre-construction meeting	*	*	*	*
2. Sediment control installation	*	*	*	*
3. Excavation for stormwater management structure (GEO)	*	*	*	*
4. Install stormwater management control structure/storage structure and associated storm drainage:				
a. Footing subgrade, prior to pouring (GEO)	*	*	*	*
b. Forms set and rebar placed for walls/stabs prior to pouring (DE)	*	*	*	*
c. Pipe assembled in place (DE) on acceptable subgrade (GEO)	*	*	*	*
d. Any required storm drain pipe installed to structure and temporarily plugged shut (DE)	*	*	*	*
e. Internal components installed, if any (DE)	*	*	*	*
5. Backfilling of drainage structure (GEO)	*	*	*	*
6. Installation of storm drain inlet protection or blocking on all inlets draining to structure which may receive silt-laden runoff	*	*	*	*
7. Installation of final compacted cover and grade:				
- Lifts, compaction, soil material (GEO)	*	*	*	*
- Location, dimensions (DE)	*	*	*	*
8. Stabilize drainage area to stormwater management structure	*	*	*	*
9. Removal of sediment and construction debris from structure	*	*	*	*
10. Remove temporary blocking (DE) and (GEO)	*	*	*	*
11. Submit record drawing and documentation (DE)	*	*	*	*
12. Final Inspection **	*	*	*	*

NOTES:

1. Permittee to supply Design Engineer with delivery tickets for all materials used in SM structure construction.
2. See construction specifications for detailed requirements.
3. A copy of this completed checklist must be submitted as part of the stormwater management as-built package.

DPS Inspection Telephone: (240) 777-0311

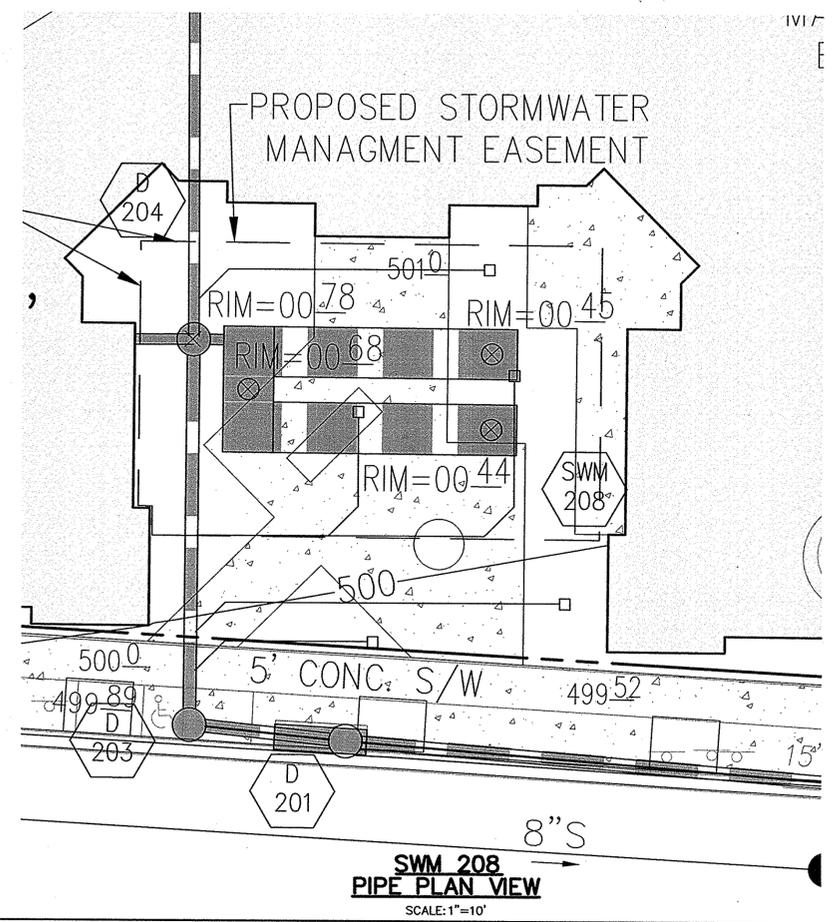
UNDERGRD table 01/03

**After the As-Builts have been approved by the MCDPS plan review section, the contractor and/or permittee must have the underground SM structures cleaned and have a confined inspection performed by a third-party contractor approved by MCDPS. The third-party contractor must provide a confined-space inspection report stating that the facility and associated piping are clean, appear to be installed per the plans, and can operate as designed. A copy of this report must be given to the DPS inspector when he does his final inspection. If any issues were identified during the confined space inspection, the repairs must be performed and a follow-up report must be given to the DPS inspector stating that all issues were resolved or corrected. Once the third-party contractor has completed their inspection, the contractor should contact the DPS inspector to set up the final inspection. The contractor also needs to submit to the DPS inspector a brief letter, on letterhead with project name and sediment control permit number, stating the following:

- SM structures were cleaned on (date)
- Confined space inspection was performed on (date)
- Any items in the SM structure needing repair were corrected (date if applicable)
- A statement that says, "The confined space inspection found the SM structure to be in good order and in compliance with the approved drawings."
- Attaching photos of the SM structure inspection is always recommended and very helpful.

After the DPS inspector receives the letter and inspection report, the inspection file will be closed and forwarded to MCDPS Casework Division for bond release.

NOTE: SWM STRUCTURES MUST MEET H-20 LOADING



A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

This Approval for Revising A JDA
CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL PLAN APPROVAL
STORMWATER MANAGEMENT

APPROVAL DATE: 8/22/11
SIGNATURE DATE: 8/22/11 BY: James D. Amant
PLAN APPROVAL EXPIRES AT THE TIME OF ASSOCIATED SITE PLAN

CALL "MISS UTILITY" AT 1-800-257-7777
48 Hours Before Start Of Construction

VKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

20251 CENTURY BOULEVARD, SUITE 400 ■ GERMANTOWN, MD 20874
C ■ 301-261-2262
G ■ 301-261-2262
M ■ 301-261-2262

THE Y SITE
LOT 7 - OLDE TOWN
PLAT 23743 L-10041 F-257
WSSC MAP 223N W09
ADC MAP 5047 JB
ELECTION DISTRICT NO. 9
MONTGOMERY COUNTY, MARYLAND

STORMWATER MANAGEMENT PROFILES

VKA REVISIONS

STREETScape FOR OLDE TOWNE AVE. REVESED TO REMOVE BUMP OUTS IN CURB.

DATE: AUGUST, 2011
DES. BCU DWN. JAR
SCALE: AS SHOWN
PROJECT/FILE NO. VM1653A
SHEET NO. 4 OF 7

ASSEMBLY
SCALE: 1" = 5'
VOLUME IN PIPE: 2,084 C.F.
LOADING: H20H26
SYSTEM INV = TBD

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (4) PAGES.

CUSTOMER _____ DATE _____

CONTECH CONSTRUCTION PRODUCTS INC.
521 Progress Drive, Suite H, Linthicum, MD 21090
410-799-0505 888-378-8111 FAX

CONTECH CMP DETENTION SYSTEMS
CONTROL PROPOSAL DRAWING

Ø72" CMP RETENTION SYSTEM - 437287-001
Y SITE
GAITHERSBURG, MD
SITE DESIGNATION: REV

PROJECT NO. 437287 SHEET NO. 001 DATE: 4/4/2011
DESIGNED BY: [Signature] DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]
SHEET NO. 1 OF 4

STEEL PERFORMANCE HOLE LAYOUT

NOTES:
1. PERFORATIONS MEET AASHTO & ASTM SPECS.
2. PERFORATIONS AVAILABLE FOR 16, 18, AND 14 GA. MATERIAL. FOR PERFORATED 12 GA. CONTACT THE APPROPRIATE PERSONNEL.
3. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.

EXFILTRATION AREA
STANDARD PERFORATION PATTERNS
AASHTO M-36 CLASS 2

PIPE Ø (INCHES)	CORRUIGATION PATTERN		
	COLUMN #1 (IN)	COLUMN #2 (IN)	COLUMN #3 (IN)
72	73.5	77.4	76.5
84	73"	77"	76"

TYPICAL PERFORATION DETAIL
SCALE: N.T.S.

CONTECH CONSTRUCTION PRODUCTS INC.
521 Progress Drive, Suite H, Linthicum, MD 21090
410-799-0505 888-378-8111 FAX

CONTECH CMP DETENTION SYSTEMS
CONTROL PROPOSAL DRAWING

Ø72" CMP RETENTION SYSTEM - 437287-001
Y SITE
GAITHERSBURG, MD
SITE DESIGNATION: REV

PROJECT NO. 437287 SHEET NO. 001 DATE: 4/4/2011
DESIGNED BY: [Signature] DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]
SHEET NO. 2 OF 4

FOUNDATION BEDDING PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

FREE DRAINING ANGULAR WASHED STONE 3/4" MIN. PARTICLE SIZE, COMPACT TO MIN. 90% STANDARD DENSITY PER AASHTO T99. COMPACT TO MIN. 90% STANDARD DENSITY PER AASHTO T99. THE BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (10") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADINGS ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. REFER TO TYPICAL BACKFILL DETAIL FOR MATERIAL REQUIRED.

CONNECTION DETAIL SINGLE BOLT, BAR AND STRAP

GENERAL NOTES:

- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
12" THRU 14" 1-PIECE
14" THRU 18" 2-PIECE
18" THRU 144" 3-PIECE
- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS
- REROLLED ANNUAL END CORRUGATIONS ARE NORMALLY 25" X 2". DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES

H-12 HUGGER BAND DETAIL
SCALE: N.T.S.

CONTECH CONSTRUCTION PRODUCTS INC.
521 Progress Drive, Suite H, Linthicum, MD 21090
410-799-0505 888-378-8111 FAX

CONTECH CMP DETENTION SYSTEMS
CONTROL PROPOSAL DRAWING

Ø72" CMP RETENTION SYSTEM - 437287-001
Y SITE
GAITHERSBURG, MD
SITE DESIGNATION: REV

PROJECT NO. 437287 SHEET NO. 001 DATE: 4/4/2011
DESIGNED BY: [Signature] DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]
SHEET NO. 3 OF 4

CONSTRUCTION LOADING DIAGRAM
SCALE: N.T.S.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	19-50	50-75	75-110	110-150
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

REINFORCING TABLE

Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4"	20"	#5 @ 12" OC CW	2,410
			#5 @ 12" OC SW	1,780
30"	Ø 4" X 4"	30"	#5 @ 12" OC CW	2,100
			#5 @ 12" OC SW	1,530
36"	Ø 6"	30"	#5 @ 12" OC CW	1,880
			#5 @ 12" OC SW	1,280
42"	Ø 6" X 6"	44"	#5 @ 12" OC CW	1,720
			#5 @ 12" OC SW	1,210
48"	Ø 8" X 8"	60"	#5 @ 9" OC CW	1,500
			#5 @ 9" OC SW	1,100

MANHOLE CAP DETAIL
SCALE: N.T.S.

CONTECH CONSTRUCTION PRODUCTS INC.
521 Progress Drive, Suite H, Linthicum, MD 21090
410-799-0505 888-378-8111 FAX

CONTECH CMP DETENTION SYSTEMS
CONTROL PROPOSAL DRAWING

Ø72" CMP RETENTION SYSTEM - 437287-001
Y SITE
GAITHERSBURG, MD
SITE DESIGNATION: REV

PROJECT NO. 437287 SHEET NO. 001 DATE: 4/4/2011
DESIGNED BY: [Signature] DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]
SHEET NO. 4 OF 4

VIKA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

20251 CENTURY BOULEVARD SUITE 400 GAITHERSBURG, MD 20874
10000 WOODBRIDGE ROAD GAITHERSBURG, MD 20878
10000 WOODBRIDGE ROAD GAITHERSBURG, MD 20878

THE Y SITE
LOT 7 - OLDE TOWN
PLAT 23743 L10041 F.257
WSSC MAP 223NNW09
ADC MAP 5047 JB
ELECTION DISTRICT No. 9
MONTGOMERY COUNTY, MARYLAND

STORMWATER MANAGEMENT DETAILS

VIKA REVISIONS

DATE: MARCH, 2011
DES. BCU DWN. JAR
SCALE: AS SHOWN
PROJECT/FILE NO. VM1653A
SHEET NO. 5 OF 7

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

STORMWATER MANAGEMENT
DATE: 4/27/11 BY: James D. Arnold
SEDIMENT CONTROL
DATE: _____ BY: _____
This approval will expire two years from the date of approval

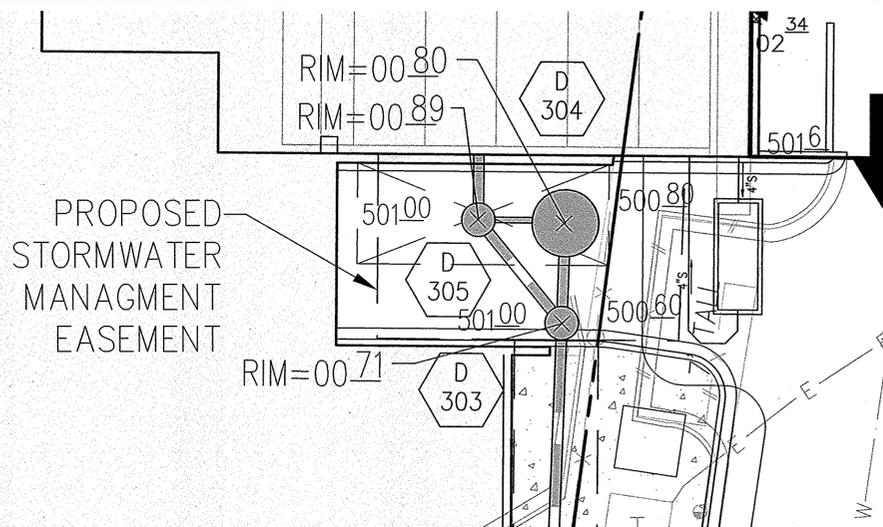
CALL "MISS UTILITY" AT
1-800-257-7777
48 Hours Before Start Of Construction

**CONSTRUCTION INSPECTION
CHECK - OFF LIST FOR SM UNDERGROUND STRUCTURE D-304**

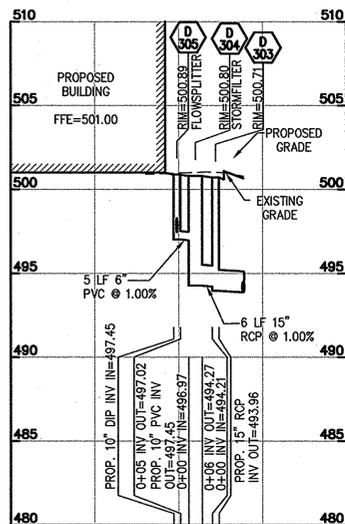
STAGE	DESIGN ENGINEER (DE)	GEOTECHNICAL ENGINEER (GEO)	CITY INSPECTOR
* MANDATORY NOTIFICATION Inspection and approval by the parties indicated is required at these points prior to proceeding with construction. The permittee is required to give the required inspection parties twenty-four (24) hours notice. The city inspector may waive an inspection, provided the design engineer and/or geotechnical engineer makes the required inspection prior to a scheduled arrangement which has been confirmed with the city inspector. Work completed without the necessary party's approval may result in the permittee having to remove and reconstruct the unapproved work. The permittee must maintain a "record set" of approved SCISM plans on-site.	INITIALS/DATE	INITIALS/DATE	INITIALS/DATE
1. Pre-construction meeting.			
2. Sediment control installation.			
3. Excavation for stormwater management structure (GEO)			
4. Install stormwater management control structure/storage structure and associated storm drainage: a. Footing subgrade, prior to pouring (GEO) b. Forms set and rebar placed for walls/slabs prior to pouring (DE) c. Pipe assembled in place (DE) on acceptable subgrade (GEO) d. Any required storm drain pipe installed to structure and temporarily plugged shut (DE) e. Internal components installed, if any (DE)			
5. Backfilling of drainage structure (GEO)			
6. Installation of storm drain inlet protection or blocking on all inlets draining to structure which may receive silt-laden runoff			
7. Installation of final compacted cover and grade - Lifts, compaction, soil material (GEO) - Location, dimensions (DE)			
8. Stabilize drainage area to stormwater management structure			
9. Removal of sediment and construction debris from structure			
10. Remove temporary blocking (DE) and (GEO)			
11. Submit record drawing and documentation (DE)			
12. Final Inspection.			

NOTES:
1. Permittee to supply Design Engineer with delivery tickets for all materials used in SM structure construction.
2. See construction specifications for detailed requirements.
3. A copy of this completed checklist must be submitted as part of the stormwater management as-built package.

City Inspection Telephone: (301) 258-6330



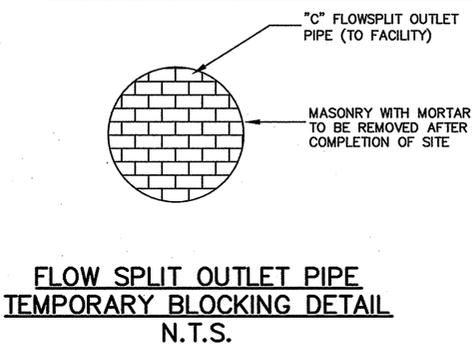
**SWM 304
PIPE PLAN VIEW**
SCALE: 1"=10'



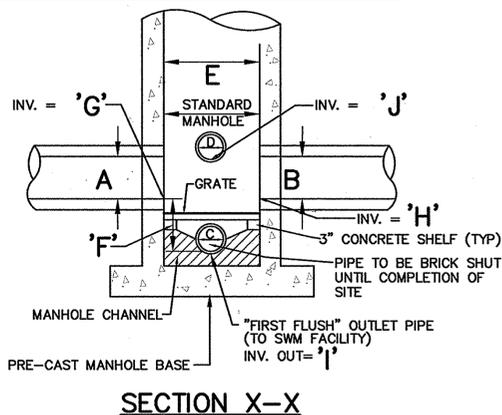
STORMWATER PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PIPE SIZE	TYPE	CLASS	LENGTH (FT)	REMARKS
6"	P.V.C.	--	5	
8"	C.M.P.	--	2	
15"	R.C.P.	CL-IV	6	
72"	C.M.P.	PERFORATED	73	
TOTAL			86	

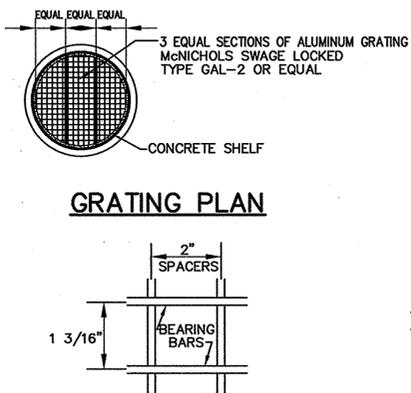
Struct. Number	M.C. County	Structure Type	Manhole Diameter	Structure Width	Top Elevation		REMARKS
					TC (Left)	TC (Right)	
D-204	204	MC-510.01	4'	---	500.71		
D-305	304	MC-510.01	8'	---	500.80		
D-305	305	MC-510.01	4'	---	501.86		



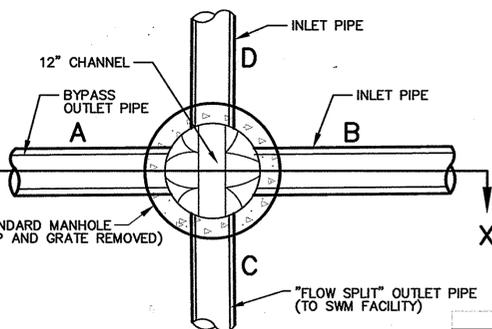
**FLOW SPLIT OUTLET PIPE
TEMPORARY BLOCKING DETAIL**
N.T.S.



SECTION X-X



GRATING PLAN

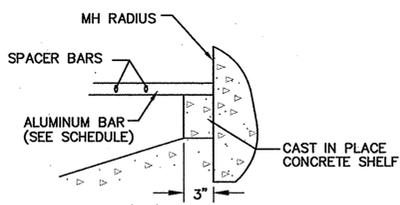


PLAN VIEW

GRATING SCHEDULE

BEARING BAR	GRATING DIMENSION
1-1/4" X 3/16"	1-3/16" X 2" X 16" WIDE

GRATING DETAIL



GRATE PLACEMENT DETAIL

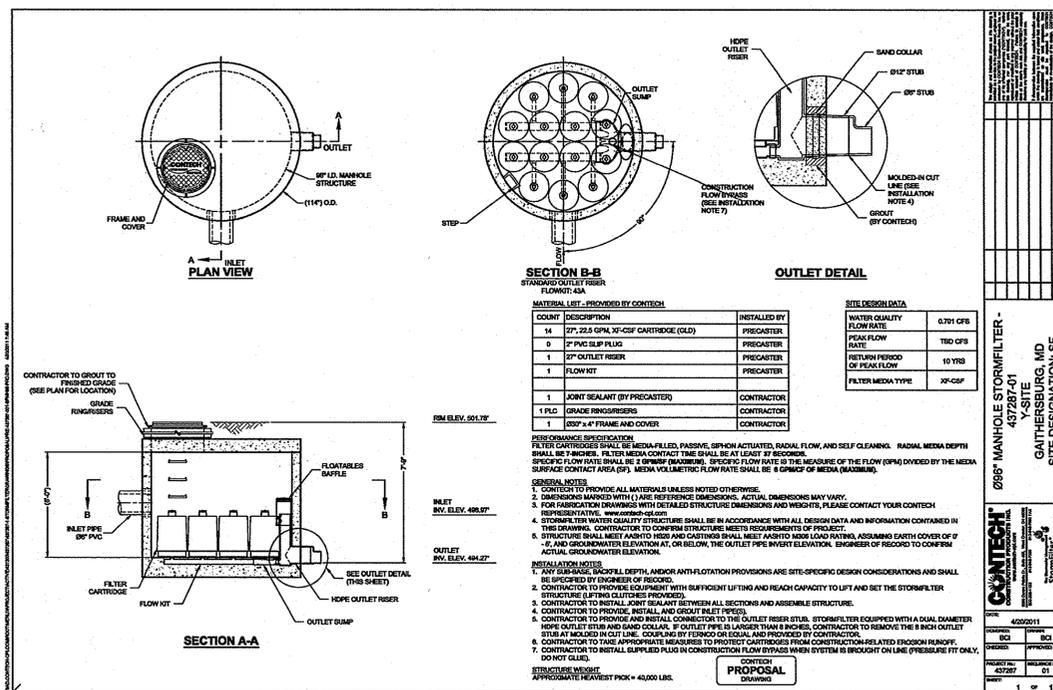
FLOW SPLITTER GENERAL NOTES:

- CONTRACTOR TO VERIFY DIMENSION BETWEEN INVERT OUT OF OVERFLOW PIPE AND INVERT OF FLOW SPLITTING PIPE PRIOR TO BACKFILLING AROUND THE STRUCTURE, AND NOTIFY VIKI IMMEDIATELY IF THERE IS A DISCREPANCY.
- ALL FLOWSPLITTER STRUCTURES ARE TO BE PRE-CAST. SHOP DRAWINGS MUST BE APPROVED BY VIKI AND ACCEPTED BY THE CITY PRIOR TO FABRICATION OF THE STRUCTURE.
- REFER TO THE STORMWATER MEASUREMENT PLAN VIEW FOR THE ACTUAL LOCATION OF ALL INCOMING AND OUTGOING PIPES.
- ALL FLOW SPLIT OUTLET PIPES TO BE BLOCKED UNTIL SITE COMPLETE.

NOTE: SWM STRUCTURES MUST MEET H-20 LOADING

STRUCTURE #	A	B	C	D	E	F	G	H	I	J	REMARKS
D-204	18"	15"	8"	15"	48"	1.52'	494.28	494.53	492.76	494.53	AMERICAST STD. NO. CI-48 OR APPROVED EQUAL
D-305	10"	10"	6"	N/A	48"	0.43'	497.45	497.45	497.02	N/A	AMERICAST STD. NO. CI-48 OR APPROVED EQUAL

FLOW SPLITTER TO SWM (DIVERSION STRUCTURE MANHOLE)
NOT TO SCALE



A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.

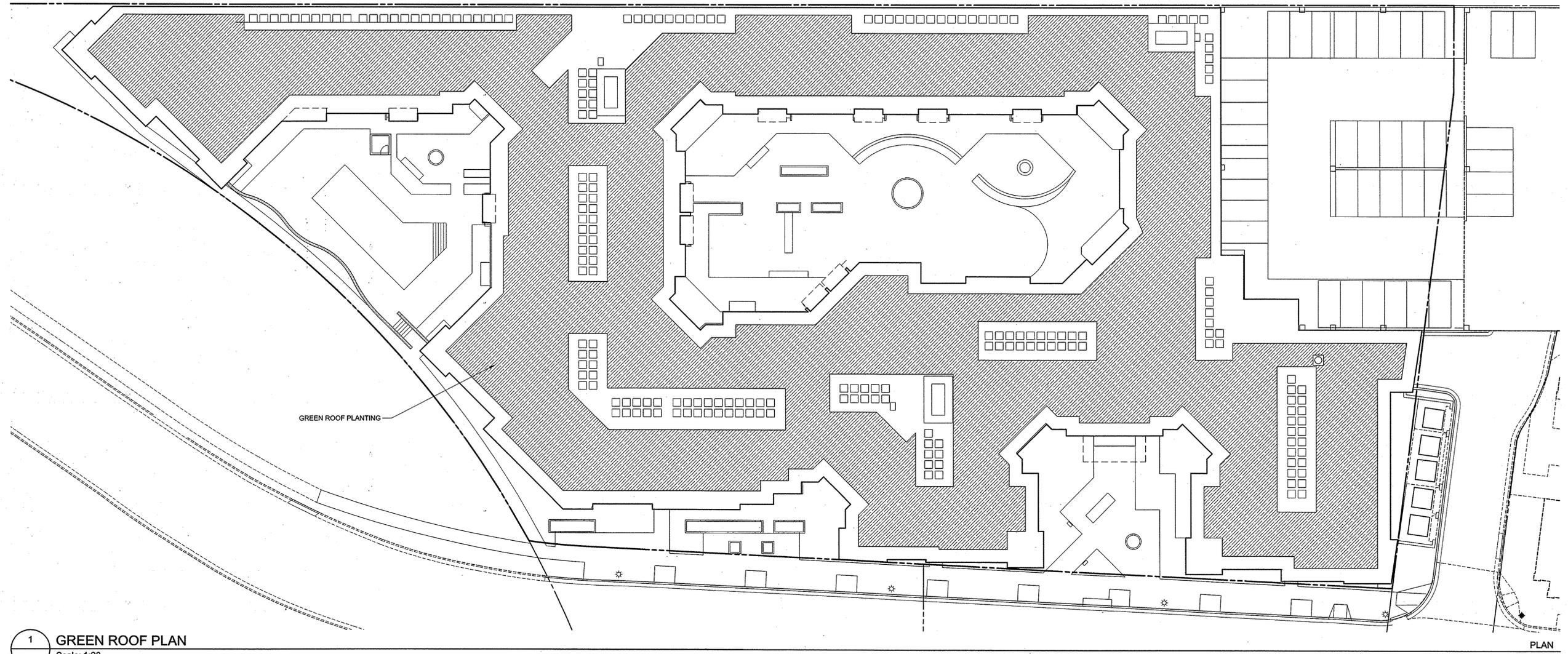
**CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS**

FINAL APPROVAL

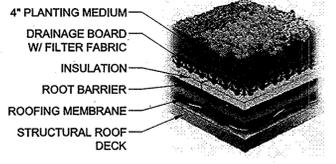
STORMWATER MANAGEMENT
DATE: 4/27/11 BY: *James D. Amwell*

SEDIMENT CONTROL
DATE: _____ BY: _____

This approval will expire two years from the date of approval



1 GREEN ROOF PLAN
L4.05 Scale: 1:20



- 4" PLANTING MEDIUM
- DRAINAGE BOARD W/ FILTER FABRIC
- INSULATION
- ROOT BARRIER
- ROOFING MEMBRANE
- STRUCTURAL ROOF DECK

GARDEN ROOF ASSEMBLY

MODEL: GARDEN ROOF ASSEMBLY: COMPONENTS:
ROOFING MEMBRANE (SEE ARCHITECTURAL)
PROTECTION COURSE/ROOT BARRIER
INSULATION/AIR BARRIER
WATER RETENTION SHEET
GARDEN DRAIN
GEOFILTER
LITETOP SOIL

MANUFACTURER: AMERICAN HYDROTECH, INC.
303 E. OHIO STREET
CHICAGO, IL 60611
PHONE: 312.337.4998

CONTACT: EASTERN REGION-SALES
MATT CARR
PHONE: 804.378.6125

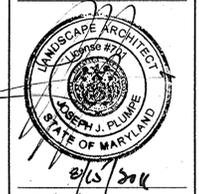
QUANTITY: PER PLAN

NOTES: OR APPROVED EQUAL

2 GREENROOF LAYERS
L4.05 Scale: NTS

PROD. INFO.

THE ENCLOSURE AND THE SIGNS ARE HEREBY RECORDED FOR THE RECORD OF THE CITY OF GAITHERSBURG, MARYLAND. THE NUMBER OF SHEETS IS INDICATED BY THE NUMBER OF SHEETS TO BE RECORDED. THE NUMBER OF SHEETS TO BE RECORDED IS 1. THE NUMBER OF SHEETS TO BE RECORDED IS 1. THE NUMBER OF SHEETS TO BE RECORDED IS 1.



REVISIONS:
REVISED FOR SITE PLAN LAYOUT
CHANGES PER DPW COMMENTS
STREETSCAPE FOR OLDE TOWNE AVE. REVISED TO REMOVE BUMP OUTS IN CURB.

GREENROOF PLAN

DESIGN: JP/DD
DRAWN: SP
CHECKED: DD
SCALE: 1" = 20'-0"

CITY OF GAITHERSBURG PLANNING COMMISSION
31 SOUTH SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
PROJECT NO: 10059
DATE: 08.15.11

L4.05
SITE PLAN SUBMISSION

This Approval is Reissued

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
FINAL PLAN APPROVAL
STORMWATER MANAGEMENT

APPROVAL DATE _____
SIGNATURE DATE *8/22/11* BY *James D. ...*

PLAN APPROVAL EXPIRES AT THE TIME OF ASSOCIATED SITE PLAN

SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON _____ WAS GRANTED
APPLICATION NO. *SP-* _____
FINAL SITE PLAN APPROVAL
WITH _____ () CONDITIONS. SEE S.D.A. LETTER.
DATE _____ BY _____

NOTE - ANY REVISIONS TO SIGNED PLANS MUST BE REAPPROVED BY THE PLANNING COMMISSION

P:\2010\10059\Y-Site-RST\16.0 CAD Files\CURRENT PHASE\L4.05 GREENROOF PLAN.dwg

NOT RELEASED FOR CONSTRUCTION