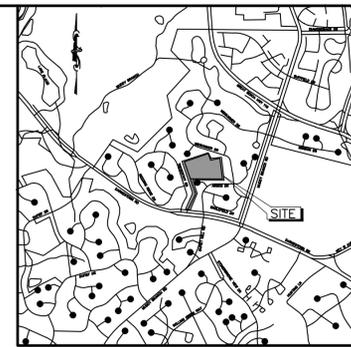


SITE NOTES

- OWNER/APPLICANT:
CITY OF GAITHERSBURG
800 RABBITT ROAD
GAITHERSBURG MD 20878-1600
CONTACT: RONALD E. KACZMAREK,
FACILITIES & CAPITOL PROJECTS DIVISION CHIEF
PHONE: 301-258-6370, EXT. 128
- SITE DATA
TAX ACCOUNT: 00777953
TOTAL SITE AREA: 9.5400 ACRES
PARCELS: P290
LOTS: 00
TAX MAP: FS21
ELECTION DISTRICT: 09
ADC MAP: FS21
WSSC GRID: 209NE01
CURRENT ZONING: R-40
CURRENT USE: TESTING LABORATORY
PROPOSED USE: FUTURE PARK & MAINTENANCE FACILITY
- TOPOGRAPHY & BOUNDARY SHOWN IS FROM MONTGOMERY COUNTY GIS ACCESSED 11/20/14. IS ONE FOOT.
- PROPERTY SHOWN HEREON LIES WITHIN ZONE C, AN AREA OF MINIMAL FLOODING, PER FEMA COMMUNITY PANEL NO. 2452080045D EFFECTIVE DATE 961996.
- THERE ARE NO BUFFERS, WETLANDS, OR OTHER ENVIRONMENTAL FEATURES ON THIS SITE.
- THERE ARE NO KNOWN HISTORIC SITES LOCATED ON THIS PROPERTY.
- SOILS INFORMATION SHOWN HEREON ARE BASED OFF INFORMATION FROM THE NCRS WEB SOIL SURVEY ACCESSED ON NOVEMBER 20, 2014.
- ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE SITE; INCLUDING WALLS, ROOFS, SLABS, FOOTINGS, WALKWAYS, ETC.
- SEE HAZARDOUS MATERIALS REPORT BY TRIAD ENGINEERING DATED 1/18/15.



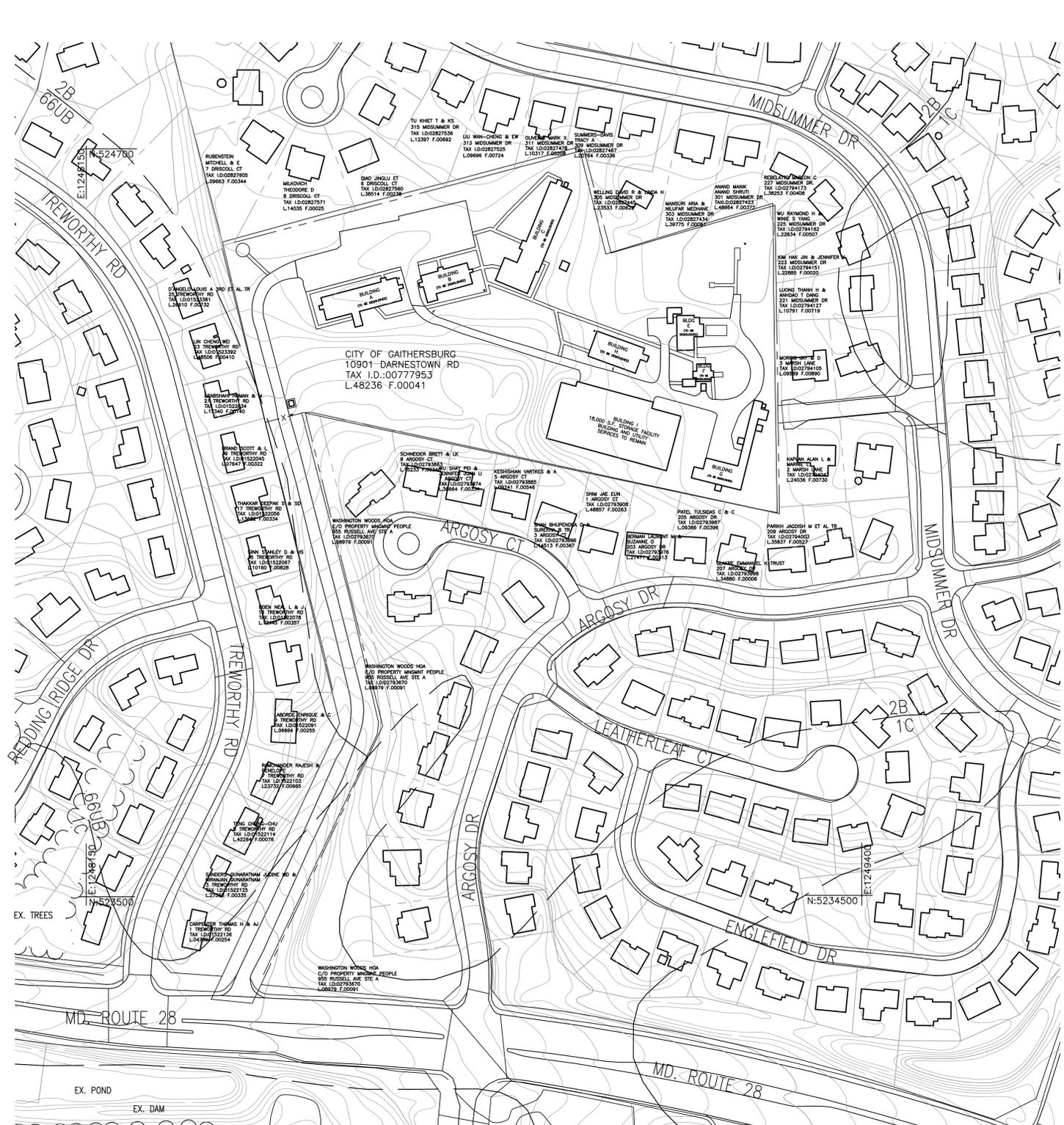
VICINITY MAP
SCALE: 1" = 2000'
ADC/MAP/GRID: 5163D4
WSSC GRID: 221NW10

GENERAL/DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO STARTING ANY WORK.
- CONTRACTOR SHALL REMOVE PAVEMENT, CURB AND GUTTER, AND CONCRETE WALK TO LIMITS INDICATED ON THE DRAWING.
- CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION WORK UNTIL ALL UTILITY DISCONNECTIONS HAVE BEEN COMPLETED AND VERIFIED IN WRITING BY UTILITY COMPANY, AND/OR OWNER.
- BURNING OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON-SITE.
- EXISTING CURB AND GUTTER & CONCRETE SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
- ALL DEMOLITION MATERIAL TO REMAIN WITHIN THE LIMIT OF DISTURBANCE. ALL STOCKPILED MATERIALS ARE TO REMAIN WITHIN THE STOCKPILE/STAGING AREA AS SHOWN ON THE APPROVED SEDIMENT & EROSION CONTROL PLAN. ALL SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO BEGINNING DEMOLITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAUL ALL DEMOLITION MATERIAL OFFSITE TO AN APPROVED FACILITY.
- CONTRACTOR TO SUBMIT A DEMOLITION/CONSTRUCTION STAGING PLAN TO THE OWNER AND ARCHITECT FOR APPROVAL, PRIOR TO BEGINNING AND CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN. CONTRACTOR TO NOTIFY THE ENGINEER ONCE TEST PITS HAVE BEEN COMPLETED.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL ADJUST ALL FRAMES, GRATES AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE CONTRACT TO THE PROPOSED GRADES AS REQUIRED.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND SHALL MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION & CONSTRUCTION ACTIVITIES, IN ACCORDANCE WITH ALL APPLICABLE STATE & COUNTY REQUIREMENTS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SOIL BORINGS WERE COMPLETED BY HERBST BENSON & ASSOCIATES ON SEPTEMBER, 2012 & LETTER REPORT DATED OCTOBER 2012. A COPY OF THE GEOTECHNICAL REPORT HAS BEEN INCLUDED WITH THE PROJECT MANUAL.
- THE DEMOLITION INFORMATION SHOWN ON THIS DRAWING IS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LIMITS OF DEMOLITION AND REMOVAL OF AFFECTED SITE ITEMS PRIOR TO BEGINNING WORK.

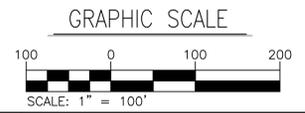
LEGEND

- PROPERTY LINE
- - - CONTOUR
- - - - - EDGE OF ROAD
- - - - - FENCE LINE
- - - - - SIDEWALK
- - - - - EXISTING BUILDING
- - - - - STORM DRAIN PIPE
- - - - - SEWER PIPE
- - - - - WATER PIPE
- TREE
- SD STORM DRAIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- FIRE HYDRANT



EXISTING CONDITONS PLAN
SCALE: 1"=100'

SOILS TABLE		
SOIL SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP
1C	GAILA SILT LOAM, 8 TO 15 % SLOPES	B
2B	GLENELG SILT LOAM, 3 TO 8 % SLOPES	B
66UB	WHEATON-URBAN LAND COMPLEX, 0 TO 8 % SLOPES	B



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2015

BID SOLICITATION EXHIBIT 9.5.1

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL _____

DATES _____

BY _____

KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

11850 WEST MARKET PLACE
SUITE A
FULTON, MD 20759
TELEPHONE (410) 792-8086
FAX (410) 792-7419

REVISIONS			
NO.	DATE	DESCRIPTION	BY

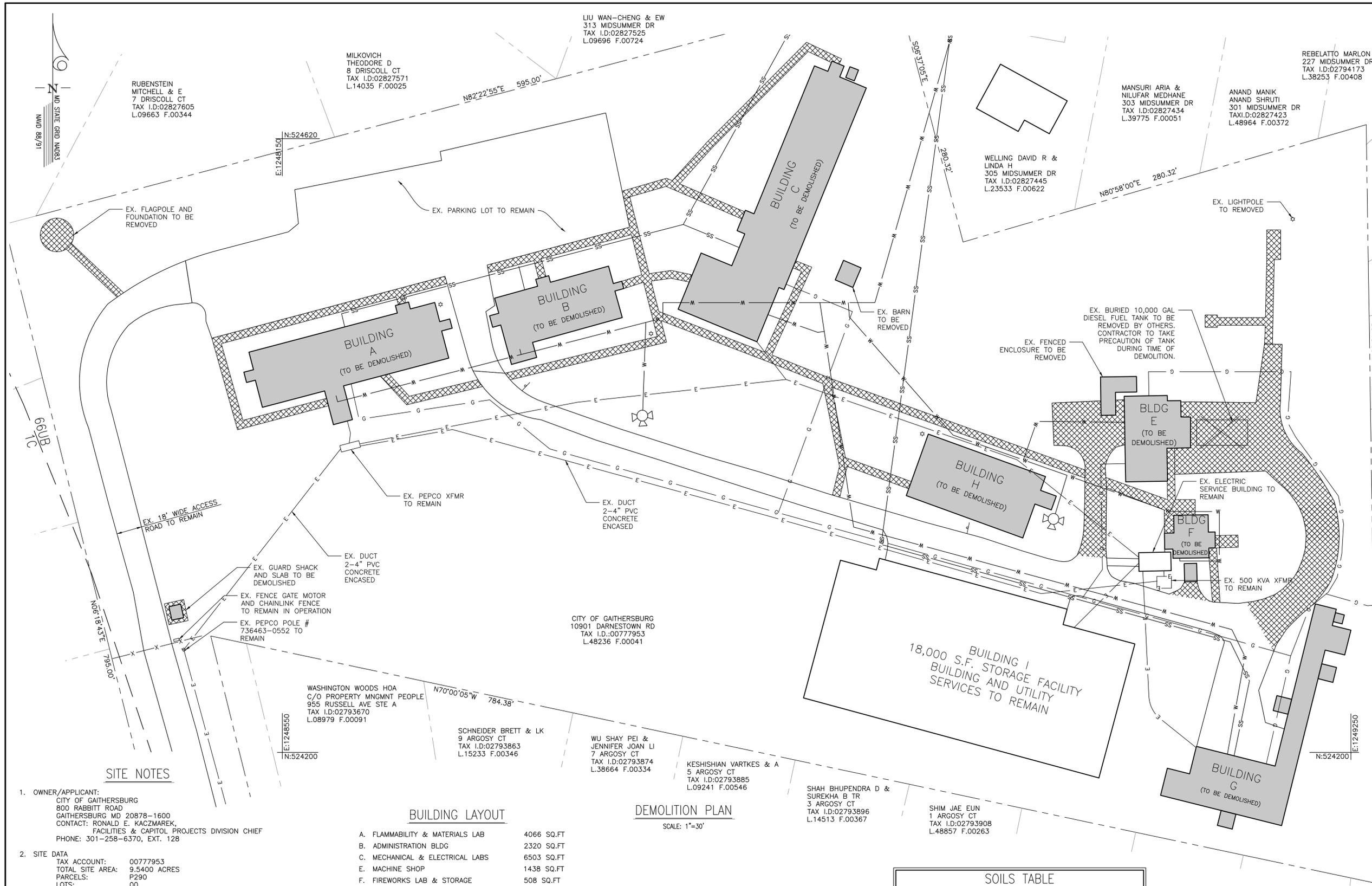
DATE: 01/08/2015
SCALE: 1" = 100'
DESIGNED BY: NAB
CHECKED BY: THM

CITY OF GAITHERSBURG
10901 DARNESTOWN ROAD, GAITHERSBURG, MD 20878
TAX ID: 00777953 LIBER/FOLIO: 48236/00041

EXISTING CONDITIONS PLAN

DRAWING NO. C-001
SHEET 1 OF 2
KCI JOB NUMBER 27146902

MONTGOMERY COUNTY ELECTION DISTRICT 09



VICINITY MAP
 SCALE: 1" = 2000'
 ADCMAP/GRID: 5163D4
 WSSC GRID: 221NW10

LEGEND

---	PROPERTY LINE
- - - -	EX. CONTOUR
---	EX. EDGE OF ROAD
---	EX. FENCE LINE
---	EX. SIDEWALK
---	EX. BUILDING
---	STORM DRAIN PIPE
---	EX. GAS
---	EX. WATER
---	EX. TREE LINE
---	EX. SEWER
---	FIRE HYDRANT
---	EX. TANK TO BE REMOVED
---	EX. SIGNS
---	EX. LIGHTPOLE
---	EX. BUILDING TO BE DEMOLISHED
---	EX. PAVEMENT TO BE REMOVED

SITE NOTES

- OWNER/APPLICANT:
CITY OF GAITHERSBURG
800 RABBITT ROAD
GAITHERSBURG, MD 20878-1600
CONTACT: RONALD E. KACZMAREK,
FACILITIES & CAPITOL PROJECTS DIVISION CHIEF
PHONE: 301-258-6370, EXT. 128
- SITE DATA
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- THERE ARE NO KNOWN HISTORIC SITES LOCATED ON THIS PROPERTY.
- SOILS INFORMATION SHOWN HEREON ARE BASED OFF INFORMATION FROM THE NCRS WEB SOIL SURVEY ACCESSED ON NOVEMBER 20, 2014.
- ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE SITE; INCLUDING WALLS, ROOFS, SLABS, FOOTINGS, WALKWAYS, ETC.
- SEE HAZARDOUS MATERIALS REPORT BY TRIAD ENGINEERING DATED 1/18/15.

BUILDING LAYOUT

A. FLAMMABILITY & MATERIALS LAB	4066 SQ.FT
B. ADMINISTRATION BLDG	2320 SQ.FT
C. MECHANICAL & ELECTRICAL LABS	6503 SQ.FT
E. MACHINE SHOP	1438 SQ.FT
F. FIREWORKS LAB & STORAGE	508 SQ.FT
G. COMBUSTION PRODUCTS LAB	1413 SQ.FT
H. CHEMISTRY LAB & OFFICE BUILDING	3300 SQ.FT

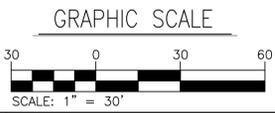
DEMOLITION PLAN

SCALE: 1"=30'

NOTE:
UTILITIES TO BE DEMOLISHED 10 FEET FROM FACE OF BUILDING

SOILS TABLE

SOIL SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP
1C	GAIA SILT LOAM, 8 TO 15 % SLOPES	B
2B	GLENELG SILT LOAM, 3 TO 8 % SLOPES	B
66UB	WHEATON-URBAN LAND COMPLEX, 0 TO 8 % SLOPES	B



BID SOLICITATION EXHIBIT 9.5.2

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772 EXP. DATE: 06/16/2015

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

FINAL APPROVAL

DATES _____

BY _____

KCI TECHNOLOGIES

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

11850 WEST MARKET PLACE
SUITE A
FULTON, MD 20759
TELEPHONE: (410) 792-8086
FAX: (410) 792-7419

REVISIONS			DATE
NO.	DATE	DESCRIPTION	BY
			01/08/2015

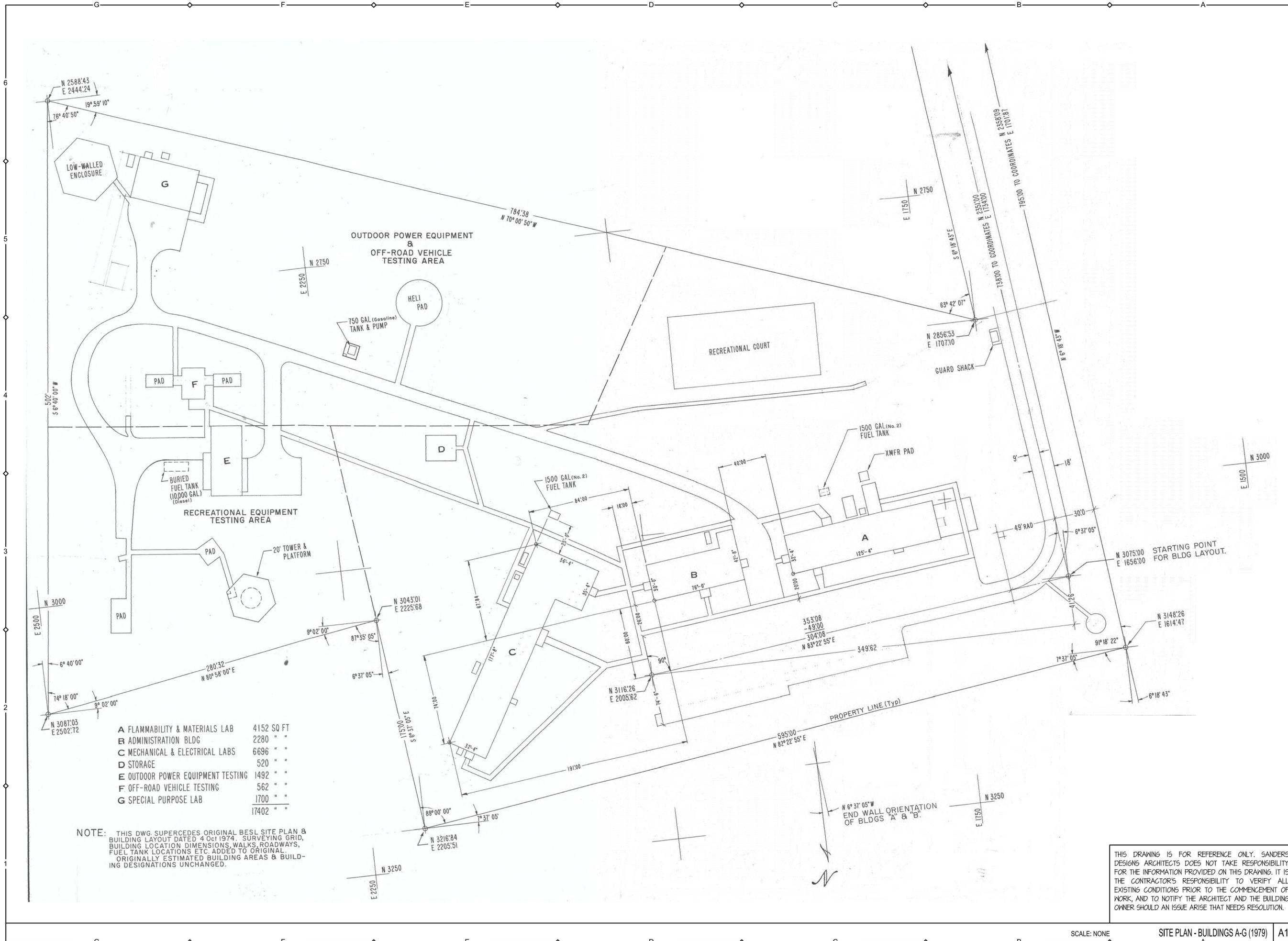
CITY OF GAITHERSBURG
10901 DARNESTOWN ROAD, GAITHERSBURG, MD 20878
TAX ID: 00777953 LIBER/FOLIO: 48236/00041

DEMOLITION PLAN
OF THE FORMER CPSC FACILITY

MONTGOMERY COUNTY ELECTION DISTRICT 09

DRAWING NO. C-0.02
SHEET 2 OF 2
KCI JOB NUMBER 27146902

Monday, December 22, 2014 10:10:24 AM
 \\A:\2014\27146902\DRAWINGS\C-0.02_SHEE 2A.DWG



A	FLAMMABILITY & MATERIALS LAB	4152 SQ FT
B	ADMINISTRATION BLDG	2280 " "
C	MECHANICAL & ELECTRICAL LABS	6696 " "
D	STORAGE	520 " "
E	OUTDOOR POWER EQUIPMENT TESTING	1492 " "
F	OFF-ROAD VEHICLE TESTING	562 " "
G	SPECIAL PURPOSE LAB	1700 " "
		17402 " "

NOTE: THIS DWG. SUPERCEDES ORIGINAL BESL SITE PLAN & BUILDING LAYOUT DATED 4 Oct 1974. SURVEYING GRID, BUILDING LOCATION DIMENSIONS, WALKS, ROADWAYS, FUEL TANK LOCATIONS ETC. ADDED TO ORIGINAL. ORIGINALLY ESTIMATED BUILDING AREAS & BUILDING DESIGNATIONS UNCHANGED.

THIS DRAWING IS FOR REFERENCE ONLY. SANDERS DESIGNS ARCHITECTS DOES NOT TAKE RESPONSIBILITY FOR THE INFORMATION PROVIDED ON THIS DRAWING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK, AND TO NOTIFY THE ARCHITECT AND THE BUILDING OWNER SHOULD AN ISSUE ARISE THAT NEEDS RESOLUTION.

DEMOLITION OF BUILDINGS ON FORMER CONSUMER PRODUCT SAFETY COMMISSION SITE
 INVITATION TO BID 2015-016
 10901 DARNESTOWN ROAD
 GAITHERSBURG, MARYLAND 20878

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 8586
 EXP. DATE: 05-21-2015

THESE DRAWINGS ARE NOT PERMITTED TO BE COPIED OR REPRODUCED, EITHER WHOLLY OR PARTIALLY, UNLESS WRITTEN PERMISSION IS FIRST OBTAINED FROM SANDERS DESIGNS, P.A.

SANDERS | DESIGNS ARCHITECTS
PLANNERS
 MAILBOX@SANDERSDESIGNS.COM
 WWW.SANDERSDESIGNS.COM
 9727 GREENSIDE DRIVE SUITE 202 COCKEYSVILLE, MD 21030 T-410 560 2624 F-410 560 2722

No.	Date	Revision

Project No.: 14.155
 Date: 02 FEBRUARY 2015
 Scale: AS NOTED
 Edition:
BID SOLICITATION EXHIBIT
 Drawing Name:
SITE PLAN BUILDINGS A-G (1979)
 Drawing Number

9.5.3

LE-GEN

- ELECTRICAL LINE
- SPRINKLER SYSTEM
- GAS LINE
- FENCE
- SEWER SYSTEM
- PHONE SYSTEM
- WATER LINE
- ALARM SYSTEM
- ABANDON PIPELINE
- HYDRANT PIPELINE

over 6,000 volts

INV. of San
Spalling
#85-1

M.H. 1
TOP ELEV. 409.00
INV. ELEV. 404.00 (IN)
INV. ELEV. 404.33 (OUT)

ABANDON 6" S.C.O.
CONN. NEW 6" S TO EX.
6" S. AT INV. 405.96
EX. SAN. M.H.
TOP ELEV. 409.86
INV. ELEV. 406.37

PLUG
6" S. IN
M.H.

EX SAN MH
TOP ELE. 4990
RENORK BOTTOM
INV. ELEV. 90370

ABANDON EX. 3 W.
NEW 2 SILVER MAPLE.
EX. 3" VALVE
EX. FILTER SHED
EX. 1" VALVE.
SEE PART PLAN - HOUSE WATER CONNECTIONS ON
THIS DWG. FOR RELOC. OF FILTERS PIPING IN THIS AREA.
4" X 4" TEE
4" G.V.
EX. 2" C.W. TO REMAIN
EX. 1" C.W. TO REMAIN

STD WSSC BUTTRESS
FOR 90° HORIZ. BEND
(B13)
EX. GUARD HOUSE
M.H. 3
TOP ELEV. 398.20
INV. ELEV. 390.45 (IN)
INV. ELEV. 390.12 (OUT)

EXCHAIN LINK
GATE FENCE



NEW WAREHOUSE

M.H. 2
TOP ELEV. 402.00
INV. ELEV. 394.50 (IN)
INV. ELEV. 394.17 (OUT)

8" S. 3.36% G.R.

EX. POWER POLE

SAN. M.H. 4
TOP ELEV. 388.33
INV. ELEV. 387.66 (IN)
INV. ELEV. 387.33 (OUT)

EX. MACADAM ENTRANCE RD.
APPROX. 18 FT WIDE

EX. POWER POLE.

8" S. 4.53% GR.

EX. 24" RCP S.W.
INV. 377.51 (IN)

E2000

645' OF 2" PLAT
M-9210-76
PT-IF

E2250

25 OF 2" PLAMP LOT 23
M 9210-76
PT IF

BORE OR JACK MAIN UNDER
ALL CONC. DRWYS SWS

TRENCH WIDTH NOT
TO EXCEED 20"

NBR 90490 M9210-176 PT IF

Plant form
Level 200' int
Grid 13

2" 120 V Direct
Burial conductor
To Tennis Courts
EX. W.B. Also
Duck Pond Pole
EX. Power Pole

THIS DRAWING IS FOR REFERENCE ONLY. SANDERS
DESIGNS ARCHITECTS DOES NOT TAKE RESPONSIBILITY
FOR THE INFORMATION PROVIDED ON THIS DRAWING. IT IS
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL
EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF
WORK, AND TO NOTIFY THE ARCHITECT AND THE BUILDING
OWNER SHOULD AN ISSUE ARISE THAT NEEDS RESOLUTION.

SCALE: NONE

SITE & UTILITY PLAN - WSSC (1997)

A1

DEMOLITION OF BUILDINGS ON
FORMER CONSUMER PRODUCT
SAFETY COMMISSION SITE

I CERTIFY THAT THESE
DOCUMENTS WERE
PREPARED OR APPROVED
BY ME AND THAT I AM A
DULY LICENSED
ARCHITECT
UNDER THE LAWS OF THE
STATE OF MARYLAND.
LICENSE NO.: 8586
EXP. DATE: 05-21-2015

THESE DRAWINGS ARE NOT
PERMITTED TO BE COPIED OR
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OR PARTIALLY, UNLESS
WRITTEN PERMISSION IS FIRST
OBTAINED FROM SANDERS
DESIGNS, P.A.

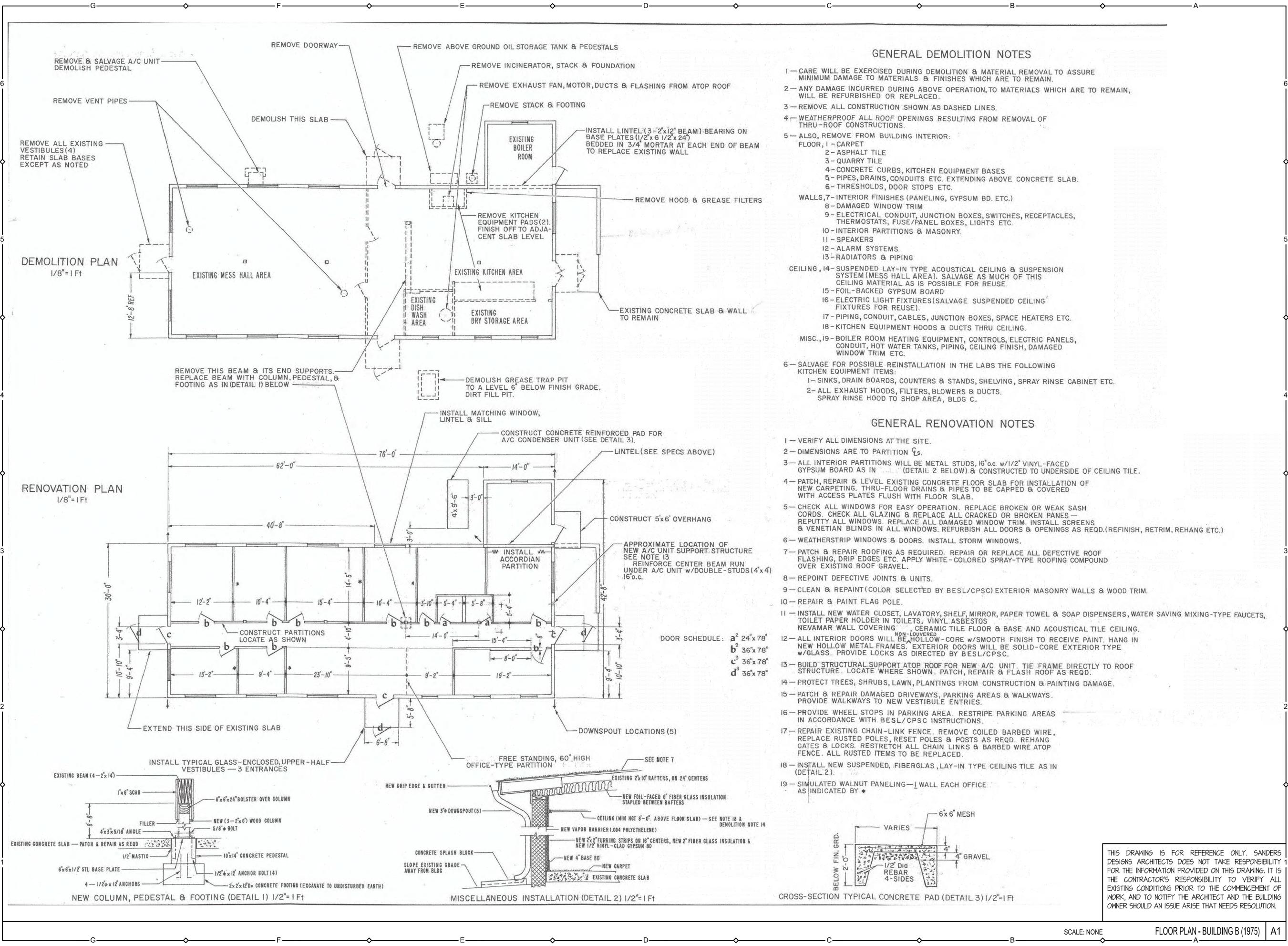
SANDERS | DESIGNS
ARCHITECTS PLANNERS

WWW.SANDERSDESIGNS.COM
MAILBOX@SANDERSDESIGNS.COM
9727 GREENSIDE DRIVE SUITE 202 COCKEYSVILLE, MD 21030 T-410 560 2624 F-410 560 2722

No.	Date	Revision

Project No.: 14.155
Date: 02 FEBRUARY 2015
Scale: AS NOTED
Edition:
BID SOLICITATION
EXHIBIT
Drawing Name:
SITE & UTILITY PLAN
WSSC (1997)
Drawing Number

9.5.6



GENERAL DEMOLITION NOTES

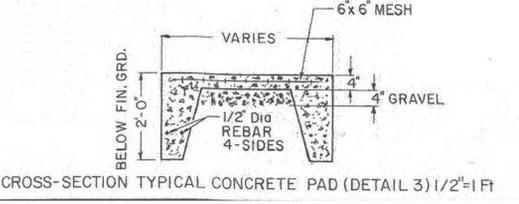
- CARE WILL BE EXERCISED DURING DEMOLITION & MATERIAL REMOVAL TO ASSURE MINIMUM DAMAGE TO MATERIALS & FINISHES WHICH ARE TO REMAIN.
- ANY DAMAGE INCURRED DURING ABOVE OPERATION, TO MATERIALS WHICH ARE TO REMAIN, WILL BE REFURBISHED OR REPLACED.
- REMOVE ALL CONSTRUCTION SHOWN AS DASHED LINES.
- WEATHERPROOF ALL ROOF OPENINGS RESULTING FROM REMOVAL OF THRU-ROOF CONSTRUCTIONS.
- ALSO, REMOVE FROM BUILDING INTERIOR:
 - FLOOR, 1 - CARPET
 - 2 - ASPHALT TILE
 - 3 - QUARRY TILE
 - 4 - CONCRETE CURBS, KITCHEN EQUIPMENT BASES
 - 5 - PIPES, DRAINS, CONDUITS ETC. EXTENDING ABOVE CONCRETE SLAB.
 - 6 - THRESHOLDS, DOOR STOPS ETC.
- WALLS, 7 - INTERIOR FINISHES (PANELING, GYPSUM BD. ETC.)
- 8 - DAMAGED WINDOW TRIM
- 9 - ELECTRICAL CONDUIT, JUNCTION BOXES, SWITCHES, RECEPTACLES, THERMOSTATS, FUSE/PANEL BOXES, LIGHTS ETC.
- 10 - INTERIOR PARTITIONS & MASONRY.
- 11 - SPEAKERS
- 12 - ALARM SYSTEMS
- 13 - RADIATORS & PIPING
- CEILING, 14 - SUSPENDED LAY-IN TYPE ACOUSTICAL CEILING & SUSPENSION SYSTEM (MESS HALL AREA). SALVAGE AS MUCH OF THIS CEILING MATERIAL AS IS POSSIBLE FOR REUSE.
- 15 - FOIL-BACKED GYPSUM BOARD
- 16 - ELECTRIC LIGHT FIXTURES (SALVAGE SUSPENDED CEILING FIXTURES FOR REUSE).
- 17 - PIPING, CONDUIT, CABLES, JUNCTION BOXES, SPACE HEATERS ETC.
- 18 - KITCHEN EQUIPMENT HOODS & DUCTS THRU CEILING.
- MISC., 19 - BOILER ROOM HEATING EQUIPMENT, CONTROLS, ELECTRIC PANELS, CONDUIT, HOT WATER TANKS, PIPING, CEILING FINISH, DAMAGED WINDOW TRIM ETC.
- SALVAGE FOR POSSIBLE REINSTALLATION IN THE LABS THE FOLLOWING KITCHEN EQUIPMENT ITEMS:
 - 1 - SINKS, DRAIN BOARDS, COUNTERS & STANDS, SHELVING, SPRAY RINSE CABINET ETC.
 - 2 - ALL EXHAUST HOODS, FILTERS, BLOWERS & DUCTS. SPRAY RINSE HOOD TO SHOP AREA, BLDG C.

GENERAL RENOVATION NOTES

- VERIFY ALL DIMENSIONS AT THE SITE.
- DIMENSIONS ARE TO PARTITION CLS.
- ALL INTERIOR PARTITIONS WILL BE METAL STUDS, 16" o.c. w/1/2" VINYL-FACED GYPSUM BOARD AS IN (DETAIL 2 BELOW) & CONSTRUCTED TO UNDERSIDE OF CEILING TILE.
- PATCH, REPAIR & LEVEL EXISTING CONCRETE FLOOR SLAB FOR INSTALLATION OF NEW CARPETING. THRU-FLOOR DRAINS & PIPES TO BE CAPPED & COVERED WITH ACCESS PLATES FLUSH WITH FLOOR SLAB.
- CHECK ALL WINDOWS FOR EASY OPERATION. REPLACE BROKEN OR WEAK SASH CORDS. CHECK ALL GLAZING & REPLACE ALL CRACKED OR BROKEN PANES - REPUTTY ALL WINDOWS. REPLACE ALL DAMAGED WINDOW TRIM. INSTALL SCREENS & VENETIAN BLINDS IN ALL WINDOWS. REFURBISH ALL DOORS & OPENINGS AS REQD. (REFINISH, RETRIM, REHANG ETC.)
- WEATHERSTRIP WINDOWS & DOORS. INSTALL STORM WINDOWS.
- PATCH & REPAIR ROOFING AS REQUIRED. REPAIR OR REPLACE ALL DEFECTIVE ROOF FLASHING, DRIP EDGES ETC. APPLY WHITE-COLORED SPRAY-TYPE ROOFING COMPOUND OVER EXISTING ROOF GRAVEL.
- REPOINT DEFECTIVE JOINTS & UNITS.
- CLEAN & REPAINT (COLOR SELECTED BY BESL/CPSC) EXTERIOR MASONRY WALLS & WOOD TRIM.
- REPAIR & PAINT FLAG POLE.
- INSTALL NEW WATER CLOSET, LAVATORY, SHELF, MIRROR, PAPER TOWEL & SOAP DISPENSERS, WATER SAVING MIXING-TYPE FAUCETS, TOILET PAPER HOLDER IN TOILETS. VINYL ASBESTOS NEVAMAR WALL COVERING. CERAMIC TILE FLOOR & BASE AND ACOUSTICAL TILE CEILING.
- ALL INTERIOR DOORS WILL BE ^{NON-LOWERED} HOLLOW-CORE w/SMOOTH FINISH TO RECEIVE PAINT. HANG IN NEW HOLLOW METAL FRAMES. EXTERIOR DOORS WILL BE SOLID-CORE EXTERIOR TYPE w/GLASS. PROVIDE LOCKS AS DIRECTED BY BESL/CPSC.
- BUILD STRUCTURAL SUPPORT ATOP ROOF FOR NEW A/C UNIT. TIE FRAME DIRECTLY TO ROOF STRUCTURE. LOCATE WHERE SHOWN. PATCH, REPAIR & FLASH ROOF AS REQD.
- PROTECT TREES, SHRUBS, LAWN, PLANTINGS FROM CONSTRUCTION & PAINTING DAMAGE.
- PATCH & REPAIR DAMAGED DRIVEWAYS, PARKING AREAS & WALKWAYS. PROVIDE WALKWAYS TO NEW VESTIBULE ENTRIES.
- PROVIDE WHEEL STOPS IN PARKING AREA. RESTRIPE PARKING AREAS IN ACCORDANCE WITH BESL/CPSC INSTRUCTIONS.
- REPAIR EXISTING CHAIN-LINK FENCE. REMOVE COILED BARBED WIRE, REPLACE RUSTED POLES, RESET POLES & POSTS AS REQD. REHANG GATES & LOCKS. RESTRETCH ALL CHAIN LINKS & BARBED WIRE ATOP FENCE. ALL RUSTED ITEMS TO BE REPLACED.
- INSTALL NEW SUSPENDED, FIBERGLAS, LAY-IN TYPE CEILING TILE AS IN (DETAIL 2).
- SIMULATED WALNUT PANELING - 1 WALL EACH OFFICE AS INDICATED BY *

DOOR SCHEDULE:

a	24' x 78'
b	36' x 78'
c	36' x 78'
d	36' x 78'



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DEMOLITION OF BUILDINGS ON FORMER CONSUMER PRODUCT SAFETY COMMISSION SITE
 INVITATION TO BID 2015-016
 10901 DARNESTOWN ROAD
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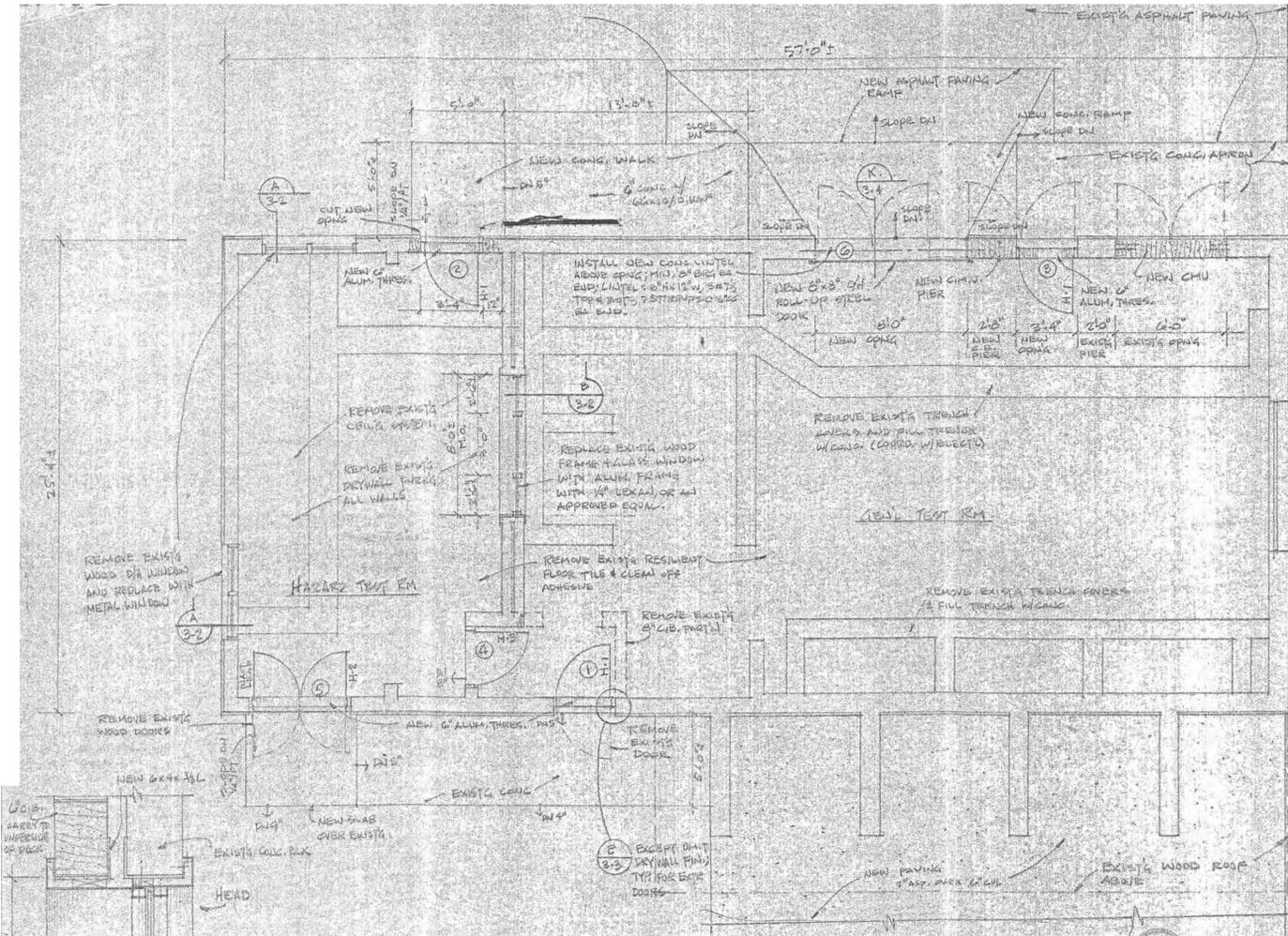
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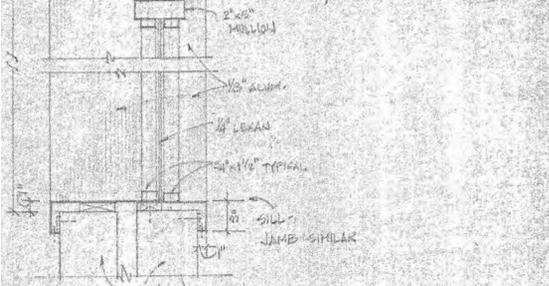
Project No.: 14.155
 Date: 02 FEBRUARY 2015
 Scale: AS NOTED
 Edition:
 BID SOLICITATION EXHIBIT
 Drawing Name: FLOOR PLAN BUILDING B (1975)
 Drawing Number

95.9

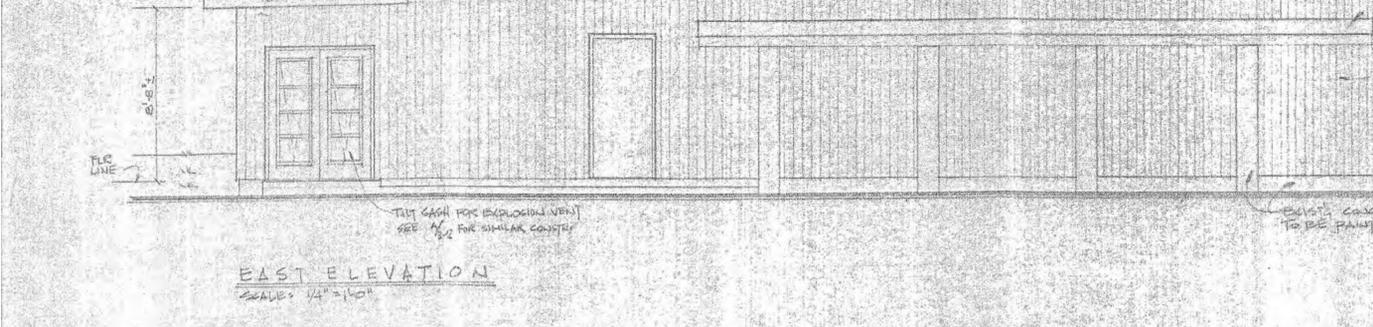


FLOOR PLAN
SCALE: 1/4" = 1'-0"

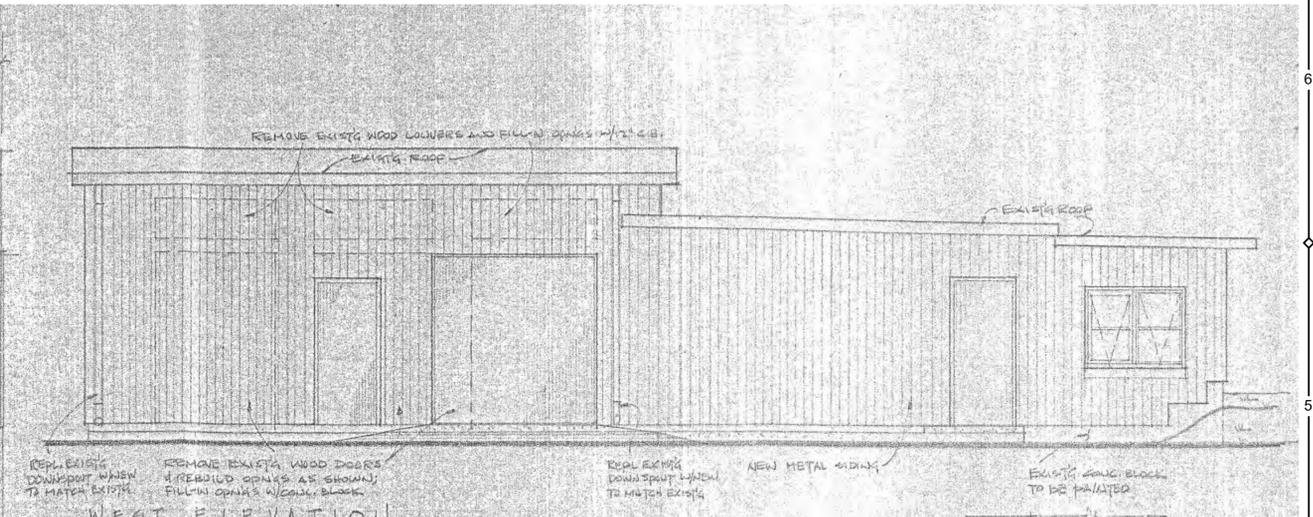
NO.	MAX. SIZE	NO.	MATL.	TYPE	FRAME	THRESHOLD	REMARKS
1	3' x 7'	2	HOLLOW STEEL	FLUSH	STEEL	6" ALUM. D	INTERLOCKING TYPE
2	3' x 7'	Do	Do	Do	Do	Do	
3	3' x 7'	Do	Do	Do	Do	Do	
4	3' x 7'	Do	Do	Do	Do	NONE	
5	28' x 7'	Do	Do	PANEL	Do	6" ALUM. D	EXPOSED PANEL - 1/2" CORRUG.
6	8' x 8'	-	STEEL	OVERHEAD ROLL-UP	-	-	PAINTED CHAMFER FINISH, RUBBER WEATHER SEAL & BUT.



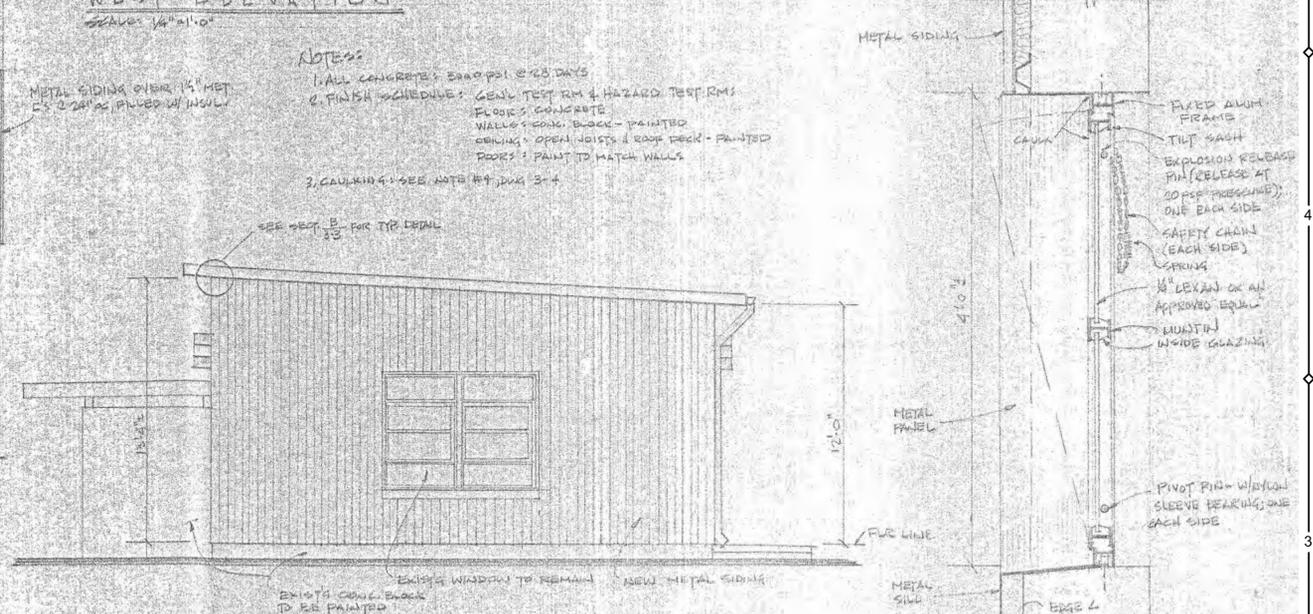
SECTION A-A
SCALE: 1/4" = 1'-0"



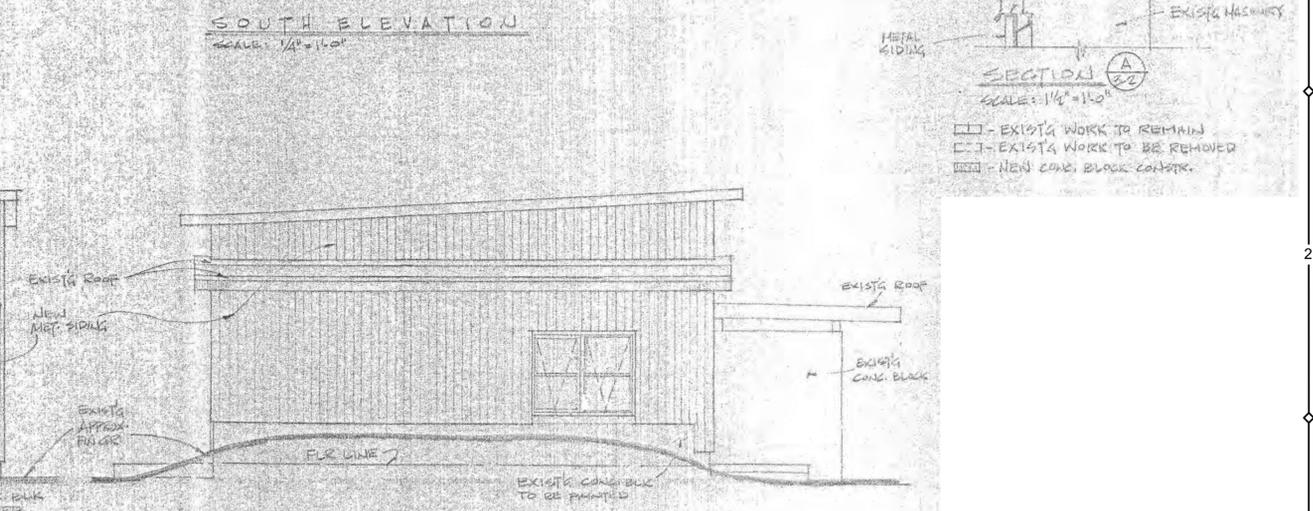
EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
1. ALL CONCRETE: 3000 PSI, 4" MIN. THICKNESS
2. FINISH SCHEDULES: GEN'L TEST RM & HAZARD TEST RM'S
FLOOR: CONCRETE
WALLS: CONCRETE BLOCK - PAINTED
CEILING: OPEN JOISTS & ROOF DECK - PAINTED
DOORS: PAINT TO MATCH WALLS
3. CAULKING - SEE NOTE #4, DRAW 3-4

SECTION A-A
SCALE: 1/4" = 1'-0"

- EXISTING WORK TO REMAIN
 - EXISTING WORK TO BE REMOVED
 - NEW CONC. BLOCK CONSTRUCTION

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No.	Date	Revision

Project No.: 14.155
Date: 02 FEBRUARY 2015
Scale: AS NOTED
Edition:
BID SOLICITATION EXHIBIT
Drawing Name:
FLOOR PLAN BUILDING E (1977)
Drawing Number

9.5.11

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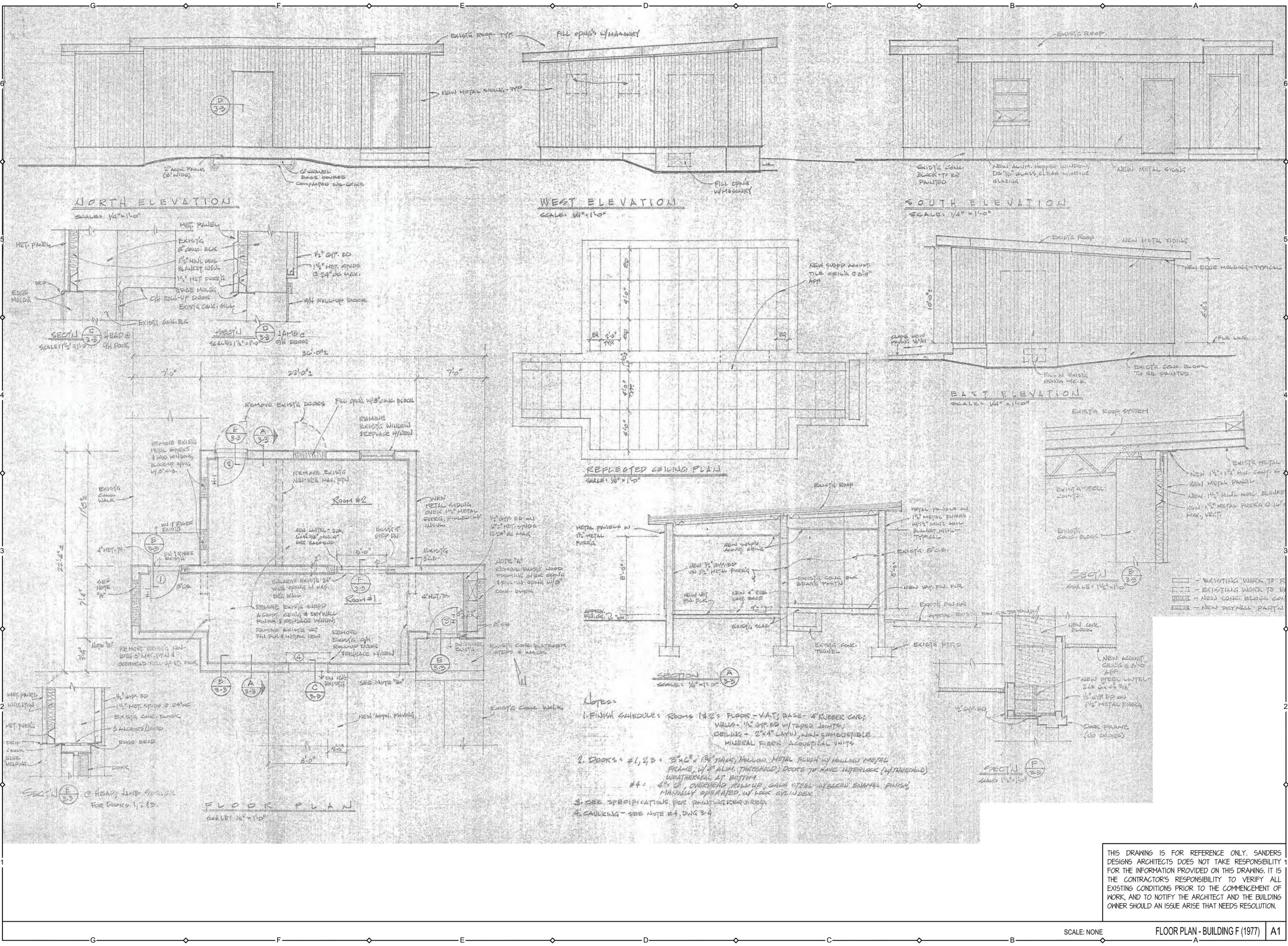
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Project No.: 14.155
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 Edition:

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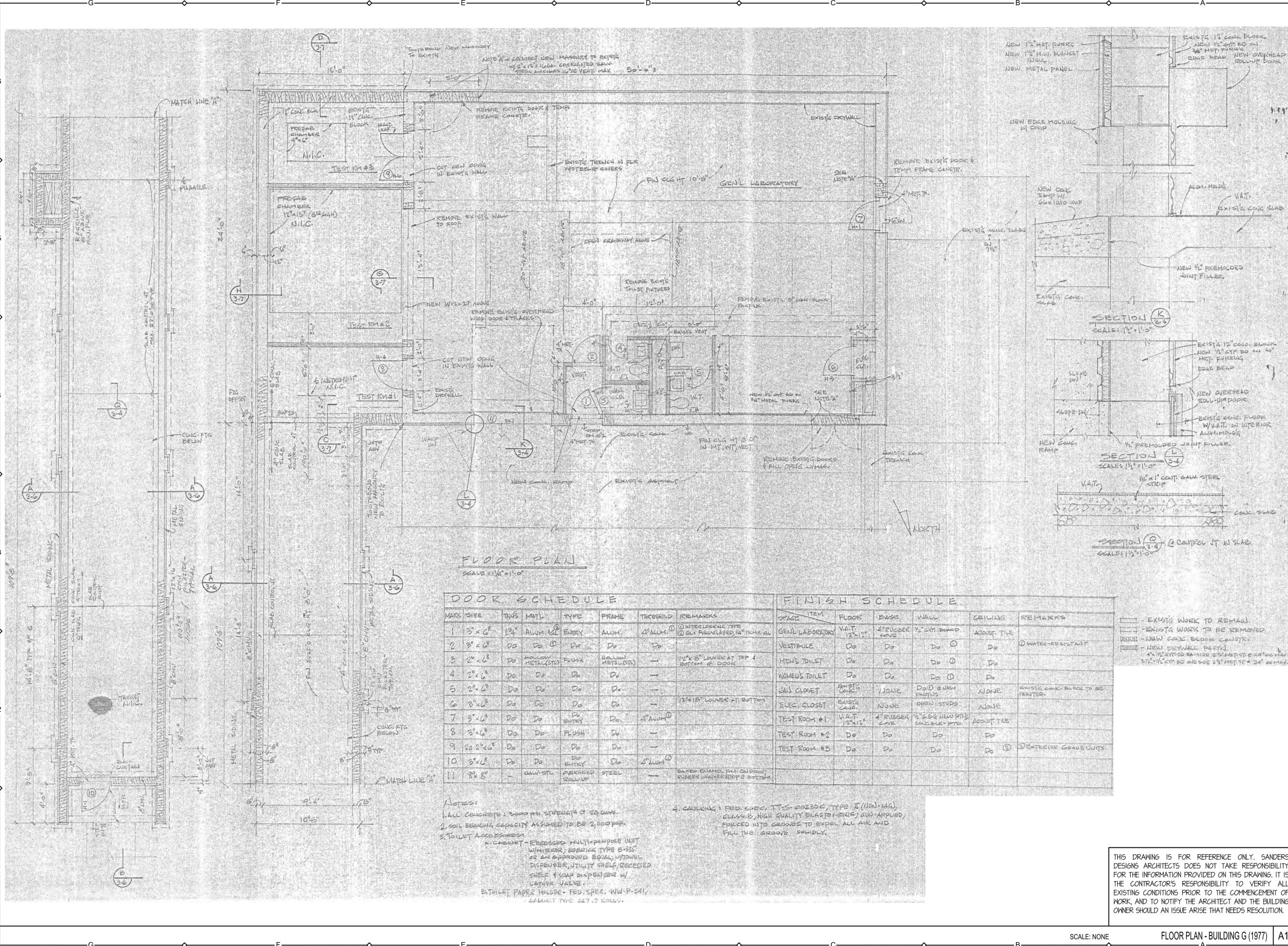
Drawing Name: FLOOR PLAN BUILDING F (1977)
 Drawing Number

9.5.12



- NOTES:**
1. FINISH SCHEDULE: ROOMS 1 & 2: FLOOR - V.A.T.; BASE - 4" RUBBER CARB; WALLS - 1/2" GYP. BD w/ TAPE JOINTS; CEILING - 2"x4" LATH, NEW COMPOSITE MINERAL FIBER ACOUSTICAL UNITS
 2. DOORS #1, 2, 3 = 2'x6" x 1 3/4" THICK, YELLOW METAL FLUSH w/ HOLLOW METAL FRAME, w/ 4" ALUM. THRESHOLD; DOORS TO HAVE INTERLOCK (w/ WEATHER) WEATHERSEAL AT BOTTOM
 3. #4 = 4 1/2" CB, OVERHEAD ROLLUP, GALV. STEEL w/ BARCO. ENAMEL FINISH, MANUALLY OPERATED, w/ LOCK CYLINDER
 4. CAULKING - SEE NOTE #4, DWG 3-G

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FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE						
MARK	SIZE	THICK	MATL	TYPE	FRAME	THRESHOLD
1	3' x 6'	1 3/4"	ALUM. 1/4"	ENTRY	ALUM.	4" ALUM. ①
2	3' x 6'	Do	Do	Do	Do	Do
3	2' x 6'	Do	HOLLOW METAL (STD)	FLUSH	HOLLOW METAL (STD)	—
4	2' x 6'	Do	Do	Do	Do	—
5	2' x 6'	Do	Do	Do	Do	—
6	3' x 6'	Do	Do	Do	Do	—
7	3' x 6'	Do	Do	Do	Do	—
8	3' x 6'	Do	Do	Do	Do	—
9	2' x 2' x 6'	Do	Do	Do	Do	—
10	3' x 6'	Do	Do	Do	Do	—
11	8' x 8'	—	CONC. STR.	OVERHEAD ROLL-UP	STEEL	—

FINISH SCHEDULE						
SPACE	ITEM	FLOOR	BASE	WALL	CEILING	REMARKS
GEN'L LABORATORY	V.A.T.	12"x12"	4" RUBBER COVE	1/2" GYP. BOARD	ACCOUST. TILE	
VESTIBULE	Do	Do	Do	Do	Do	① WATER-RESISTANT
MEN'S TOILET	Do	Do	Do	Do	Do	
WOMEN'S TOILET	Do	Do	Do	Do	Do	
WALL CLOSET	EXIST'G CONC.	—	—	Do ① NEW PARTIALS	NONE	EXIST'G CONC. BLOCK TO BE PAINTED
ELEC. CLOSET	EXIST'G CONC.	—	—	OPEN STUDS	NONE	
TEST ROOM #1	V.A.T.	12"x12"	4" RUBBER COVE	1/2" GYP. BOARD NEW PLY. COARSE-PTD.	ACCOUST. TILE	
TEST ROOM #2	Do	Do	Do	Do	Do	
TEST ROOM #3	Do	Do	Do	Do	Do	② EXTERIOR GRADE UNITS

- NOTES:
- ALL CONCRETE - 3000 PSI STRENGTH @ 28 DAYS.
 - SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.
 - TOILET ACCESSORIES:
 - ① CABINET - EGRESS MULTI-PURPOSE UNIT WITH/OUT; BORGICK TYPE B-355 OR AN APPROVED EQUAL; W/ TOWEL DISPENSER, UTILITY SHELF, RECESSED SHELF + SOAP DISPENSER W/ WATER VALVE.
 - ② TOILET PAPER HOLDER - FED. SPEC. WW-P-541; CABINET TYPE 247.2 ROLLS.
 - CASULINGS: FED. SPEC. TT-5-20230C TYPE I (NON-SAG) CLASS B, HIGH QUALITY PLASTIC; GUN-APPLIED, FORCED INTO GROOVES TO EXPEL ALL AIR AND FILL THE GROOVE SOLIDLY.

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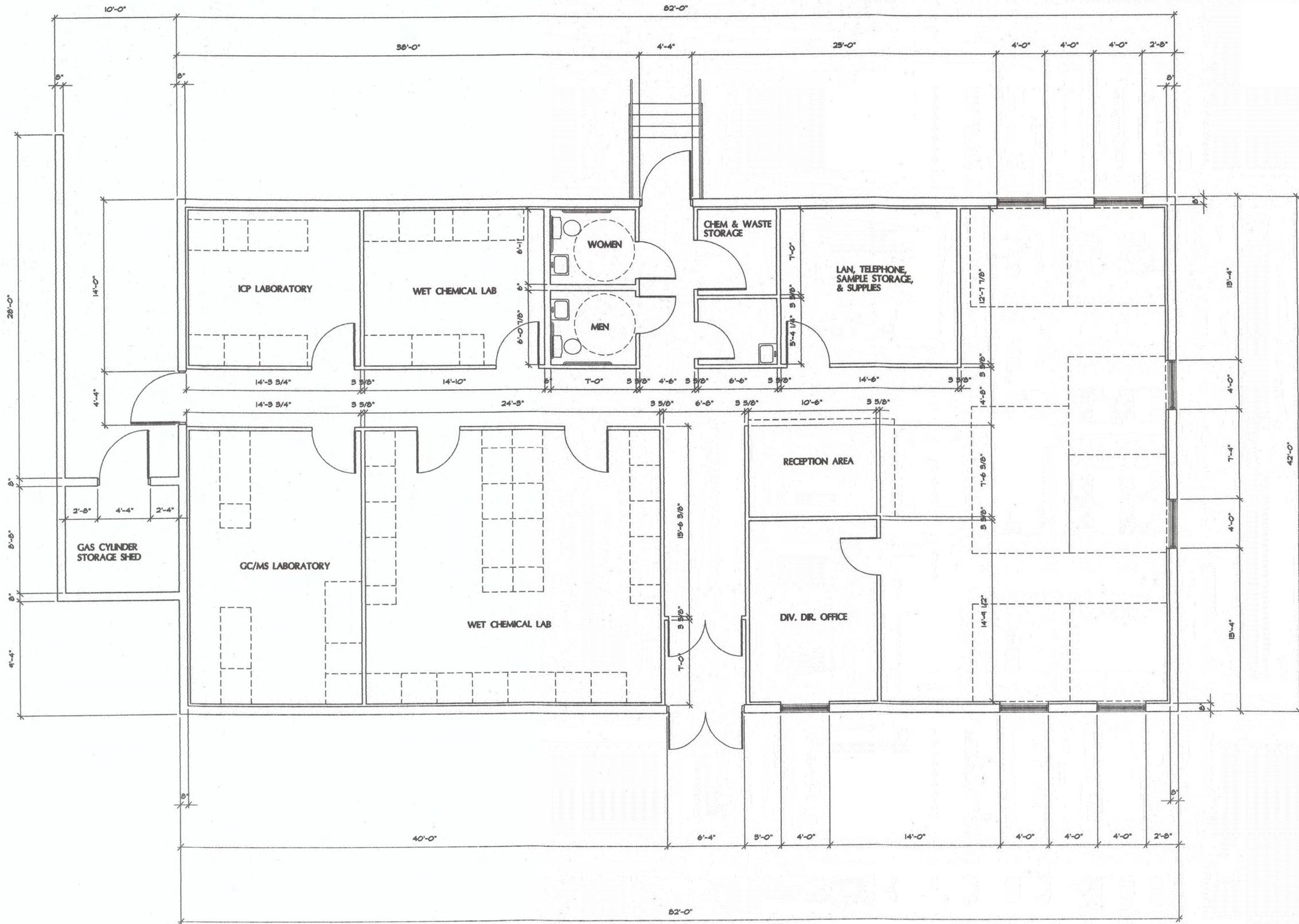
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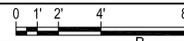
No.	Date	Revision

Project No.: 14.155
Date: 02 FEBRUARY 2015
Scale: AS NOTED
Edition:
BID SOLICITATION EXHIBIT
Drawing Name: FLOOR PLAN BUILDING G (1977)
Drawing Number

9.5.13



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SCALE: 1/4" = 1'-0"

FLOOR PLAN - BUILDING H (1997) A1

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 Drawing Name:
 FLOOR PLAN BUILDING H (1997)
 Drawing Number

9.5.14