



AMENDMENT #1
REQUEST FOR BIDS
No. 2016-014

Effective: December 9, 2015

Project: Historic Preservation of the Smokehouse at Bohrer Park at Summit Hall Farm

Issued By: Wes Rhodes, Procurement Manager 
City of Gaithersburg
Division of Procurement
31 South Summit Avenue
Gaithersburg, Maryland 20877

This Amendment is incorporated into and made part of Request for Bids 2016-014 dated December 4, 2015 (hereinafter referred to as the "Solicitation") for the above named project.

The purpose of this Amendment is to address a problem where the key notes in some of the drawings are not legible. As such, Drawings G1.0, A1.0, A2.0 and A3.0 in Exhibit B, *Plans and Specifications*, of the Solicitation are hereby deleted in their entirety and are replaced with the respective drawings attached hereto, all of which are incorporated herein.

CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS

800 RABBITT ROAD
GAITHERSBURG, MARYLAND 20878



SUMMIT HALL SMOKEHOUSE
PRESERVATION PROJECT

100% DOCUMENT SUBMITTAL

502 SOUTH FREDERICK AVENUE
GAITHERSBURG, MARYLAND 20877



LOCATION MAP

INDEX OF DRAWINGS

SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
GENERAL		
G1.0	1 OF 5	TITLE SHEET

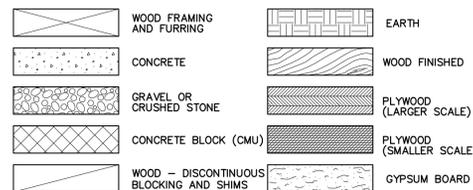
ARCHITECTURAL		
A1.0	2 OF 4	FLOOR PLAN, ELEVATIONS AND SECTIONS
A2.0	3 OF 4	ELEVATION PHOTOS AND DETAILS
A3.0	4 OF 4	ELEVATION PHOTOS AND INTERIOR PHOTOS

GENERAL NOTES

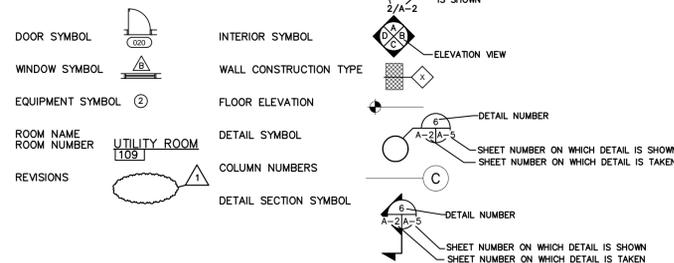
NOTE: REFERENCE TO THE "CONTRACTOR" SHALL REFER TO ALL BUSINESS TRADES, THEIR EMPLOYEES, REPRESENTATIVES, AND ASSIGNS WHO ARE PERFORMING THE WORK DESCRIBED IN THESE DOCUMENTS AND WHO ARE PROPERLY LICENSED TO DO BUSINESS IN THE LOCAL JURISDICTION WHERE THE WORK IS BEING PERFORMED.

- BID QUALIFICATIONS:** BY SUBMITTING A BID FOR THE WORK, THE CONTRACTOR WARRANTS THEY HAVE EXAMINED ALL OF THE DOCUMENTS AND INVESTIGATED THE JOB SITE TO BECOME FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS IN THE FIELD, INCLUDING ALL DIMENSIONS AND ELEVATIONS SHOWN OF EXISTING WORK AND FOR CONNECTIONS TO WORK IN PLACE. BIDS SHALL INCLUDE COSTS FOR ALL WORK DESCRIBED IN THE CONTRACT WORK AS SHOWN ON THE DRAWINGS. PRIOR TO ANY WORK, NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED WORK; OR ANY RESTRICTIONS ADVERSELY EFFECTING THE PROPER EXECUTION OF THE WORK.
- PERMITS:** A LOCAL "BUILDING PERMIT" IS REQUIRED. UNLESS NOTED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, OBTAINING, AND PAYING FOR ALL RELATED TRADE PERMITS, FEES, INSPECTIONS, AND APPROVAL BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE TO THE OWNER COPIES OF ALL TRANSACTIONS. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH DIRECTIVES ISSUED BY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- MEANS AND METHODS:** THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES; AND FOR COORDINATION OF ALL PORTIONS OF THE WORK REQUIRED BY THE DOCUMENTS.
- SCHEDULE MATERIAL DELIVERY:** THE CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS, EQUIPMENT, ETC. IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF A SPECIFIED ITEM IS FOUND TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY TO ALLOW SUFFICIENT TIME TO REVIEW ALTERNATE SELECTIONS, AND TO ALLOW SUFFICIENT TIME FOR DELIVERY AND INSTALLATION OF THE SUBSTITUTED ITEM.
- FIELD VERIFICATION:** VERIFY DIMENSIONS AND CONDITIONS IN FIELD. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF ALL LINES AND LEVELS. ALL MEASUREMENTS TAKEN AT THE JOB SITE TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS TO LOCATE SCHEDULED WORK. LARGE-SCALE DETAILS WILL GOVERN OVER SMALL SCALE.
- DAMAGED WORK:** NEW OR EXISTING WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES, OR MANUFACTURER'S INSTRUCTION FOR INSTALLATION SHALL BE REMOVED AND REPLACED AT THE SOLE COST OF THE CONTRACTOR. DURING THE DEMOLITION PHASE THE CONTRACTOR SHALL NOT DAMAGE (OR DEFACE) EXISTING MATERIALS AND FINISHES TO REMAIN. ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN THAT IS DAMAGED DURING THE COURSE OF THE WORK BY CONTRACTOR'S FORCES SHALL BE REFINISHED OR REPLACED AT NO ADDITIONAL COST(S) TO THE OWNER. THE REPAIR OF SUCH DAMAGE SHALL LEAVE THE PARTS IN A CONDITION AT LEAST EQUAL TO THAT FOUND AT THE START OF WORK.
- MATERIALS:** ALL MATERIALS INSTALLED UNDER THIS CONTRACT SHALL BE UNDER THE PRESERVATION GOALS OF THE PROJECT.
- WORK PERFORMANCE:** ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCALLY ADOPTED REGULATIONS, ORDINANCES, AND CODES OF THE JURISDICTION WHERE THE WORK IS BEING PERFORMED.
- SECURE SITE:** AT THE END OF EACH WORKDAY DURING THE PERIOD OF CONSTRUCTION, THE AREAS OF WORK SHALL BE SECURED AGAINST UNAUTHORIZED ENTRY AND WEATHER DAMAGE.
- SITE ACCESSIBILITY:** THE CONTRACTOR SHALL MAKE PROVISIONS TO ENSURE THAT THE OCCUPIED SPACE IS SAFELY ACCESSIBLE TO THE TENANTS AND GENERAL PUBLIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE WHATEVER MEANS ARE NECESSARY, INCLUDING TEMPORARY CONSTRUCTION TO ENSURE ACCESSIBILITY AND EGRESS TO AND FROM THE SPACE IN A SAFE MANNER.
- DEMOLISHED ITEMS:** ALL DEMOLISHED ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL KEEP THE PREMISES CLEANED BY REMOVING ACCUMULATIONS OF WASTE MATERIALS, RUBBISH AND DEBRIS FROM DAY TO DAY AND SHALL DISPOSE OF THE SAME IN THE SATISFACTION OF THE OWNER AND ALL AUTHORITIES HAVING JURISDICTION, AND KEEP THE SITE AND PUBLIC RIGHT-OF-WAY REASONABLY CLEAR. THE CONTRACTOR SHALL ADEQUATELY DAMPEN ALL SUCH WASTE MATERIALS, RUBBISH AND DEBRIS SO AS TO REDUCE DUST AS MUCH AS POSSIBLE. STOCK-FILED DEBRIS IN THE AREAS OF PARTIALLY DEMOLISHED STRUCTURES WILL NOT BE PERMITTED. A DUMPSITE SHALL BE PROVIDED BY THE CONTRACTOR TO CONTAIN DEBRIS ON SITE.
- DEMOLITION COORDINATION:** THE EXTENT OF ALL DEMOLITION WORK SHALL BE COORDINATED BY THE CONTRACTOR AS REQUIRED TO PROPERLY ACCEPT NEW WORK.

MATERIALS



ARCHITECTURAL LEGEND



DATE
DR
CK
APP
CEE
IN CHARGE

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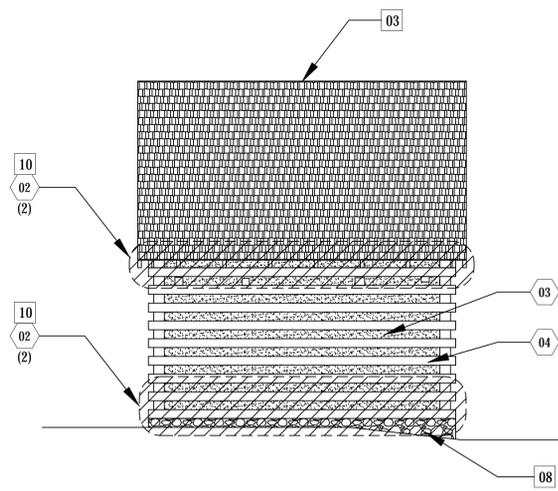
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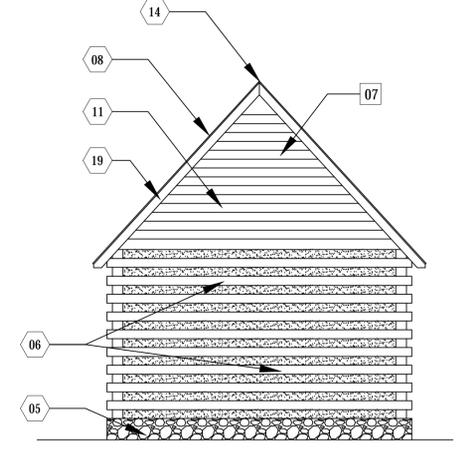
Summit Hall Smokehouse Preservation
502 South Frederick Avenue
Gaithersburg, MD 20877

DRAWING
G1.0

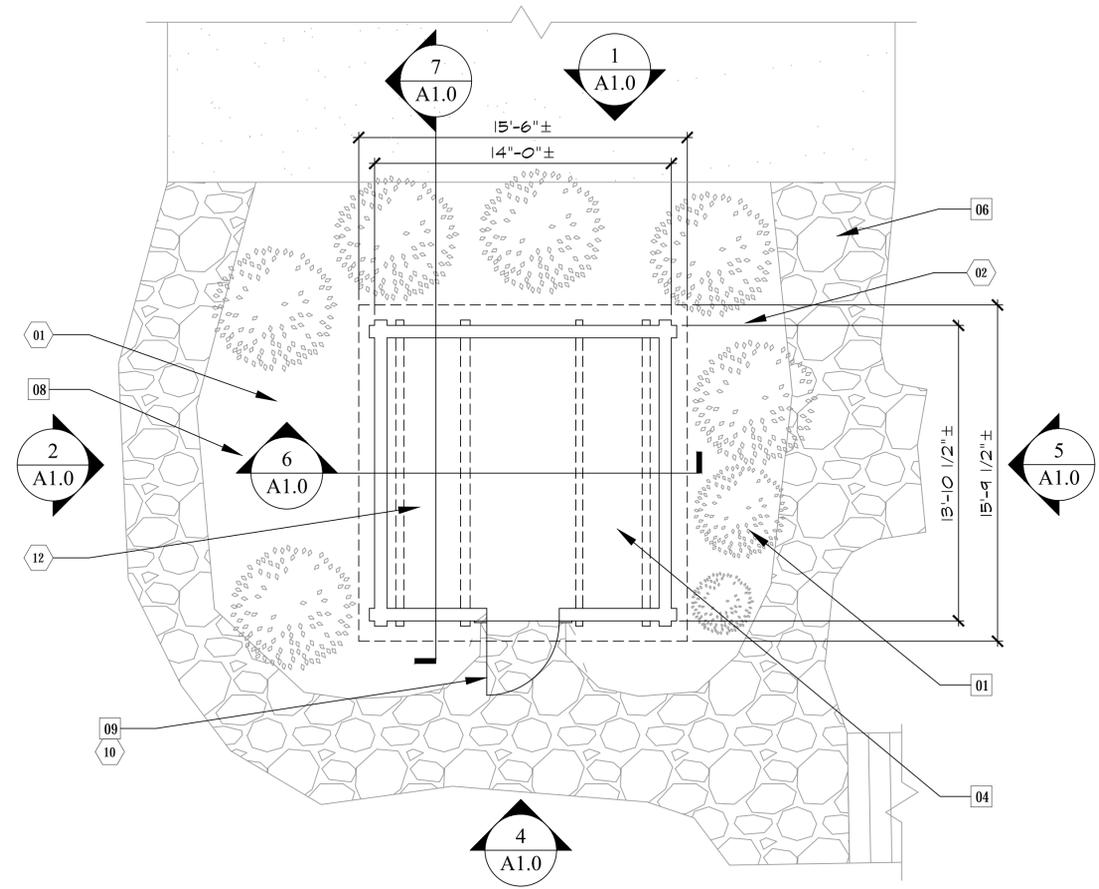
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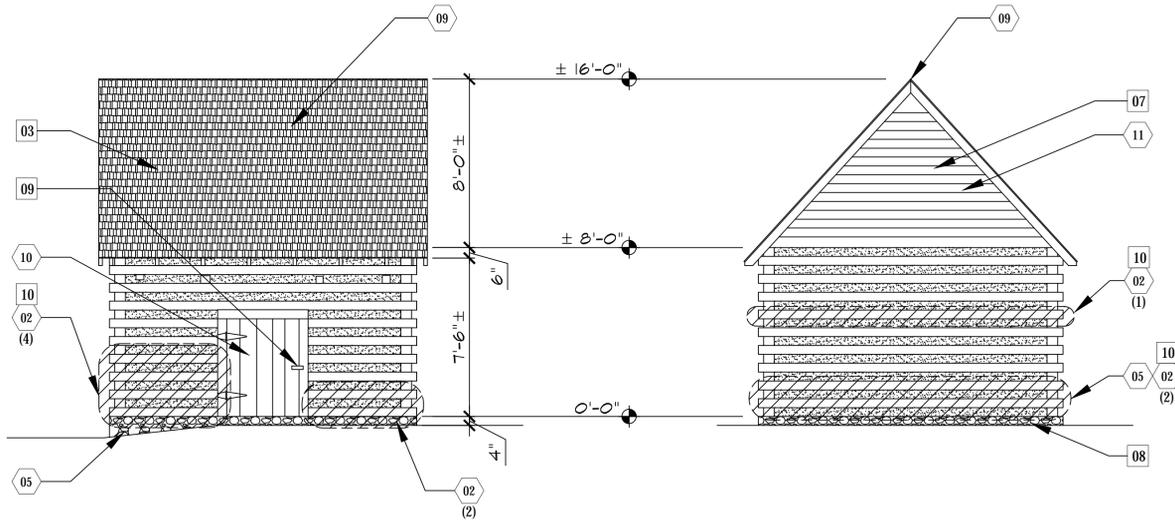
1 West Elevation
A1.0 SCALE: 1/4" = 1'-0"



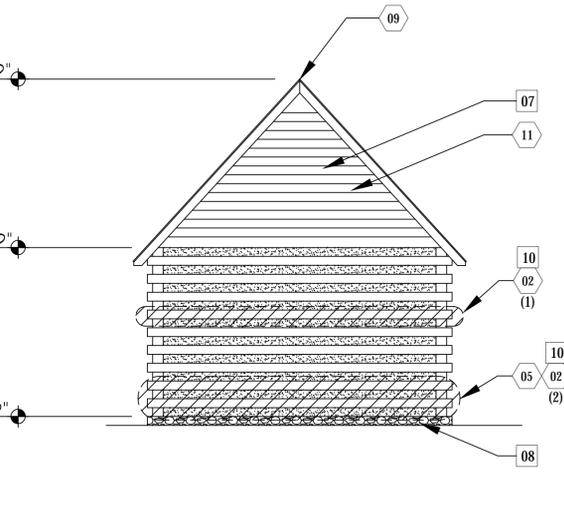
2 South Elevation
A1.0 SCALE: 1/4" = 1'-0"



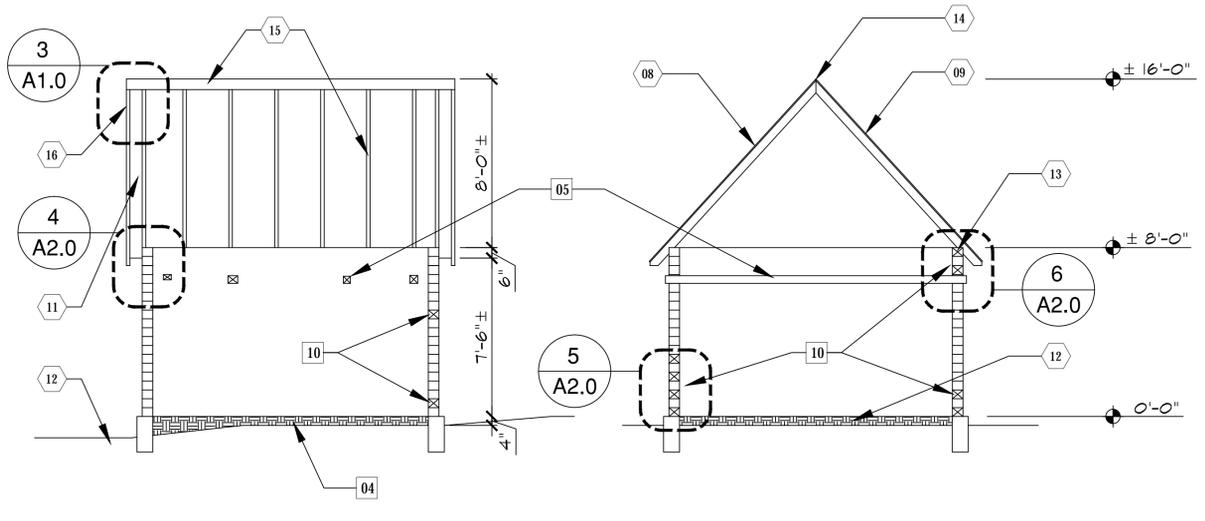
3 Floor Plan
A1.0 SCALE: 1/4" = 1'-0"



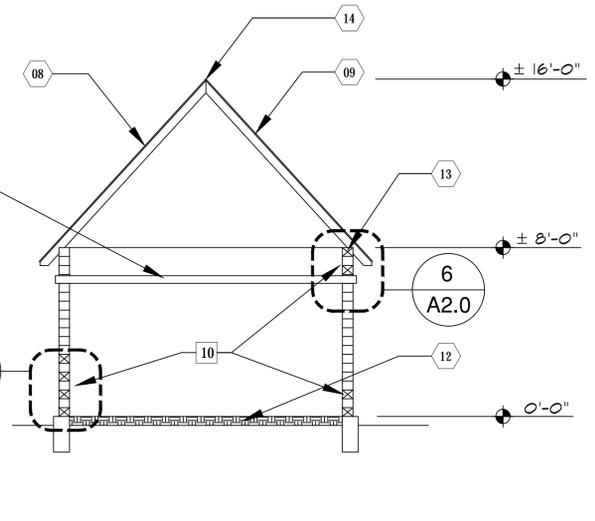
4 East Elevation
A1.0 SCALE: 1/4" = 1'-0"



5 North Elevation
A1.0 SCALE: 1/4" = 1'-0"



6 Section
A1.0 SCALE: 1/4" = 1'-0"



7 Section
A1.0 SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- 01 CAUTION SHOULD BE APPLIED TO REMOVING THE EXISTING SHRUBS WITHOUT DISTURBING STONE WALK OR DRIVEWAY
 - 02 ALL DAUBING TO BE REMOVED AND REPLACED ON INT. AND EXTERIOR
 - 03 ALL LOOSE EPOXY FAUX TO BE REMOVED AND SURFACE CLEANED FOR NEW FAUX FILL
 - 04 NEW LOG PLATES AND WALL COMPONENTS TO BE SHAPED TO MATCH EXISTING
 - 05 CONTRACTOR SHALL CONFIRM SPECIES OF LOGS AND MATCH ALL NEW LOGS INCLUDING SIZE AND TEXTURE
 - 06 REMOVAL OF SHRUBS SHALL ENTAIL SAWING THE SHRUB BASE TO 6" BELOW FINAL GRADE. INJECT WITH CHEMICAL TO KILL ROOTS IN PLACE. ALL CRACKS IN STONE PAVER JOINTS BE RE-GROUTED

- DEMOLITION NOTES**
- 01 REMOVE EXISTING SHRUBS/PLANTS
 - 02 REMOVE EXISTING LALLY COLUMNS
 - 03 REMOVE EXISTING ROOF IN ENTIRETY
 - 04 REMOVE CONCRETE SLAB
 - 05 REMOVE EXISTING POLE RAFTERS (REUSE WHERE POSSIBLE)
 - 06 EXISTING STONE WALK TO REMAIN
 - 07 REMOVE EXISTING WEATHERBOARDS (REUSE)
 - 08 LOWER GRADE TO 8" BELOW TOP OF STONE
 - 09 REMOVE EXISTING DOOR, FRAME AND HARDWARE
 - 10 REMOVE DECAYED LOGS

- INSTALLATION NOTES**
- 01 INSTALL LEVEL MULCH BED
 - 02 REPLACE LOGS (QTY)
 - 03 INSTL. DAUBING/ CHINKING
 - 04 RETREAT WOOD WITH BORATE
 - 05 REPAIR FIELDSTONE FND. AS NECESSARY
 - 06 REPAIR EPOXY FILL TO ALL LOGS SPLIT GREATER THAT 1/4" GAP
 - 07 INSTL. POLE RAFTERS
 - 08 INSTL. SKIP SHEATHING ON BORATE TREATED ROOF RAFTERS
 - 09 INSTL. WOOD SHAKES
 - 10 INSTL. NEW BOARD DOOR, FRAME AND HARDWARE
 - 11 REPLACE EXISTING WEATHERBOARDS
 - 12 PROVIDE CLEAN FILL DIRT W/ MULCH BED
 - 13 NOTCH NEW LOGS TO ALLOW ROOF RAFTERS
 - 14 ROOF CAP SHAKES
 - 15 RIDGE BEAM AND RAFTERS
 - 16 REPLACE GABLE TRIM BOARDS
 - 17 EXISTING LOG TO REMAIN
 - 18 COMPACTED EARTH

DA/E	DR	CK	APP	CEE	IN CHARGE
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DATE	11/15/21
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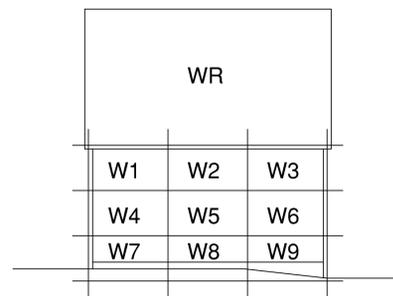
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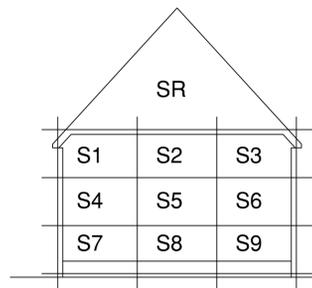


1 West Elevation

A2.0 SCALE: 1/4" = 1'-0"

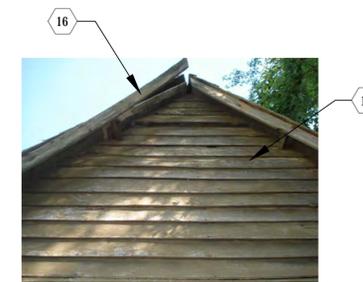


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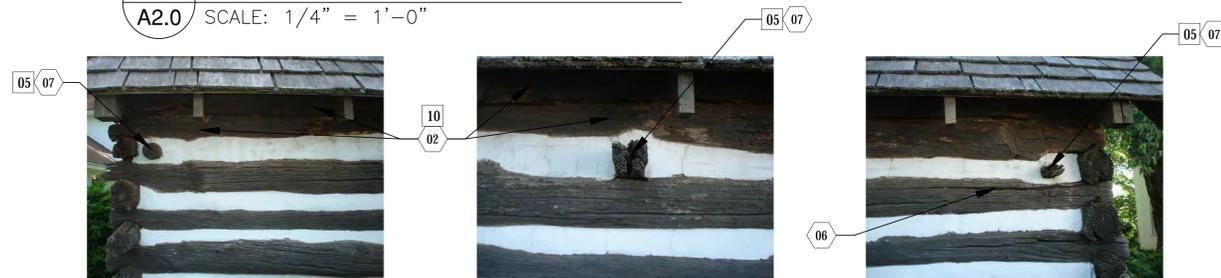


2 South Elevation

A2.0 SCALE: 1/4" = 1'-0"



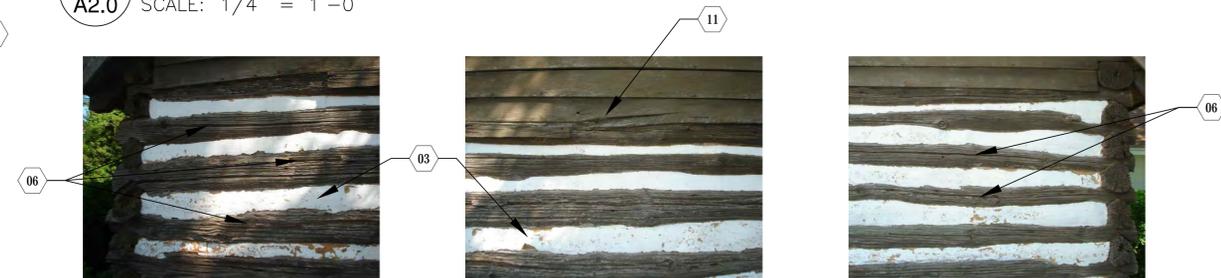
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W1

W2

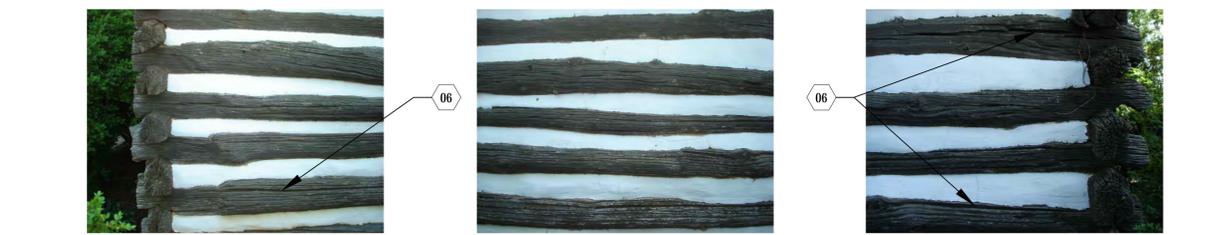
W3



S1

S2

S3



W4

W5

W6



S4

S5

S6



W7

W8

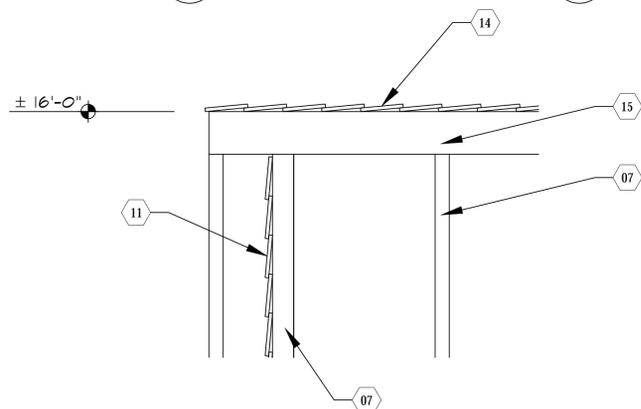
W9



S7

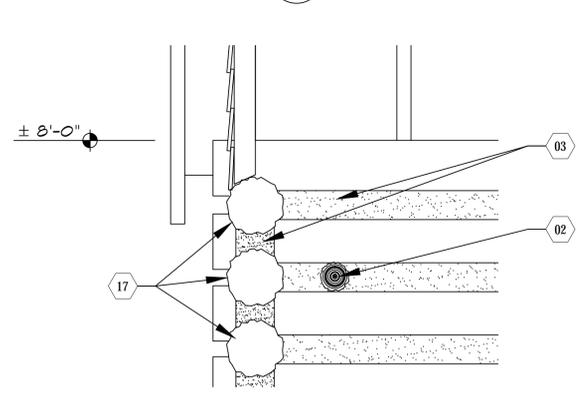
S8

S9



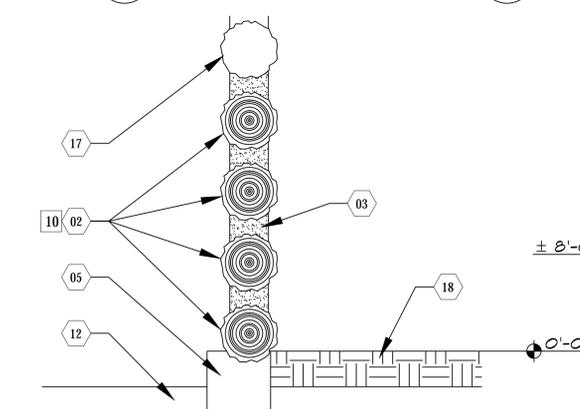
3 Detail

A2.0 SCALE: 1" = 1'-0"



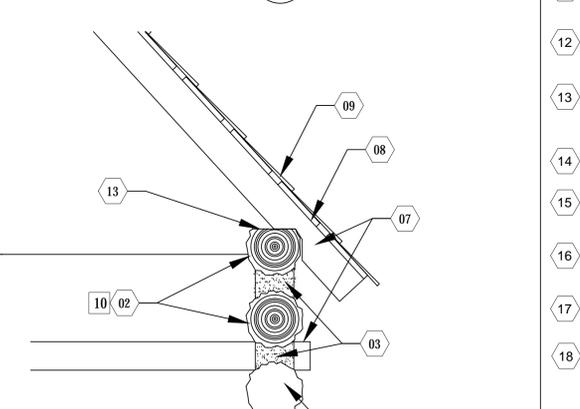
4 Detail

A2.0 SCALE: 1" = 1'-0"



5 Detail

A2.0 SCALE: 1" = 1'-0"



6 Detail

A2.0 SCALE: 1" = 1'-0"

- #### DEMOLITION NOTES
- 01 REMOVE EXISTING SHRUBS/PLANTS
 - 02 REMOVE EXISTING LALLY COLUMNS
 - 03 REMOVE EXISTING ROOF IN ENTIRETY
 - 04 REMOVE CONCRETE SLAB
 - 05 REMOVE EXISTING POLE RAFTERS (REUSE WHERE POSSIBLE)
 - 06 EXISTING STONE WALK TO REMAIN
 - 07 REMOVE EXISTING WEATHERBOARDS (REUSE)
 - 08 LOWER GRADE TO 8" BELOW TOP OF STONE
 - 09 REMOVE EXISTING DOOR, FRAME AND HARDWARE
 - 10 REMOVE DECAYED LOGS

- #### INSTALLATION NOTES
- 01 INSTALL LEVEL MULCH BED
 - 02 REPLACE LOGS (QTY)
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DATE ISSUED FOR 14.02.21 100% SUBMISSION

DR CK APP CEE

IN CHARGE

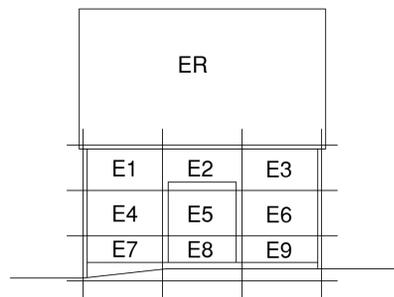


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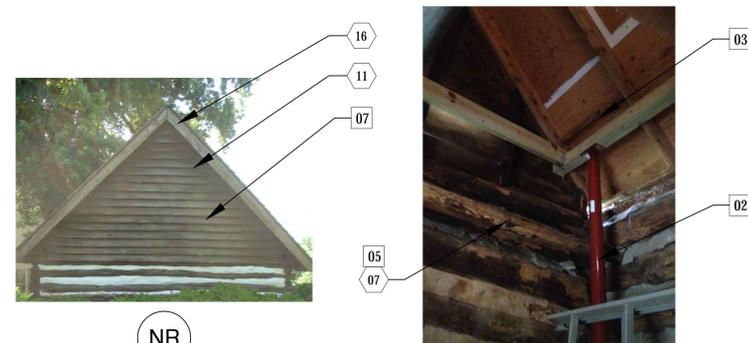
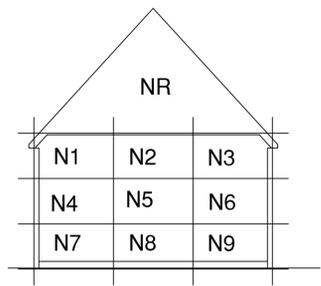
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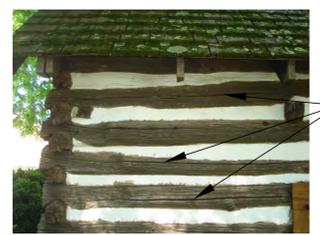
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1 East Elevation
A3.0 SCALE: 1/4" = 1'-0"

2 North Elevation
A3.0 SCALE: 1/4" = 1'-0"



E1



E2



E3



N1



N2



N3



E4



E5



E6



N4



N5



N6



E7



E8



E9



N7



N8



N9

DEMOLITION NOTES

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INSTALLATION NOTES

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